

Development Review Committee 1020 East Pioneer Road Draper, UT 84020

STAFF REPORT

December 10, 2024

To:	Jennifer	Jastremsky	, Zoning	Administrator
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Approved

Date

From: Todd Taylor, Planner III 801-576-6510, todd.taylor@draperutah.gov

Re:	<u>Lone Peak Hospit</u>	<u>al Medical Office Building – Site Plan Amendment Request</u>
	Application No.:	2024-0225-SP
	Applicant:	Wesley Blissard, Catalyst Design Group, representing Lone Peak
		Hospital
	Project Location:	11925 S. State Street
	Current Zoning:	CR (Regional Commercial) Zone
	Acreage:	Approximately 35.87 Acres (Approximately 1,562,497 ft ²)
	Request:	Request for approval of a Site Plan Amendment in the CR zone
		regarding the construction of a new medical office building.

SUMMARY AND BACKGROUND

This application is a request for approval of a Site Plan Amendment on the approximately 35.87 acre Lone Peak Hospital campus located at 11925 S. State Street (Exhibits B & C). The property is currently zoned CR. The applicant is requesting that a Site Plan Amendment be approved to allow for the construction of a new medical office building.

The Lone Peak Hospital campus contains several buildings built in separate phases with open, undeveloped areas located to the northwest, south, and southeast of the existing hospital buildings. On March 22, 2012, the Planning Commission approved a Conditional Use Permit to allow 80-foot building heights on the campus. On June 13, 2024, the Planning Commission approved a deviation request for the subject building to reduce the minimum percentage of primary materials required on the exterior and to allow the main building entrance to face the parking lot.



<u>ANALYSIS</u>

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Cultural and Institutional	Exhibit D
Current Zoning	CR	Exhibit E
Proposed Use	Medical Office Building	
Adjacent Zoning		
East	R3 (Single Family Residential, 13,000 ft ² lot minimum)	
West	CC (Community Commercial)	
North	RM1 (Multiple-Family Residential)	
South	CR	

The Cultural and Institutional land use designation is characterized as follows:

Cultural and Institutional

LAND USE DESCRIPTIO	IN
CHARACTERISTICS	 Major entry points and features Well-landscaped perimeter and public spaces Limited traffic access to major streets Uniform design standards and aesthetics Common off-street traffic circulation and parking areas Pedestrian-friendly design
LAND USE MIX	 Government and municipal buildings Schools Fire and police stations Hospitals
COMPATIBLE ZONING	 Public Facilities (PF) Public Open Space (OS) Public Institutional (PI)
OTHER CRITERIA	 Zoning for these uses should be based on a demonstration that the project can be successfully completed and has good transportation access Such operations should be subject to City review and imposition of conditions deemed necessary to keep the land use compatible with its neighbors and with the community in general

According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CR Zone is to "provide areas where a combination of destination oriented business, retail commercial, entertainment, and related uses may be established, maintained and protected to serve both residents and nonresidents of the city. Typical uses in this zone include large scale, master planned commercial centers with outlying commercial pads, big box stores, and offices."



<u>Site Plan Layout</u>. The Site Plan (Exhibit F) shows a new proposed 4-story, 125,238 ft² medical office building located at the southwest corner of the campus. Additional parking is also proposed for in the northwest corner of the campus. The project encompasses approximately 504,489 ft², which is about 32% of the overall campus. The siting of the medical office building, together with the approved deviations, meet the setback requirements of DCMC Section 9-11-110 for the CR zone, and the applicable site design standards of DCMC Section 9-22-050.

Table 2	Site Plan Design Requirements		
Standard	DCMC Requirements	Proposal	Notes
Lot/Parcel Size	N/A	35.87 ac (approx.)	
Street Frontage	N/A	1772 ft (approx.)	Along impacted area.
Setback			
Front (west)	N/A	172 ft (approx.)	
Front (south)	N/A	78 ft (approx.)	
Side (west)	N/A	N/A	
Side (east)	N/A	N/A	

Landscaping. The Landscape and Irrigation Plans (Exhibit G) show proposed landscaping of 166,930 ft², with 35,339 ft² of it being within the parking lot. Landscaping within the impacted area exceeds the minimum landscape and open space area requirements by 10% as does the overall campus. Provision of this additional amount of landscaping is a condition of the deviation approvals. Per the information submitted with the deviation request, approximately 41% of the overall campus is landscaping.

New lawn areas are proposed along the street frontages to provide consistency with the existing landscaping; however, the new lawn area is limited to 17% of the landscaping of the impacted area. Street trees will be added to areas along State Street and 11800 S. The existing street trees along 11950 S. will remain. The proposed landscaping plans meet the requirements of DCMC Chapter 9-23. Site amenities are also included on the Site Plan (Exhibit F). These amenities exceed the minimum amount required by more than 25% as a required condition of the deviation approvals.

Table 3	Landscaping Design Requirements			
Standard	DCMC Requirements	Proposal	Notes	
Overall Landscaping Coverage	20% min.	Impacted Area: 33% Overall Site: 41%	Deviation approval required 10% over minimum.	
Parking Lot Landscaping	7% min.	14%		
Perimeter Landscaping	10 ft min.	11-61 ft		



Buffer Landscaping	N/A	N/A	
Water Wise Landscaping	20% max. in lawn. No lawn on slopes 25% or greater or areas less than 8 feet wide.	17%. No lawn on slopes 25% or greater or areas less than 8 feet wide.	
Street Trees	1 tree per 40 ft of frontage (45)	46 (new and existing)	Complies with ordinance.
Amenities	8 min.	9 areas (14 benches, 3 tables, 1 pergola, 1 canopy)	Deviation approval required 25% more than minimum.

Parking. According to the Site Plan (Exhibit F), access will be provided from existing driveways on State Street and 11800 S. and two new driveways on 11950 S. New parking will be provided around the new medical office building and to the east. To the north of the medical office building, new parking will be provided and some of the existing parking area will be modified. Finally, a new parking lot will be built in the northwest corner of the campus. Parking for the overall campus complies with the calculation, location, and design requirements of DCMC Chapter 9-25 and the parking and circulation requirements of DCMC Section 9-22-050.

Table 4	Parking Lot Design Requirements			
Standard	DCMC Requirements	Proposal	Notes	
Parking Required (min./max.)				
Hospital	1,439 min./1,758 max.	1,549	Overall Site	
Pedestrian Connections	Pedestrian access from the public right of way through the site to main entrances shall be provided.	Access is provided from State Street and 11950 S.		
Crosswalks	Differing roadway materials within parking lots shall be used directly in front of entrances to slow motorists and create a safer environment for pedestrians.	Stamped concrete and concrete pavement are located directly in front of the entrance.		
Access Point Width	24-36 ft	24 ft		



<u>Architecture</u>. The Elevations (Exhibit H) show the proposed design of the 4-story medical office building. The primary materials, which comprise 50% of the overall building are brick, in blended colors, and composite metal panels. The secondary materials are metal panels and EIFS in four colors. The building design meets the requirements of DCMC Section 9-22-040, and the site design meets the requirements of DCMC Section 9-22-040, and the site design meets to reduce the minimum percentage of primary materials on the overall building to 50%, and to allow the main building entrance to face the parking lot.

Table 5	Table 5 Architectural Design Requirements			
Standard	DCMC Requirements	Proposal	Notes	
Building Height	· · · · · · · · · · · · · · · · · · ·	· · ·		
Main Building	35 ft max.	66 ft (approx.)	80 ft max. per approved CUP.	
Roofline Variation	50 ft min.	Roofline variations occur on each facade.		
Facade Variation				
Vertical or Horizontal	Every 30 feet, or along 60% of the horizontal length for buildings with facades 100 feet or greater.	Variations occur in the surface plane, pattern, and treatment of windows.		
Significant	One significant variation of 5 feet deep by 20 feet wide for buildings with facades 100 feet or greater.	There is no uninterrupted facade of 100 feet or greater proposed.		
Materials				
Primary	2 min.	2 (brick, composite metal panels)		
Secondary	N/A	2 (metal panel, EIFS)		
Colors	3 min. per facade	7 colors total, 4 min. per facade		
Percentage of Primary Materials				
All Sides	50% per approved deviation.	51%		

Lighting. The Lighting Plan (Exhibit I) shows how new lighting will illuminate the site. The hospital campus is open to patients twenty-four (24) hours per day, and the site lighting has been designed with continuous safety and security of patrons and employees in mind, therefore, separate illumination reductions on the site during closed periods are not required. The proposed lighting plan meets the standards of DCMC Chapter 9-20.



Table 6	Lighting Design Requirements			
Standard	DCMC Requirements	Proposal	Notes	
# of Light Poles	50 max.	50	Impacted area only.	
Light Pole Height	20 ft max.	20 ft		
Foot Candles				
Maximum	5.0 Hospital	5.0 Hospital		
Illumination	15.0 Canopies	10.0 Canopies		
Maximum	3.0 Hospital	2.6 Hospital		
Average	10.0 Canopies	9.6 Canopies		
Illumination				
Maximum	2.5:1 Hospital	2.5:1 Hospital		
Illumination Ratio	2:1 Canopies	1.24:1 Canopies		
(Max:Ave)				

<u>*Criteria For Approval*</u>. The criteria for review and potential approval of a Site Plan Amendment request are found in Sections 9-5-060(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

- *E. Standards For Approval: The following standards shall apply to the approval of a site plan:*
 - *1. The entire site shall be developed at one time unless a phased development plan is approved.*
 - 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
 - *3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.*
 - *4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.*
 - 5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.
- *H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:*
 - 1. Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:
 - a. The proposed use is consistent with uses permitted on the site;
 - *b.* Existing uses were permitted when the site plan was approved, or have received a conditional use permit;



- *c.* The proposed use and site will conform to applicable requirements of this Code;
- *d.* The proposed expansion meets the approval standards of subsection *E* of this section;
- *e.* The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and
- 2. If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.
- *3. If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*
- *4. Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

<u>REVIEWS</u>

<u>Planning Division Review</u>. The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

<u>Engineering and Public Works Divisions Review</u>. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

<u>Building Division Review</u>. The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

<u>Geotechnical and Geologic Hazards Review</u>. Taylor Geo-Engineering, LLC in working with the Draper City Building and Engineering Divisions, have completed their review of the geotechnical report submitted as a part of the Site Plan Amendment. Comments from Taylor Geo-Engineering, LLC, if any, can be found in Exhibit A.

<u>Fire Division Review</u>. The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. A notice of decision will be issued as outlined in City and State Codes.



STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

- 1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
- 2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.

The findings for approval of the Site Plan Amendment are as follows:

- 1. The site plan reflects the full development of the property.
- 2. The site plan conforms to applicable standards set forth in ordinance, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
- 3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zoning districts in which the site is located.
- 4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
- 5. The proposed development plans will comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of the DCMC, including traffic, storm water drainage, and utilities concerns.



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DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield O-Draper, OU-Frible Works - Engineering. Ch-Brien Mathematical Barrier - Data - Data

Draper City Public Works Department

Don Buckley Don Buckley Digitally signed by Don Buckley DN: C=US. E=don.buckley@draper.ut.us, 0=Draper City Fire Department, OU=Fire Marshal, CN=Don Buckley Date: 2024.12.03 15:40:11-07'00'

Draper City Fire Department

Matthew Symes DN: C=US, E-matt.symes@draperutah.gov, 0-D7aper City Corp., CN-Matthew Symes Date: 2024.12.03 15:37:45-0700'

Draper City Building Division

Digitally signed by Todd A Digitally signed by T

Draper City Planning Division

Draper City Legal Counsel

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments provided.

Engineering and Public Works Divisions Review.

General

- 1. The developer is to provide a drainage report per DCMC 9-5-090(D)(1)(f). The drainage report is to meet the requirement of the City of Draper Drainage Design Criteria available online. Implementation of LID (low-impact development) BMP's in the overall drainage design is required. Report provided with second submittal. *See comments below.*
- 2. Provide service letters from Jordan Basin Improvement District (formally South Valley Sewer District (SVSD)) and WaterPro per DCMC 9-5-090(D)(1)(d)(3)(D). *Letters provided with second submittal. Comment satisfied.*
- 3. Update the long term Stormwater Maintenance Plan with the modified drainage plan. Contact Lucas Fowler, 801-576-6331, to coordinate update with agreement. *Coordination underway.*
- 4. For sites over five (5) acres, certified SWPPP is required. Contact Lucas Fowler, 801-576-6331, to verify compliance. *Coordination underway*.
- 5. Retaining walls are to comply with DCMC 9-27-085. Retaining walls are not reviewed or approved with this review and approval process. *Informational comment no action required*.
- 6. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance. *Informational comment no action required prior to site plan amendment approval.*
- 7. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division. *Informational comment no action required prior to site plan amendment approval*.
- 8. Draper City requires the engineer of record to provide the site as-built drawings, detention/retention basin(s) volume certification(s), and site grading and drainage certification letter after subdivision construction is complete. *Informational comment no additional action is required prior to*

subdivision approval.

Grading and Drainage

- 9. Per the general permit requirements for Small Municipal Separate Storm Sewer Systems (MS4s), UPDES permit part 4.2.5.3.4 requires all development to retain onsite runoff from initial storm events for water quality retention. In Draper City, this requirement is for all storms to 0.43 inches in depth. *WQV was added to basin in second submittal. Calculations were included in drainage report. Comment satisfied.*
- 10. Maximum discharge rate is 0.10 cfs/acre. *Update drainage report to state the maximum flow rate for the site, including the orifice or flow control structure calculations to support maximum flow rate.*
- 11. Verify existing detention basin volume is relocated to new basin location. Show that expanded capacity is provided for proposed site improvements with new building and parking lot expansion areas. *Add description of existing basin volume and proposed detention basin volume. Report outlines the WQV micropool retention volume in the basin – add the overall detention volume required (from the calculations) and the provided volume (based on the grading plan).*

Utilities and Street

- 12. Curb, gutter, park strip, and sidewalk improvements required on all public right-of-way frontages per DCMC 9-5-090(D)(1)(d)(1)(E) and 9-27-100. Provide spot elevations, maximum cross slope (2%) see Section B-B' on detail ST-09, and behind walk grading to ensure pedestrian safety. Landscaping of park strip is required (not shown on landscaping plans). *Public improvements added to 150 East. No landscaping is shown in park strip. Landscaping within park strips is the adjacent property owner's responsibility.*
- 13. Show existing access on south side of 11950 South. Accesses on opposite sides of the street are required to align or be adequately offset to ensure access locations do not create conflict points with normal traffic movement. *Access(es) shown. No conflict shown as the opposite access points align with proposed accesses onto 11950 South. Comment satisfied.*
- 14. Commercial drive-approach required, including thickening of the sidewalk at site entrance. See Draper City Standard Detail ST-07/08. *Verify curb radii of access drive approach meets city standards.*
- 15. Remove "DRAFT" from the traffic impact study and submit with P.E. stamp and signature. *TIS submitted with second submittal. Comment satisfied*.

<u>Building Division Review</u>.

1. No additional comments provided.

Geotechnical and Geologic Hazards Review.

1. No additional comments provided.

<u>Fire Division Review</u>.

- 1. **Fire Department Access is required**. An unobstructed minimum road width of twenty-four (24) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty eight (28) feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.
- 2. **Fire Hydrants are required**. Hydrants are required for this project. They shall be, protected with bollards if susceptible to vehicle damage. Fire Flow for the buildings shall be a minimum of 4,000 GPM @ 20 p.s.i. residual pressure. Which can be reduced by 50% (2000gpm) with an NFPA 13 fire sprinkler system.
- 3. **Fire Hydrants**. Fire hydrants are required to be operational and unobstructed at all times throughout the project. If at any time a hydrant needs to be shut down and made inoperable the Fire Marshal shall be notified immediately. Just a reminder these fire hydrants shall be operational prior to any combustible construction materials arriving on site.
- 4. **Hydrants and Site Access**. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
- 5. **Utilities** All utilities including Fire hydrants within the required width of fire apparatus access roads shall be installed prior to introducing combustible materials to a site or commencing vertical construction. Any excavation in the required fire department access roadway after combustible materials are on site shall be performed in a manner to maintain access to the site and shall be coordinated with the Fire Marshal. Combustible material shall not be placed in any way that will impede fire apparatus access to any site.
- 6. **Site Access Required During Construction**. Prior to and throughout construction a form of acceptable temporary Fire Department Access to the site shall be installed this includes turn arounds. The required access for fire apparatus access shall have a base material capable of supporting a 75,000lbs vehicle, during most-weather conditions, installed and compacted to 95% relative compaction at a minimum of 26 feet wide. There shall be no

parking of construction vehicles, sub-contractor vehicles within the required fire access they shall be parked on the non-hydrant side of the road to allow for emergency vehicles to still access the project. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.

- 7. Access and Fire Protection During Construction. All buildings under construction shall meet the requirements of IFC Chapter 33, Fire Safety During Construction and Demolition as well as all of the sections detailed in this document.
- 8. **IFC SECTION 3310 ACCESS FOR FIRE FIGHTING DURING CONSTRUCTION 3310.1.1 Required access.** Approved vehicle access for firefighting shall be, provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet (30 480 mm) of temporary or permanent fire department connections. Either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions, shall provide vehicle access. Vehicle access shall be, maintained until permanent fire apparatus access roads are available.
 - Until permanent fire apparatus access roads are constructed, fire-fighting vehicle access is the means by which fire fighters gain access to the construction or demolition site and building for fire suppression and rescue operations. Such access is an integral component of the fire prevention program. The site superintendent or other person responsible for construction and demolition operations is responsible for maintaining and policing fire-fighter access routes, as pro-vided in Section 3308. Fire apparatus must be able to get within 100 feet (30 480 mm) of any installed fire department connection supplying water to temporary or permanent fire protection systems. Access roads must support the weight of the heaviest vehicle that might respond. The weight requirements are available from the local fire department. All-weather sur-faces are required because the responding fire department should not waste time moving snow or trying to get out of mud.
- 9. **No combustible construction** shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
- 10. **Fire Sprinklers Required**. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at <u>fire.permits@draperutah.gov</u>. A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level III or better in Auto Sprinkler Layout. (There needs to be a hydrant with-in a 100 feet of the FDC.) FDC is required to have KNOX Locking Caps. ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
- 11. **Fire Department Connection (FDC)**: The FDC is required as part of a water-

based suppression system as the auxiliary water supply. The FDC will give the fire department the capability to supply additional pressure necessary to the automatic fire sprinkler system and the standpipe system. The FDC will be located at the entrance to the building and will be within 100-feet of the fire hydrant. The FDC will be located to ensure connected hoses which supply the system will not obstruct access to the buildings for other fire apparatus. The final location of FDC will be approved by the Fire Marshal.

- 12. **Fire Alarm Required**. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at <u>fire.permits@draperutah.gov</u>. A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level III or better in Fire Alarm Systems. ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
- 13. **Knox Boxes Required**. Fire Department "Knox Brand" lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room. (At a height of 5 feet to the top of the box) Lock box purchase can be arranged by the General Contractor.
- 14. **2A-10BC Fire Extinguishers required**. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75 feet of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.
- 15. **Portable Fire Extinguishers** Not less than one approved portable fire extinguisher in accordance with IFC Section 906 and sized for not less than ordinary hazard as follows:
 - 1. At each stairway on all floor levels where combustible materials have accumulated.
 - 2. In every storage and construction shed.
 - 3. Additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids.
- 16. **Visible Addressing Required**. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background. All addresses for the above listed buildings will all need to be on the garage side as well as the front side.

EXHIBIT B VICINITY MAP

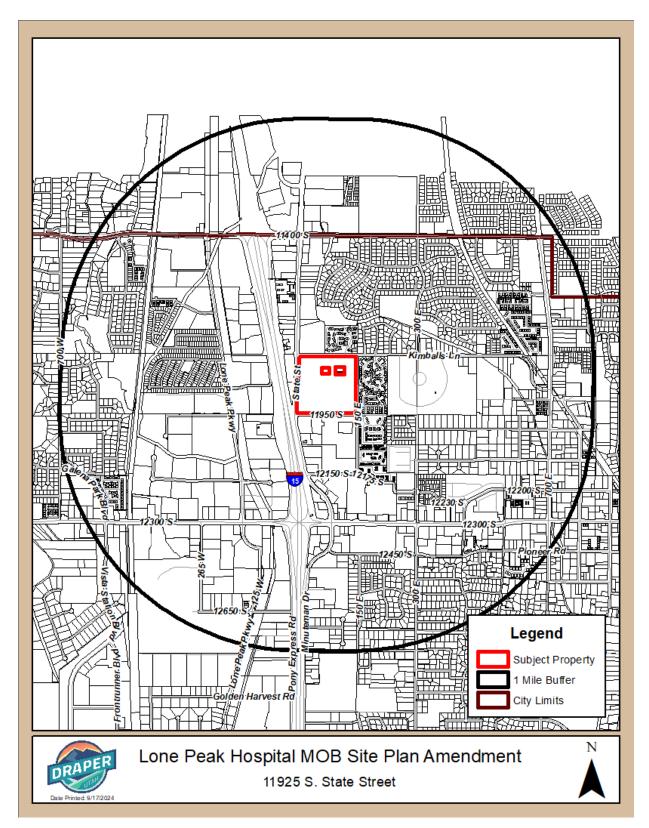


EXHIBIT C AERIAL MAP



EXHIBIT D LAND USE MAP

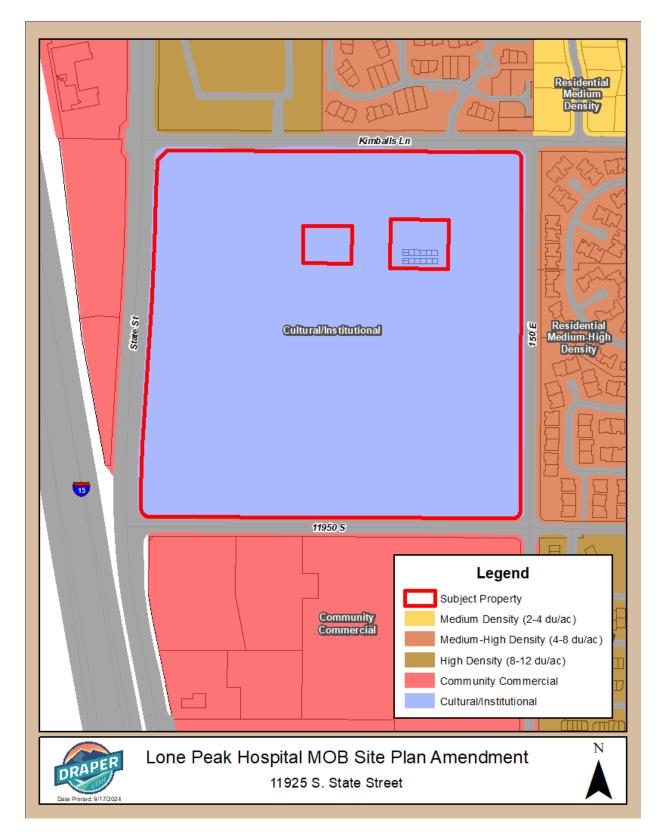


EXHIBIT E ZONING MAP

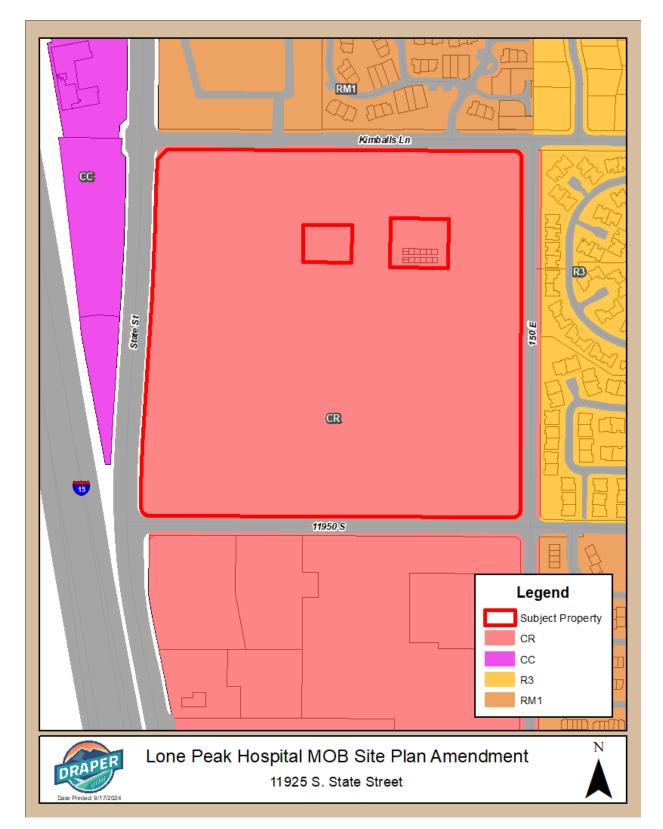


EXHIBIT F SITE PLAN

SITE PLAN AMENDMENT LONE PEAK HOSPITAL **MEDICAL OFFICE BUILDING** DRAPER, SALT LAKE COUNTY, UTAH

SITE DATA

PARCEL ID.: SITE ADDRESS:

TOTAL PROJECT AREA: DISTURBED AREA: IMPERVIOUS AREA W/IN LOD: LANDSCAPE AREA W/IN LOD: EXISTING ZONING:

PROPOSED USE: PROPOSED MAX. BUILDING HEIGHT: ALLOWED MAX. BUILDING HEIGHT

LOT COVERAGE ALLOWABLE (60%) EXISTING: PROPOSED:

PARKING SUMMAR

PARKING REQUIRED

HOSPITAL:

MOB:

11.99 AC (33%)

1 SPACE / 250 SF 1 SPACE / 250 SF

12.73 AC (35%)

28-30-101-016-0000

11943 S STATE STREET DRAPER, UT 84020

1,623,266 SF (37.27± AC.

504,489 S.F. (11.58± AC.

283,214 S.F. (6.50± AC.)

167,746 S.F. (3.85± AC.) CR - REGIONAL COMMERCIAI

MEDICAL OFFICE BUILDING

80' - PER CONDITIONAL USE PERMIT GRANTED 03/22/2012

399,282 SF / 250 = 1,598 PARKING SPACES

1,439 - 1,758 ALLOWABLE PARKING SPACE RANGE [PER 9-25-090(A)]

HCA LONE PEAK HOSPITAL EXISTING TOTAL/FLOOR EXISTING MOB 1 EXISTING MOB 2 PROPOSED MOB HOSPITAL LEVEL 0 LEVEL 1 150,595 71,417 32,459 19,558 27,161 LEVEL 2 21,646 18,173 18,870 30,926 89,615 LEVEL 3 30,926 88,805 20,831 18,178 18,870 LEVEL 4 20,831 18,510 30,926 70,267 LEVEL 5 -TOTAL 134,725 55,909 83,411 125,238 399,282

879 SPACES

15 SPACES

685 SPACES

1,461

1,549 SPACES PROVIDED

65 (26 REQUIRED)

SCOTTSDALE, AZ 85251

kcook@devenneygroup.com

bryan.ellison@nexcoregroup.com

1524 WILLIAMS DRIVE STE 201 MURFREESBORO, TN 37129

CATALYST DESIGN GROUP

jparker@catalyst-dg.com

(602) 943-8950

NEXCORE GROUP

(303) 244-0700

BRYAN ELLISON

(615) 622-7200

JACK PARKER

1550 MARKET STREET DENVER, CO 80202

KEVIN COOK

23 (1.4% OF PARKING PROVIDED)

DEVENNEY GROUP LTD., ARCHITECTS

6900 CAMELBACK ROAD, SUITE 500

TOTAL PARKING REQUIRED: REQUIRED PARKING ± ALLOWABLE 10%:

EXISTING PARKING: PARKING REMOVED: PROPOSED PARKING: TOTAL:

STANDARD PARKING COMPACT PARKING: ADA PARKING:

ARCHITECT: ADDRESS:

PHONE NO.: CONTACT NAME: CONTACT E-MAIL ADDRESS:

OWNER: ADDRESS:

PHONE NO.: CONTACT NAME: CONTACT E-MAIL ADDRESS:

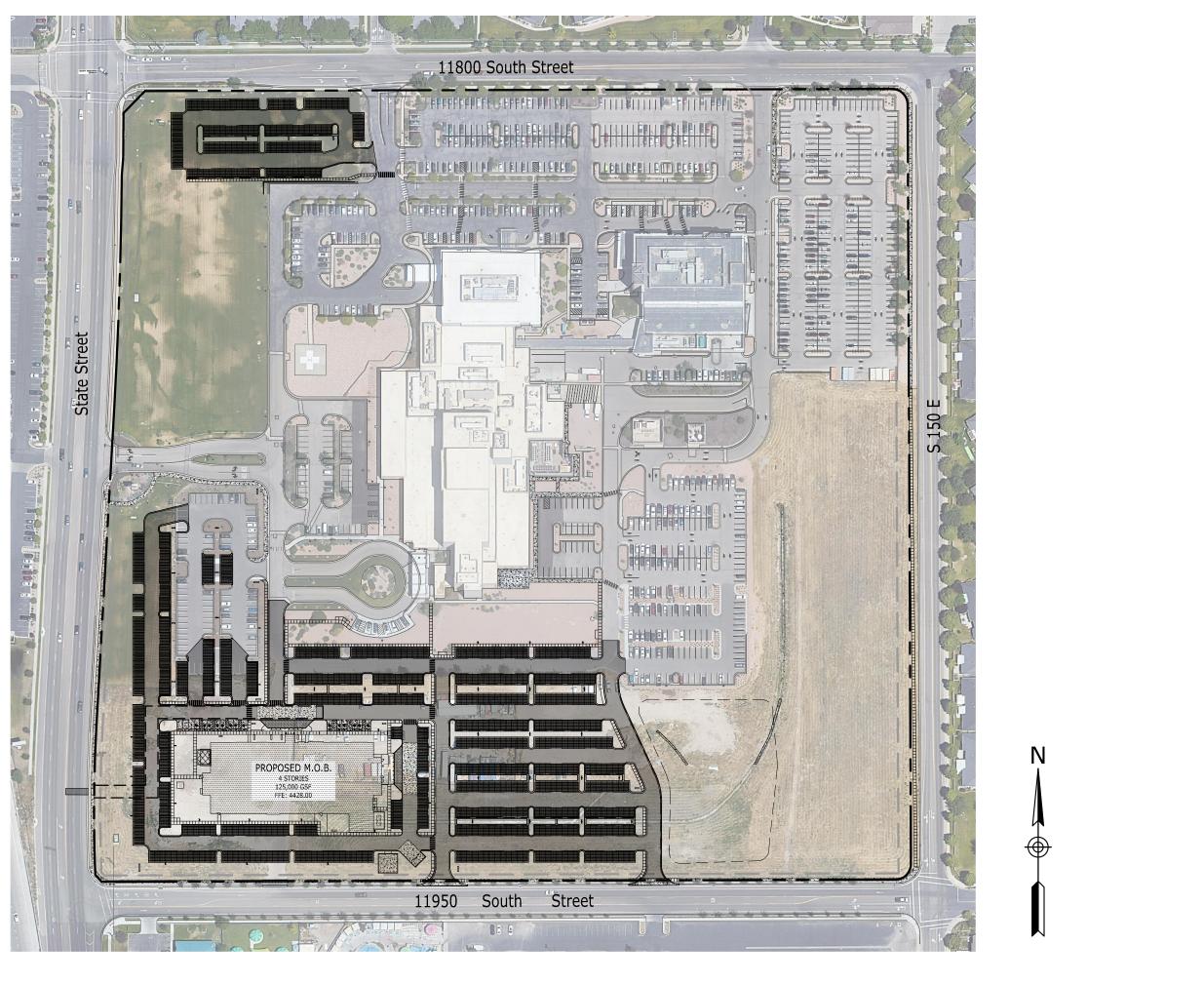
PROJECT REPRESENTATIVE: ADDRESS:

PHONE NO .: CONTACT NAME: CONTACT E-MAIL ADDRESS:

RECORDED DOCUMENTS: DEED BOOK 2016P PAGE 3

FEMA PANEL:

THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 49035C0442G, 09/25/2009, COMMUNITY NAME: CITY OF DRAPER.



ARCHITECT

DEVENNEY GROUP LTD., ARCHITECTS

6900 EAST CAMELBACK ROAD, SUITE 500

SCOTTSDALE, AZ 85251 (602) 943-8950

CITY OF DRAPER PROJECT NO. 2024-0225-SP CATALYST PROJECT NO. 20230162 AUGUST 27, 2024

PREPARED FOR NEXCORE GROUP 1550 MARKET STREET DENVER, CO 80202 (303) 244-0700

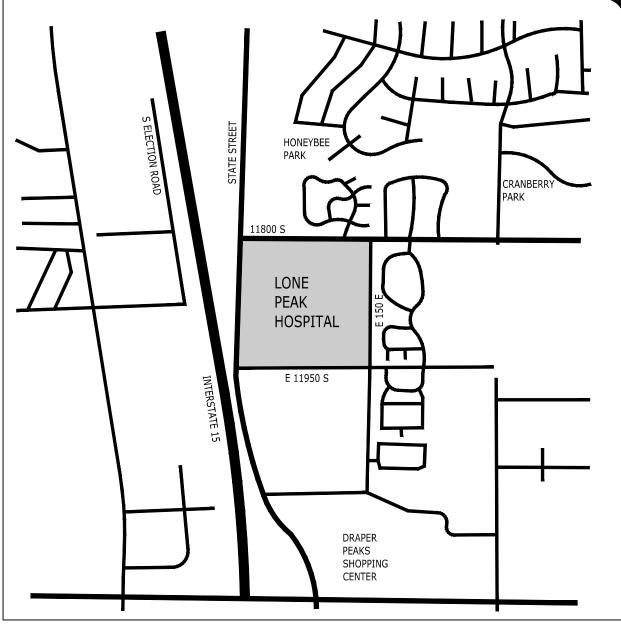


CIVIL ENGINEER/LANDSCAPE ARCHITECT

GRAPHIC SCALE







VICINITY MAP NOT TO SCALE

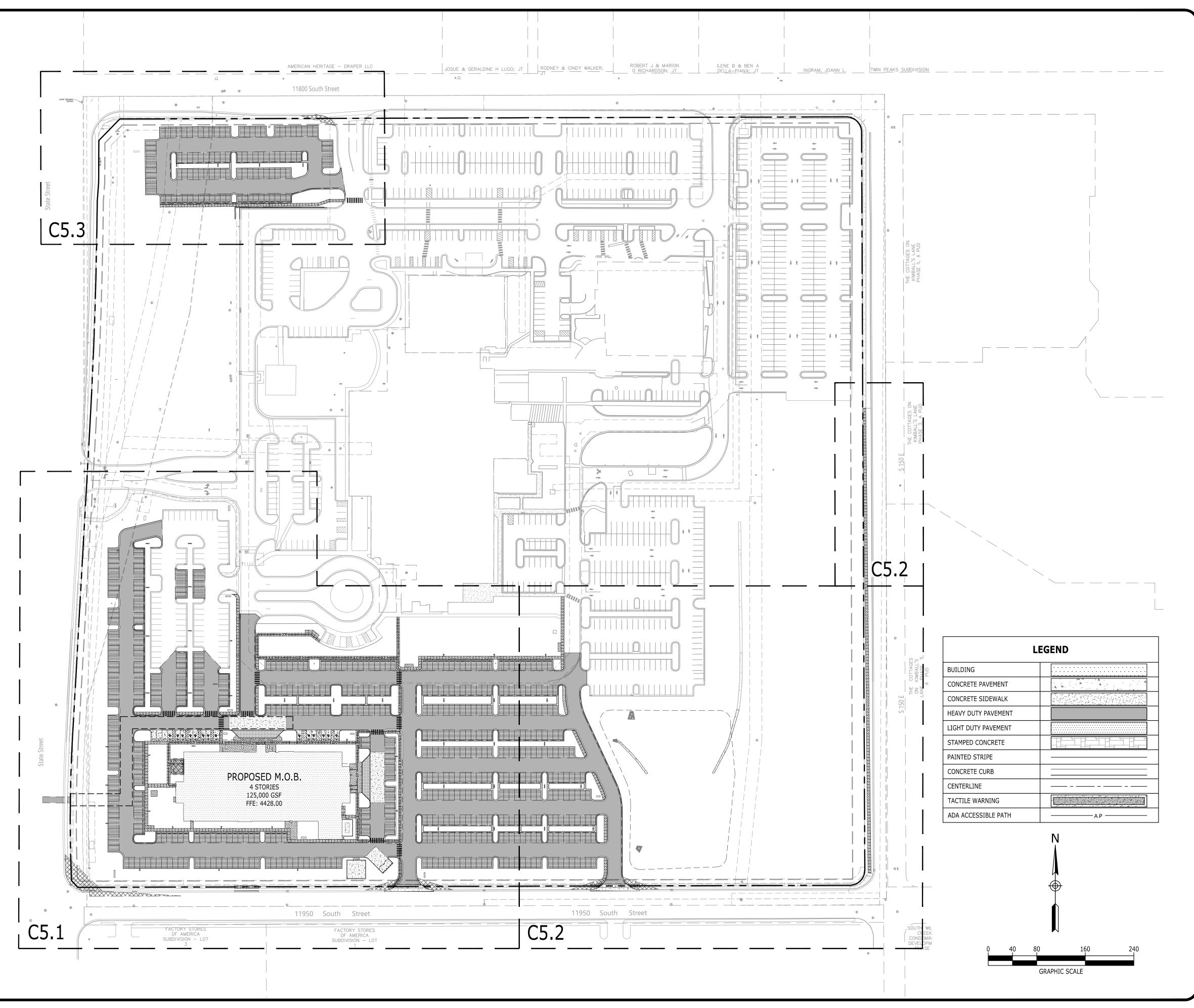
Sheet List Table			
Sheet Number	Sheet Title		
C0.0	COVER SHEET		
C1.0	EXISTING CONDITIONS		
C2.0	GENERAL NOTES		
C3.0	INITIAL EROSION CONTROL PLAN		
C3.1	INTERIM EROSION CONTROL PLAN		
C3.2	FINAL EROSION CONTROL PLAN		
C3.3	SEDIMENT & EROSION CONTROL DETAILS		
C3.4	SEDIMENT & EROSION CONTROL DETAILS		
C4.0	DEMOLITION PLAN		
C5.0	OVERALL LAYOUT PLAN		
C5.1	LAYOUT PLAN		
C5.2	LAYOUT PLAN		
C5.3	LAYOUT PLAN		
C5.4	FIRE APPARATUS PLAN		
C6.0	OVERALL GRADING & DRAINAGE PLAN		
C6.1	GRADING & DRAINAGE PLAN		
C6.2	GRADING & DRAINAGE PLAN		
C6.3	GRADING & DRAINAGE PLAN		
C6.4	DETAILED POND GRADING & DRAINAGE PLAN		
C6.5	DETAILED GRADING & DRAINAGE PLAN		
C6.6	DETAILED GRADING & DRAINAGE PLAN		
C6.7	STORM SEWER PIPE & STRUCTURE TABLES		
C7.0	UTILITY PLAN		
C7.1	DETAILED UTILITY PLAN		
C7.2	SANITARY SEWER PLAN & PROFILE		
C8.0	SITE DETAILS		
C8.1	SITE DETAILS		
C8.2	SITE DETAILS		
C8.3	SITE DETAILS		
C8.4	SITE DETAILS		
C8.5	SITE DETAILS		
C8.6	SITE DETAILS		
C8.7	SITE DETAILS		
L1.0	LANDSCAPE PLAN		
L1.1	LANDSCAPE PLAN		
L1.2	LANDSCAPE PLAN		
L1.3	LANDSCAPE PLAN		
L1.4	LANDSCAPE PLAN		
L2.0	LANDSCAPE DETAILS		
IR1.0	IRRIGATION PLAN		
IR1.1	IRRIGATION PLAN		
IR1.2	IRRIGATION PLAN		
IR1.3	IRRIGATION PLAN		
IR1.4	IRRIGATION PLAN		
IR1.5	IRRIGATION DETAILS		



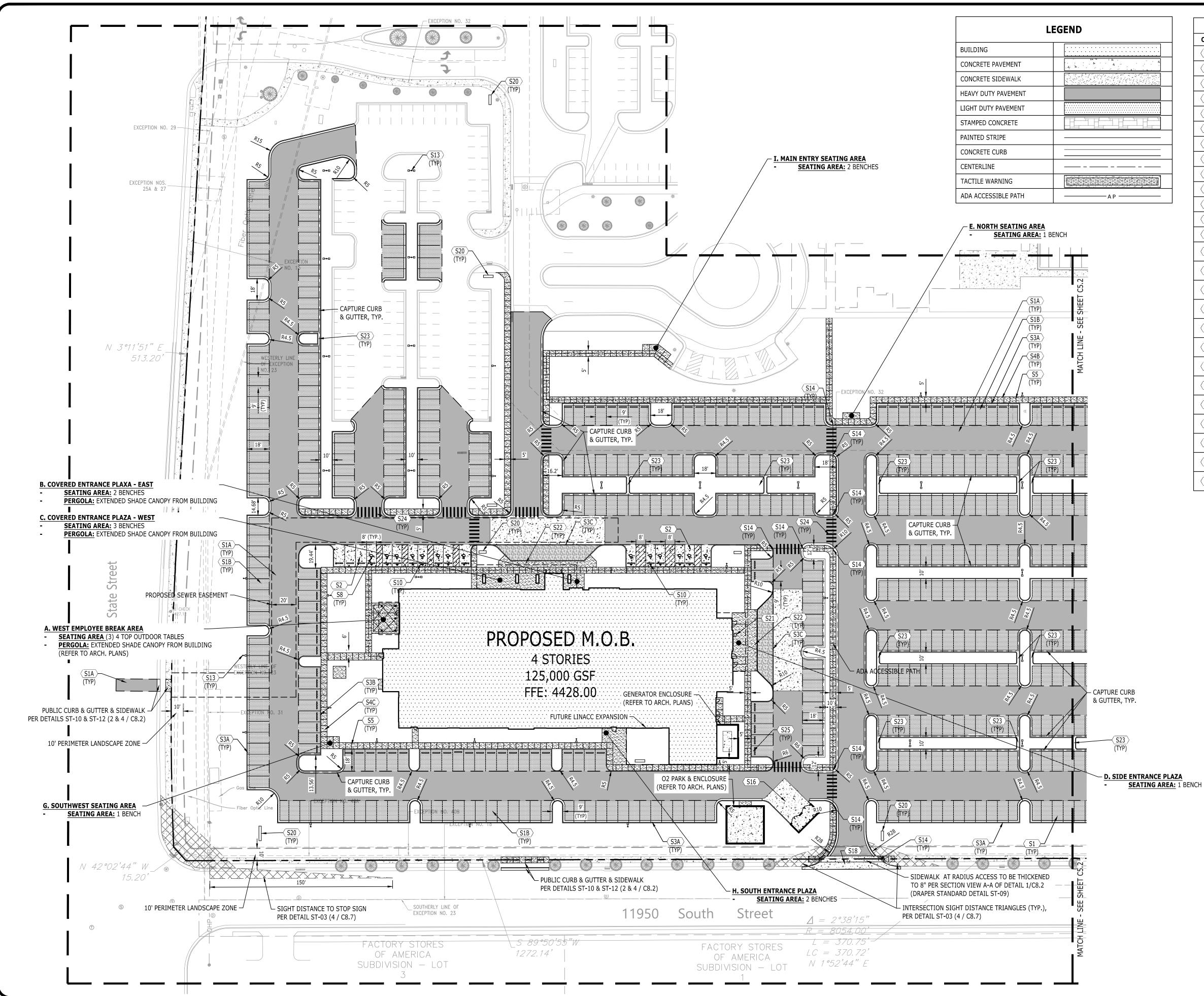
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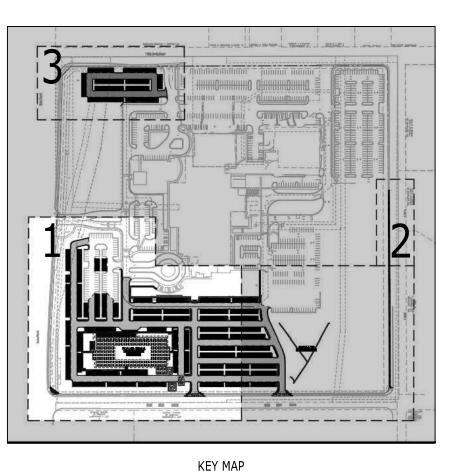






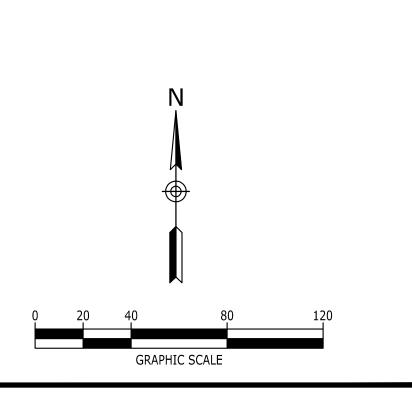
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	SITE LAYOUT KEYNOTES	
CODE	DESCRIPTION	DET #/SHT #
$\langle S1A \rangle$	ASPHALT PAVEMENT - HEAVY DUTY	1 / C8.0
$\langle S1B \rangle$	ASPHALT PAVEMENT - LIGHT DUTY	1 / C8.0
$\langle S2 \rangle$	CONCRETE PAVEMENT	2 / C8.0
$\langle \overline{S3A} \rangle$	CONCRETE CURB & GUTTER / SPILL CURB	4 / C8.0
$\langle S3B \rangle$	CONCRETE POST CURB	5 / C8.0
$\langle S3C \rangle$	CONCRETE RIBBON CURB	11 / C8.0
$\langle S4A \rangle$	CONCRETE SIDEWALK	3 / C8.0
$\langle S4B \rangle$	CONCRETE SIDEWALK AT CURB & GUTTER	6 / C8.0
$\langle S4C \rangle$	CONCRETE SIDEWALK AT POST CURB	9 / C8.0
$\langle S5 \rangle$	SIDEWALK JOINTS	12 / C8.0
$\langle S8 \rangle$	ACCESSIBLE SYMBOL	3 / C8.1
$\langle S9 \rangle$	ACCESSIBLE PARKING LAYOUT	7 / C8.1
$\langle S10 \rangle$	ACCESSIBLE PARKING SIGN	2 / C8.1
$\langle \overline{S13} \rangle$	SITE LIGHTING - SEE ELECTRICAL PLANS FOR MORE INFORMATION	
$\langle \overline{S14} \rangle$	ACCESSIBLE CURB RAMP	1 / C8.1
$\langle \overline{S15} \rangle$	TACTILE WARNING	4 / C8.1
$\langle S16 \rangle$	CONCRETE DUMPSTER PAD WITH SCREEN WALL	1 / C8.7
$\langle S17 \rangle$	CONCRETE RETAINING WALL	7 / C8.0
<u> </u>	RADIUS DRIVE APPROACH	1 / C8.2
$\langle \overline{S19} \rangle$	CONCRETE SWALE	10 / C8.0
$\langle S20 \rangle$	SITE MONUMENT SIGN	
$\langle \overline{S21} \rangle$	MAIL PEDESTAL	8 / C8.0
$\langle \overline{S22} \rangle$	BOLLARD	5 / C8.1
$\langle \overline{S23} \rangle$	CONCRETE FLUME	6 / C8.1
$\langle S24 \rangle$	PEDESTRIAN CROSSWALK	9 / C8.1
$\langle S25 \rangle$	CONCRETE WHEEL STOP	10 / C8.1

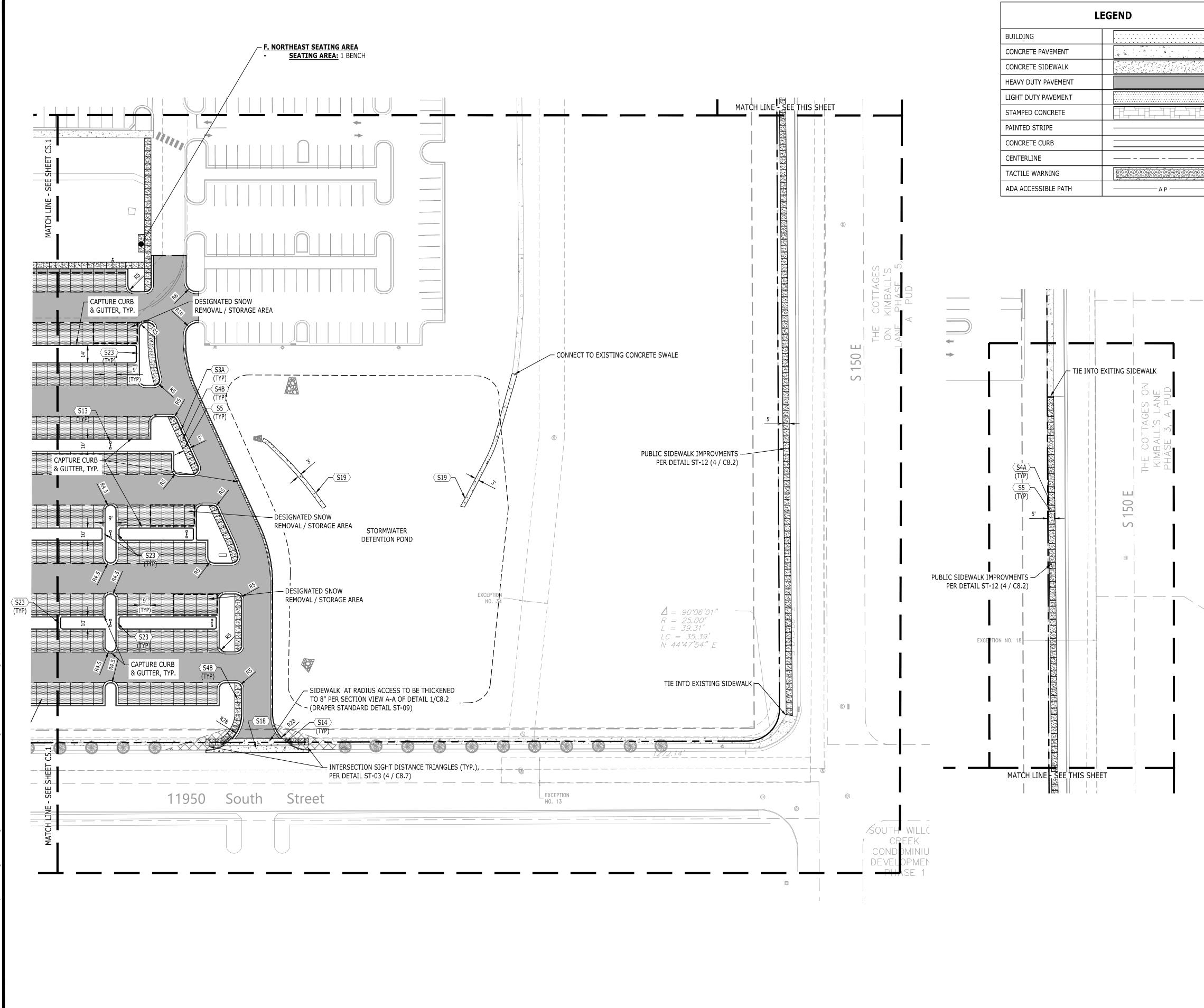


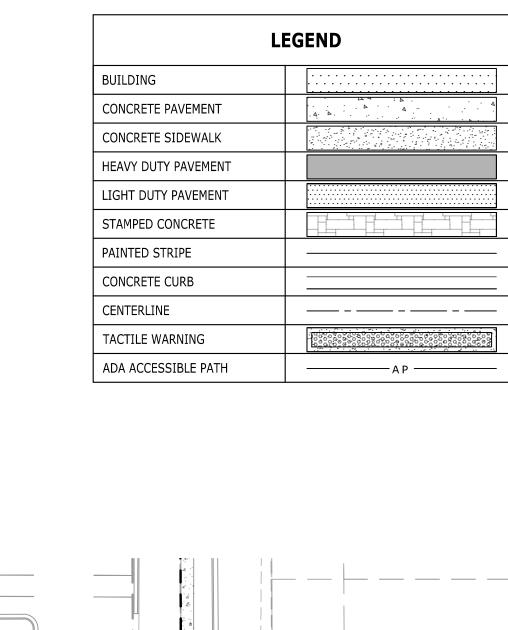
NOTE: REFER TO LANDSCAPE PLANS FOR ADDITIONAL

AMENITY AREA DETAILS.



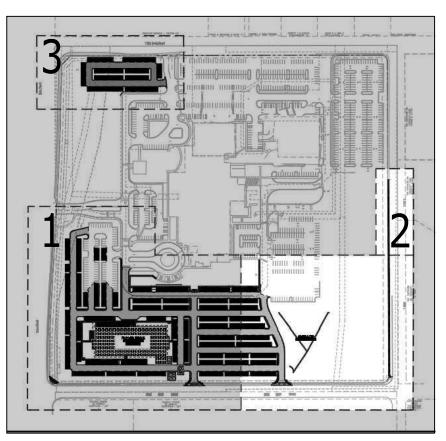




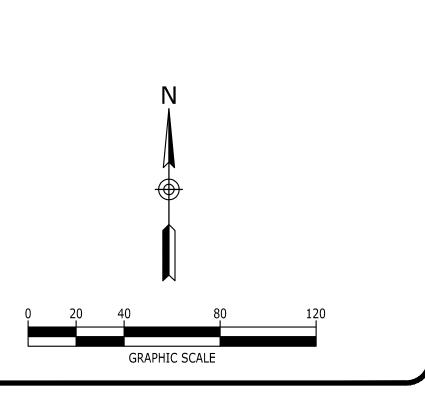


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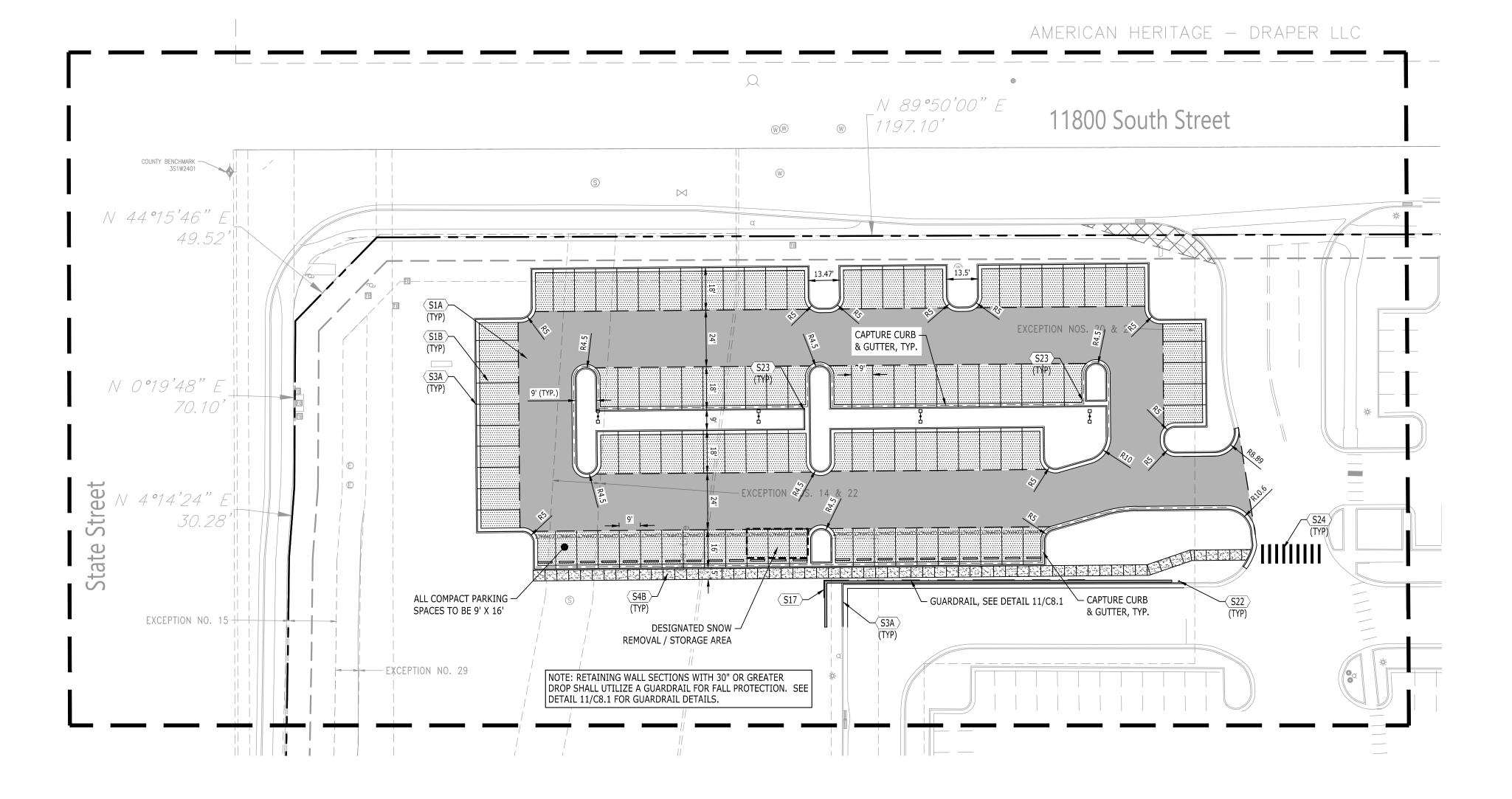
	SITE LAYOUT KEYNOTES	
CODE	DESCRIPTION	DET #/SHT #
$\langle S1A \rangle$	ASPHALT PAVEMENT - HEAVY DUTY	1 / C8.0
$\langle S1B \rangle$	ASPHALT PAVEMENT - LIGHT DUTY	1 / C8.0
$\langle S2 \rangle$	CONCRETE PAVEMENT	2 / C8.0
$\langle S3A \rangle$	CONCRETE CURB & GUTTER / SPILL CURB	4 / C8.0
$\langle S3B \rangle$	CONCRETE POST CURB	5 / C8.0
$\langle S3C \rangle$	CONCRETE RIBBON CURB	11 / C8.0
$\langle S4A \rangle$	CONCRETE SIDEWALK	3 / C8.0
$\langle S4B \rangle$	CONCRETE SIDEWALK AT CURB & GUTTER	6 / C8.0
$\langle S4C \rangle$	CONCRETE SIDEWALK AT POST CURB	9 / C8.0
$\langle S5 \rangle$	SIDEWALK JOINTS	12 / C8.0
$\langle S8 \rangle$	ACCESSIBLE SYMBOL	3 / C8.1
$\langle S9 \rangle$	ACCESSIBLE PARKING LAYOUT	7 / C8.1
$\langle \overline{S10} \rangle$	ACCESSIBLE PARKING SIGN	2 / C8.1
$\langle \overline{S13} \rangle$	SITE LIGHTING - SEE ELECTRICAL PLANS FOR MORE INFORMATION	
$\langle \overline{S14} \rangle$	ACCESSIBLE CURB RAMP	1 / C8.1
$\langle \underline{S15} \rangle$	TACTILE WARNING	4 / C8.1
$\langle S16 \rangle$	CONCRETE DUMPSTER PAD WITH SCREEN WALL	1 / C8.7
$\langle S17 \rangle$	CONCRETE RETAINING WALL	7 / C8.0
$\langle S18 \rangle$	RADIUS DRIVE APPROACH	1 / C8.2
$\langle \overline{S19} \rangle$	CONCRETE SWALE	10 / C8.0
$\langle s_{20} \rangle$	SITE MONUMENT SIGN	
$\langle \overline{S21} \rangle$	MAIL PEDESTAL	8 / C8.0
<u> (S22</u>)	BOLLARD	5 / C8.1
$\langle S23 \rangle$	CONCRETE FLUME	6 / C8.1
$\langle S24 \rangle$	PEDESTRIAN CROSSWALK	9 / C8.1
$\langle \overline{S25} \rangle$	CONCRETE WHEEL STOP	10 / C8.1



KEY MAP

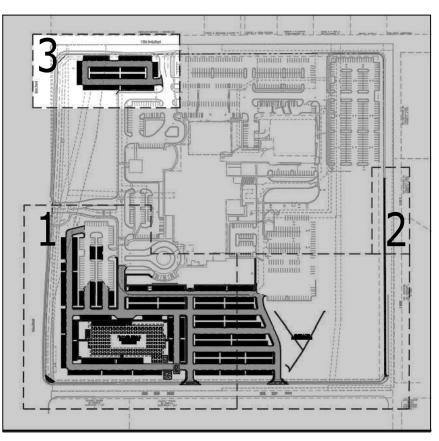




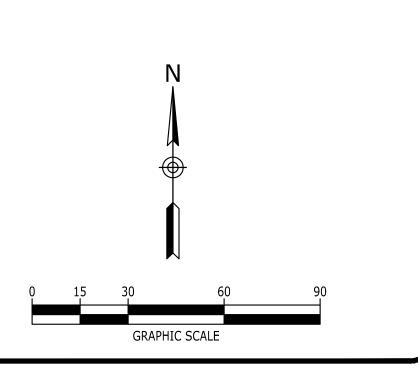


LEGEND		
BUILDING		
CONCRETE PAVEMENT	4. b	
CONCRETE SIDEWALK		
HEAVY DUTY PAVEMENT		
LIGHT DUTY PAVEMENT		
STAMPED CONCRETE		
PAINTED STRIPE		
CONCRETE CURB		
CENTERLINE		
TACTILE WARNING		
ADA ACCESSIBLE PATH	AP	

	SITE LAYOUT KEYNOTES	
CODE	DESCRIPTION	DET #/SHT #
$\langle \overline{S1A} \rangle$	ASPHALT PAVEMENT - HEAVY DUTY	1 / C8.0
$\langle \overline{S1B} \rangle$	ASPHALT PAVEMENT - LIGHT DUTY	1 / C8.0
$\langle S2 \rangle$	CONCRETE PAVEMENT	2 / C8.0
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$\langle \overline{S3C} \rangle$	CONCRETE RIBBON CURB	11 / C8.0
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$\langle \overline{S4B} \rangle$	CONCRETE SIDEWALK AT CURB & GUTTER	6 / C8.0
$\langle s_{4C} \rangle$	CONCRETE SIDEWALK AT POST CURB	9 / C8.0
$\langle S5 \rangle$	SIDEWALK JOINTS	12 / C8.0
$\langle S8 \rangle$	ACCESSIBLE SYMBOL	3 / C8.1
$\langle S9 \rangle$	ACCESSIBLE PARKING LAYOUT	7 / C8.1
$\langle S10 \rangle$	ACCESSIBLE PARKING SIGN	2 / C8.1
S13	SITE LIGHTING - SEE ELECTRICAL PLANS FOR MORE INFORMATION	
$\langle S14 \rangle$	ACCESSIBLE CURB RAMP	1 / C8.1
$\langle \overline{S15} \rangle$	TACTILE WARNING	4 / C8.1
< <u>S16</u> >	CONCRETE DUMPSTER PAD WITH SCREEN WALL	1 / C8.7
$\langle S17 \rangle$	CONCRETE RETAINING WALL	7 / C8.0
<u><518</u> >	RADIUS DRIVE APPROACH	1 / C8.2
$\langle \overline{S19} \rangle$	CONCRETE SWALE	10 / C8.0
$\langle s_{20} \rangle$	SITE MONUMENT SIGN	
$\langle S21 \rangle$	MAIL PEDESTAL	8 / C8.0
$\langle \overline{S22} \rangle$	BOLLARD	5 / C8.1
$\langle S23 \rangle$	CONCRETE FLUME	6 / C8.1
$\langle \overline{S24} \rangle$	PEDESTRIAN CROSSWALK	9 / C8.1
< <u>S25</u> >	CONCRETE WHEEL STOP	10 / C8.1



KEY MAP



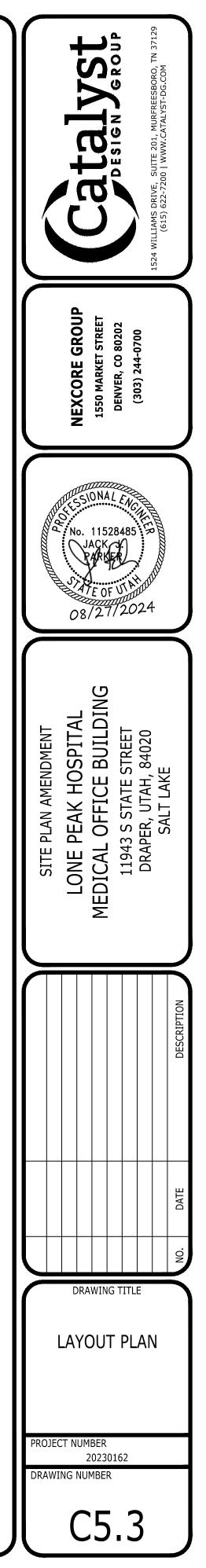
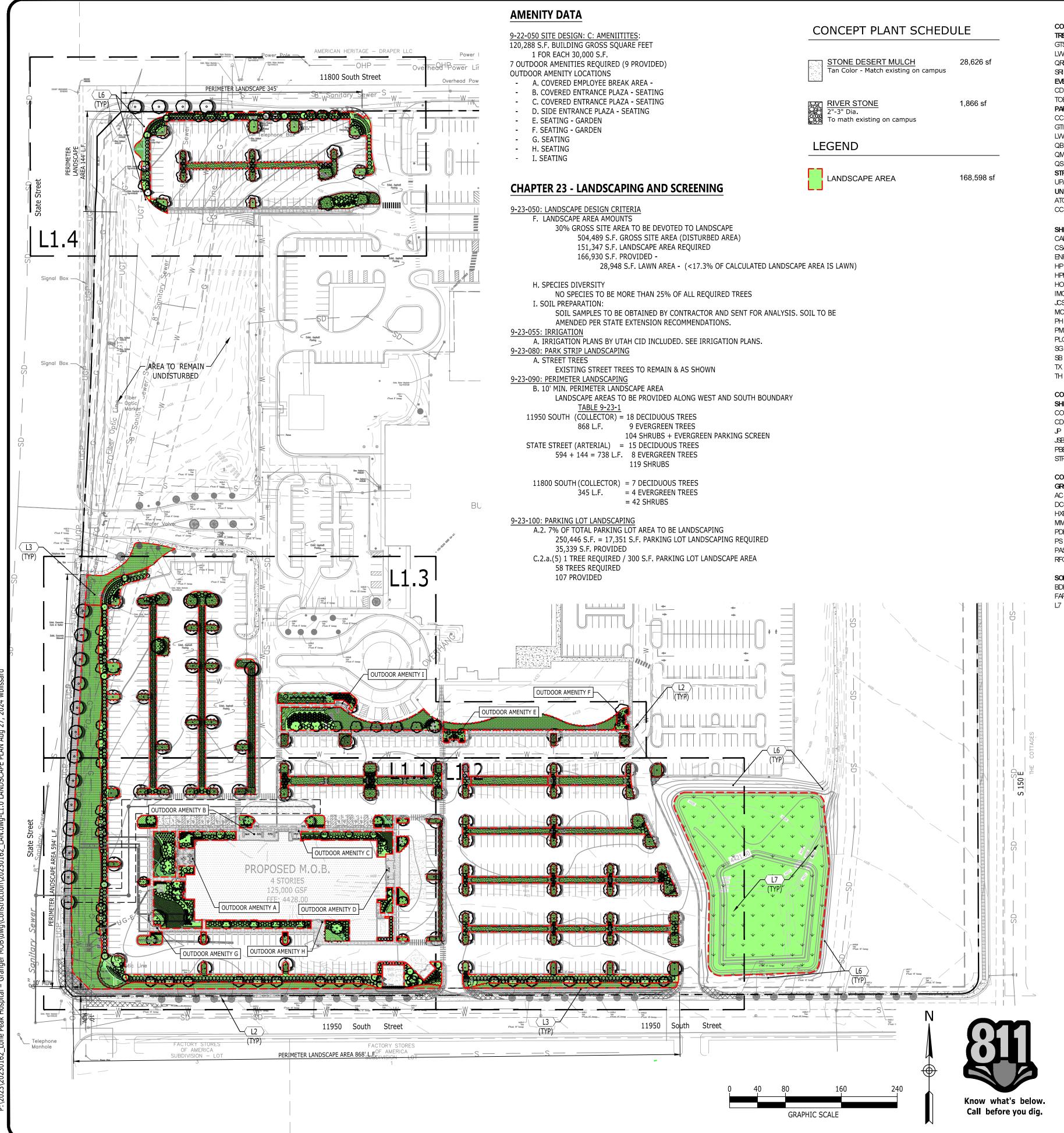


EXHIBIT G LANDSCAPE PLAN



<u>5</u> :	CONCEPT PLANT SCHEDU	JLE
FEET		
ROVIDED)	STONE DESERT MULCH Tan Color - Match existing on campus	28,626 sf
REA - SEATING SEATING IING	RIVER STONE 2"-3" Dia. To math existing on campus	1,866 sf
	LEGEND	
IG AND SCREENING	LANDSCAPE AREA	168,598 sf
<u>IA</u>		
O BE DEVOTED TO LANDSCAPE SS SITE AREA (DISTURBED AREA) SCAPE AREA REQUIRED 'IDED - LAWN AREA - (<17.3% OF CALCULATED LANDSCAPI	F ARFA IS LAWN)	
	_ · · · · · · · · · · · · · · · · · · ·	

CODE	QTY	UNI	T BOTANICAL/ COMMON NAME
TREES GTS		4 ea	Geditsia triacanthos inermis 'Shademaster' / Shademas
LWG2		4 ea	Laburnum x watereri / Golden Chain Tree
QRF		5 ea	Quercus robur 'Fastigiata' / Skyrocket\U+00AEEnglish O
SRI		7 ea	Syringa reticulata 'Ivory SIk' / Ivory SIk Japanese Tree Lila
EVERGREEN TREES		/ ea	Synnya reliculata Ivory Sik / Ivory Sik Japanese nee Dia
CDK		22 ea	Cedrus deodara 'Karl Fuchs' / Karl Fuchs Deodar Cedar
TOE		22 ea 12 ea	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae
		12 ea	Inuja occidentalis Ginaragu / Enerald Green Albolvitae
PARKINGLOT TREES		2 ea	Cercis canadensis / Eastern Redbud
GII		2 ea 47 ea	Geditsia triacanthos inermis 'Shademaster' / Shademas
_WG			
QB		12 ea 13 ea	Laburnum x watereri / Golden Chain Tree
QM		13 ea 14 ea	Quercus bicolor / Swamp White Oak
		14 ea 19 ea	Quercus macrocarpa / Burr Oak
		19 ea	Quercus shumardii / Shumard Oak
STREET TREES		17	l lleve non ifalia (Allac) (Allac) Lle QQAE Lacabart (De
		17 ea	Ulmus parvifolia 'Alee' / Alee\U+00AELacebark 8m
UNDERSTORY TREES		00	
ATG		28 ea	Acer tataricum 'GarAnn' / Hot Wings\U+00AE Tatarian M
CCI		18 ea	Crataegus crus-galli inermis / Thornless Cockspur Hawtl
SHRUBS			
CAK		354 ea	Calamagrostis x acutiflora `Karl Foerster` / Foersters Fe
CSA		64 ea	Cornus sericea `Artic Fire` / Artic Fire Dogwood
ENR		56 ea	Ericameria nauseosa / Rubber Rabbitbrush
HP		22 ea	Hesperaloe parviflora / Red Yucca
HPF		195 ea	Hydrangea paniculata 'Bulk' / Quick Fire\U+00AEPanicle
НО		6 ea	Hydrangea quercifolia ` Snow Queen` / Snow Queen Oak
IMC		162 ea	llex x meserveae` China Girl` TM/ China Girl Holly
JCS		255 ea	Juniperus chinensis 'Sea Green' / Sea Green Juniper
MCR		142 ea	Muhlenbergia capillaris `Regal Mist` / Pink Muhly Grass
PH		160 ea	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Gr
PMS		4 ea	Pinus mugo 'Sowmound' / Sowmound Mugo Pine
PLO		26 ea	Prunus laurocerasus `Otto Luyken` / Luykens Laurel
3G		55 ea	Salvia greggi / Autumn Sage
SB		4 ea	Sambucus nigra`Black Lace`/Black Lace Ederberry
TX		57 ea	Taxus x media ` Densiformis` / Spreading Yew
TH		23 ea	Taxus x media `Hicksii` / Hicks Yew
CODE	QTY	UNI	T BOTANICAL/ COMMON NAME
SHRUBAREAS		116	Catanagatar adaraga is 'Tam Thumb' / Farly Catanagata
COT		116 ea	Cotoneaster adpressus 'Tom Thumb' / Early Cotoneaster
CDC		878 ea	Cotoneaster dammeri 'Coral Beauty' / Coral Beauty Coto
P m		826 ea	Juniperus procumbens 'Nana' / Dwarf Japanese Garden
JSB		235 ea	Juniperus sabina 'Broadmoor' / Broadmoor Juniper
PBB STP		333 ea 177 ea	Prunus besseyi 'P011S' / Pawnee Buttes\U+00AE Sand C Stipa tenuissima 'Pony Tails' / Pony Tails Mexican Feathe
		in ou	
CODE GROUND COVERS / PERE	QTY NNIALS	UNI	T BOTANICAL/ COMMON NAME
AC		190 ea	Annual Color / Annual Color
DCO		275 ea	Delosperma cooperi / Purple Ice Plant
HXP		57 ea	Hemerocallis x`Pardon Me` / Pardon Me Daylily
MM		61 ea	Mirabilis multiflora / Colorado Four O'Clock
PDB		97 ea	Penstemon digitalis 'Blackbeard' / Blackbeard Beardton
PS		134 ea	Penstemon strictus / Rocky Mountain Penstemon
PAS		87 ea	Perovskia atriplicifolia`Little Spire`TM/Little Spire Rus
RFG		44 ea	Rudbeckia fulgida sullivantii `Goldsturm` / Goldsturm B
SOD			
BDL	35	008 sf	Bouteloua dactyloides 'Legacy' / Legacy Buffalo Grass
FAR	2	004 sf	Festuca arundinacea 'Rhizomatous RTF / RTF Tall Fescu

46,868 sf Native Seed Mix

CODI

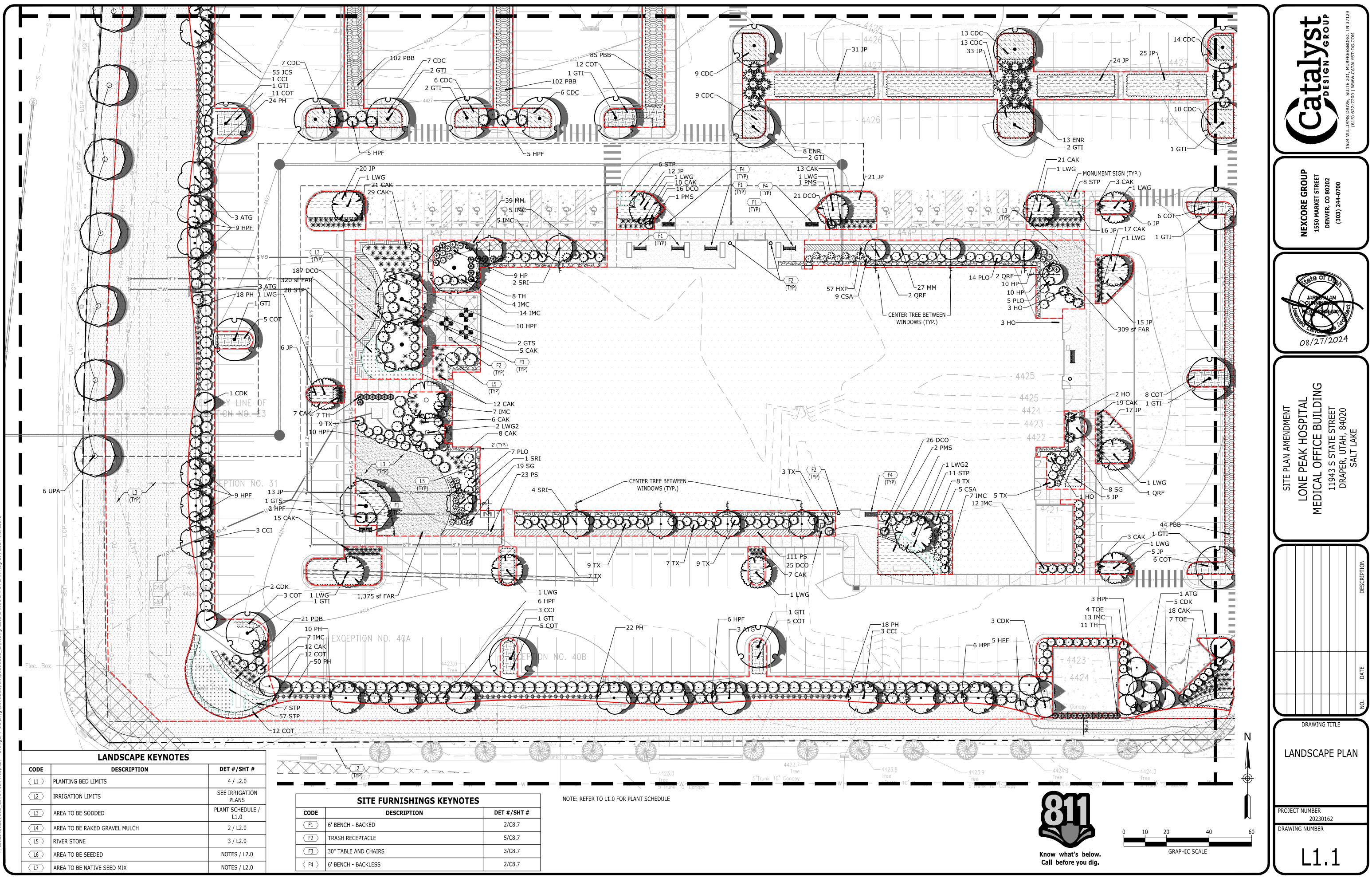
	CONT	CAL	SIZE	SPREAD			
naster' / Shademaster Honey Locust	B&B	2"	10-12'				
ree	B&B	2"	8-10`				
\U+00AEEnglish Oak	B&B	2"	10-12`				
Japanese Tree Lilac	B&B	2"	8-10`				
shs Deodar Cedar	B&B/Cont.		6-8`				
d Green Arborvitae	B&B/Cont.		6-7				
	B&B	2"	8-10`				
naster' / Shademaster Honey Locust	B&B	2"	10-12`				
ree	B&B	2"	8-10`				
	B&B	2"	10-12`				
	B&B	2"	10-12`				
	B&B	2"	10-12`				
ELacebark⊞m	B&B	2"	10-12`				
J+00AE Tatarian Maple	B&B	2"	8-10`				
ss Cockspur Hawthorn	B&B	2"	8-10`				
					MATURESIZE	PLANTCOVE	FRAGE AREA
ster`/Foersters Feather Reed Grass	#3		18-24''			2.5	885 sf
e Dogwood	#3		15-18''			3.5	224 sf
brush	# 3		15-18''			4	224 sf
	# 3		15-18''			3	66 sf
re\U+00AEPanicleHydrangea	# 3		15-18''			4	780 sf
/ Snow Queen Oakleaf Hydrangea	#3		15-18''			4.5	27 sf
ina Girl Holly	# 3		18-24''			4.5	729 sf
Green Juniper	#3		18-24''			5	1275 sf
/ Pink Muhly Grass	#3		15-18''			3.5	497 sf
wy Metal Switch Grass	#3		18-24''			2.5	400 sf
Mugo Pine	# 7		24-30"	24-30"		4	16 sf
Luykens Laurel	#7		18-24''			4	104 sf
	#3		12-15"			3	165 sf
Lace Ederberry	#3		18-21"			6	24 sf
dingYew	# 7		18-24"	24-30"		4.5	256.5 sf
	#7		36" Ht.			3	69 sf
	CONT		SIZE	SPREAD	SPACING	PLANTCOVE	FRAGE AREA
/ Early Cotoneaster	#3			18"-24"	60" o.c.		2587 sf
Coral Beauty Cotoneaster	# 3			18"-24"	42" o.c.		10036 sf
Japanese Garden Juniper	#3			15"-18"	48" o.c.		12396 sf
moor Juniper	#3		15"-18"	18"-24"	60" o.c.		5618 sf
es\U+00AESand Cherry	# 3		15-18''		48'' o.c.		5110 sf
ils Mexican Feather Grass	#3		14"-18"		30" o.c.		1039 sf
	CONT		SIZE		SPACING	PLANTCOVE	FRAGE AREA
	4''pot				8'' o.c.		81 sf
t	quart		6-12"		15" o.c.		410 sf
MeDaylily	#1		8-12"		16" o.c.		97 sf
Clock	#1		8-12"		36" o.c.		513 sf
ickbeard Beardtongue	#1		8-12"		24" o.c.		363 sf
Penstemon	#1		12-15"		24" o.c.		514 sf
M/LittleSpireRussianSage	#1		12-15"		48" o.c.		1295 sf
rm`/GoldsturmBlack-EyedSusan	#1		8-12"		28" o.c.		225 sf -
nu Duffela Ora	Ond						25.000
cy Buffalo Grass	Sod						35,008 sf
TF / RTF Tall Fescue	Sod						2,004 sf
	Seed						46,868 sf
					ANT COVEREAG		129,906
				REQUIRE	JISA	1	151,347

LANT	COVE	RAGE	

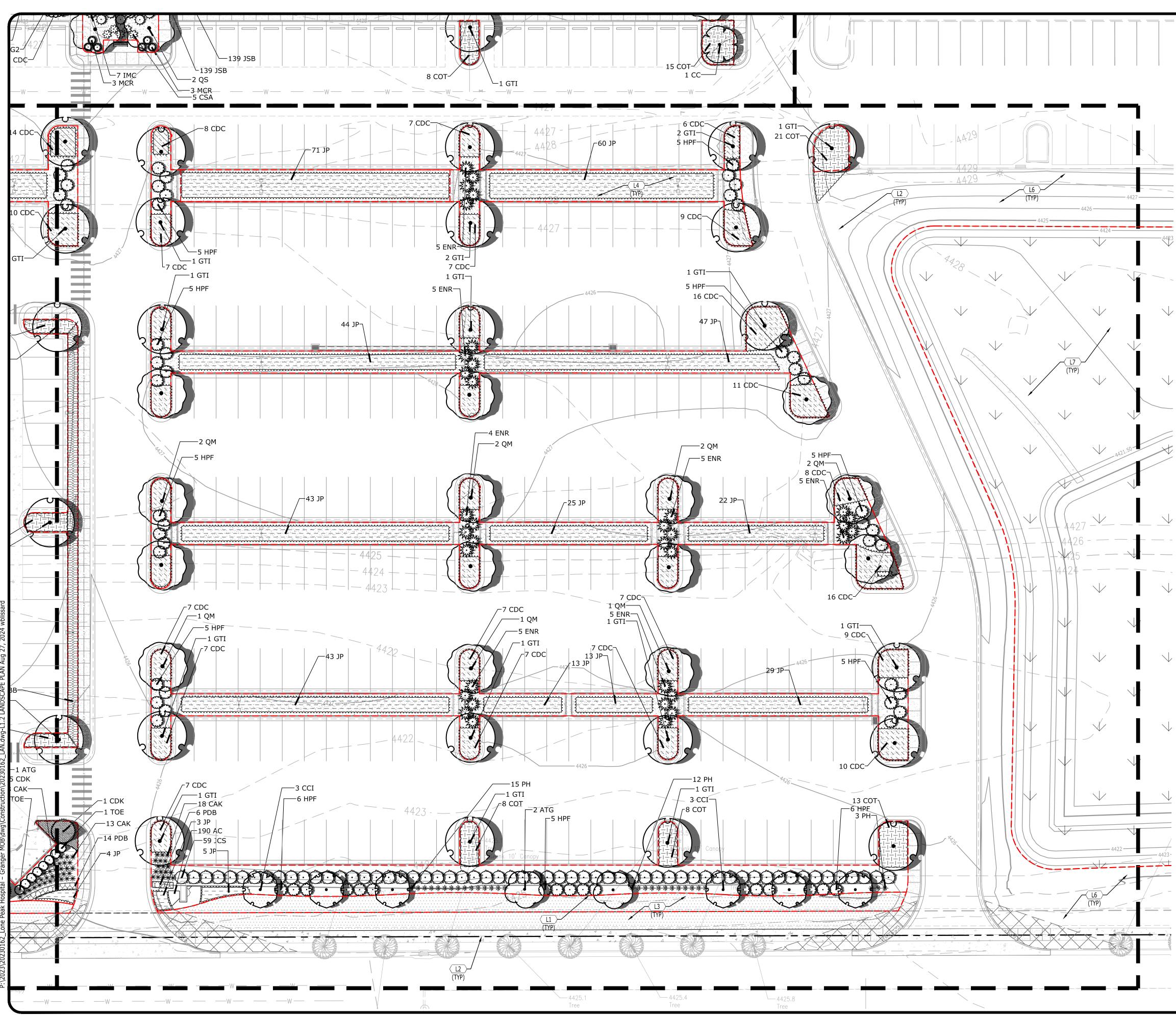
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	LANDSCAPE KEYNOTES	
DE	DESCRIPTION	DET #/SHT #
1	PLANTING BED LIMITS	4 / L2.0
2	IRRIGATION LIMITS	SEE IRRIGATION PLANS
3	AREA TO BE SODDED	PLANT SCHEDULE / L1.0
4	AREA TO BE RAKED GRAVEL MULCH	2 / L2.0
5	RIVER STONE	3 / L2.0
6	AREA TO BE SEEDED	NOTES / L2.0
7_>	AREA TO BE NATIVE SEED MIX	NOTES / L2.0





(2023/20230162_Lone Peak Hospital – Granger MOB/dwg/Construction/20230162_LAN.dwg-L1.1 LANDSCAPE PLAN Aug 27,



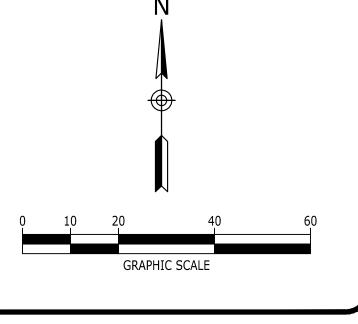
	SITE FURNISHINGS KEYNOTES	
CODE	DESCRIPTION	DET #/SHT #
$\langle F1 \rangle$	6' BENCH - BACKED	2/C8.7
F2	TRASH RECEPTACLE	5/C8.7
F3	30" TABLE AND CHAIRS	3/C8.7
$\langle F4 \rangle$	6' BENCH - BACKLESS	2/C8.7

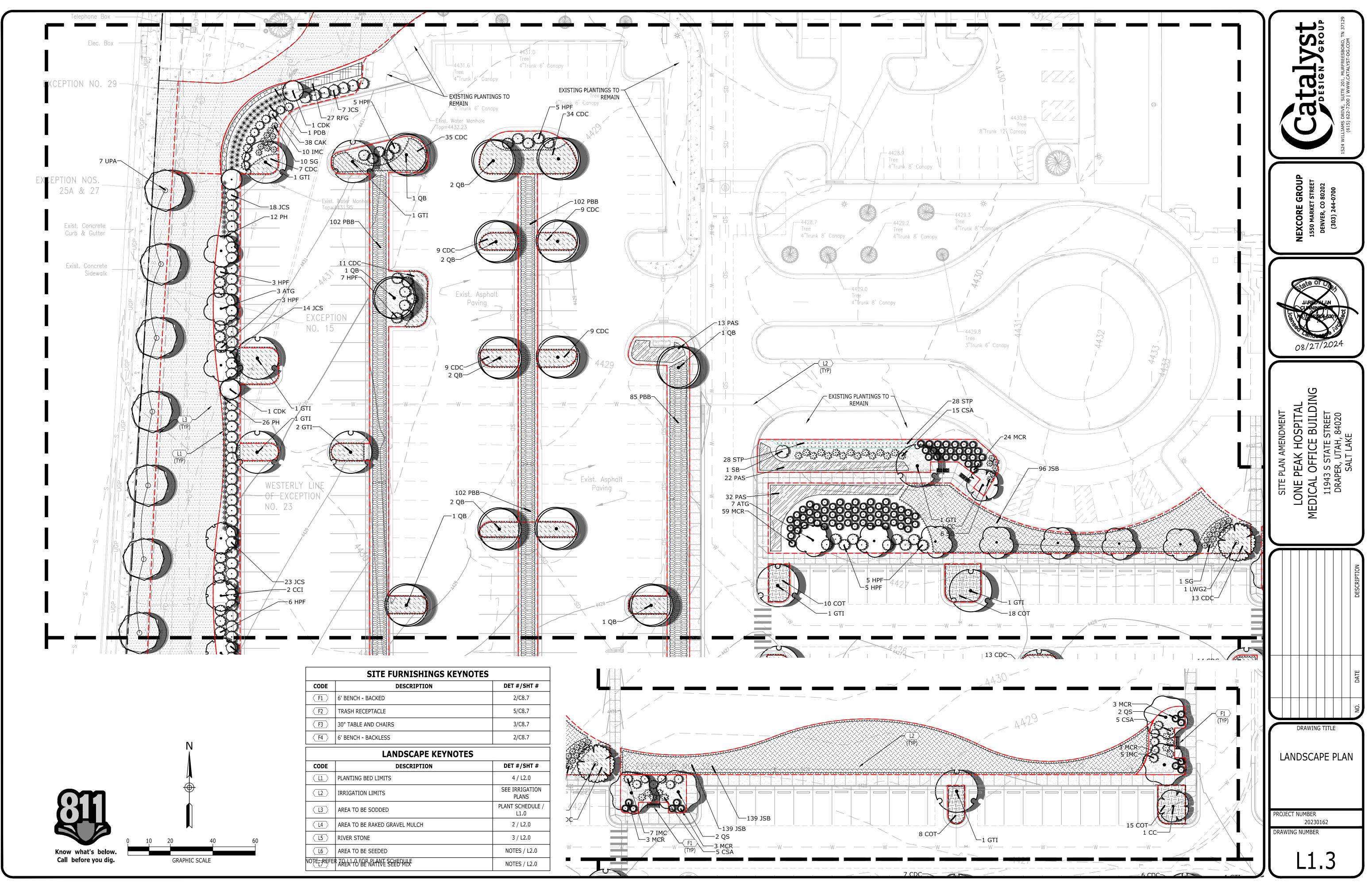
LANDSCAPE KEYNOTES					
CODE	DESCRIPTION	DET #/SHT #			
$\langle l1 \rangle$	PLANTING BED LIMITS	4 / L2.0			
$\langle L2 \rangle$	IRRIGATION LIMITS	SEE IRRIGATION PLANS			
$\langle L3 \rangle$	AREA TO BE SODDED	PLANT SCHEDULE / L1.0			
$\langle L4 \rangle$	AREA TO BE RAKED GRAVEL MULCH	2 / L2.0			
<u> </u>	RIVER STONE	3 / L2.0			
$\langle L6 \rangle$	AREA TO BE SEEDED	NOTES / L2.0			
<u> </u>	AREA TO BE NATIVE SEED MIX	NOTES / L2.0			

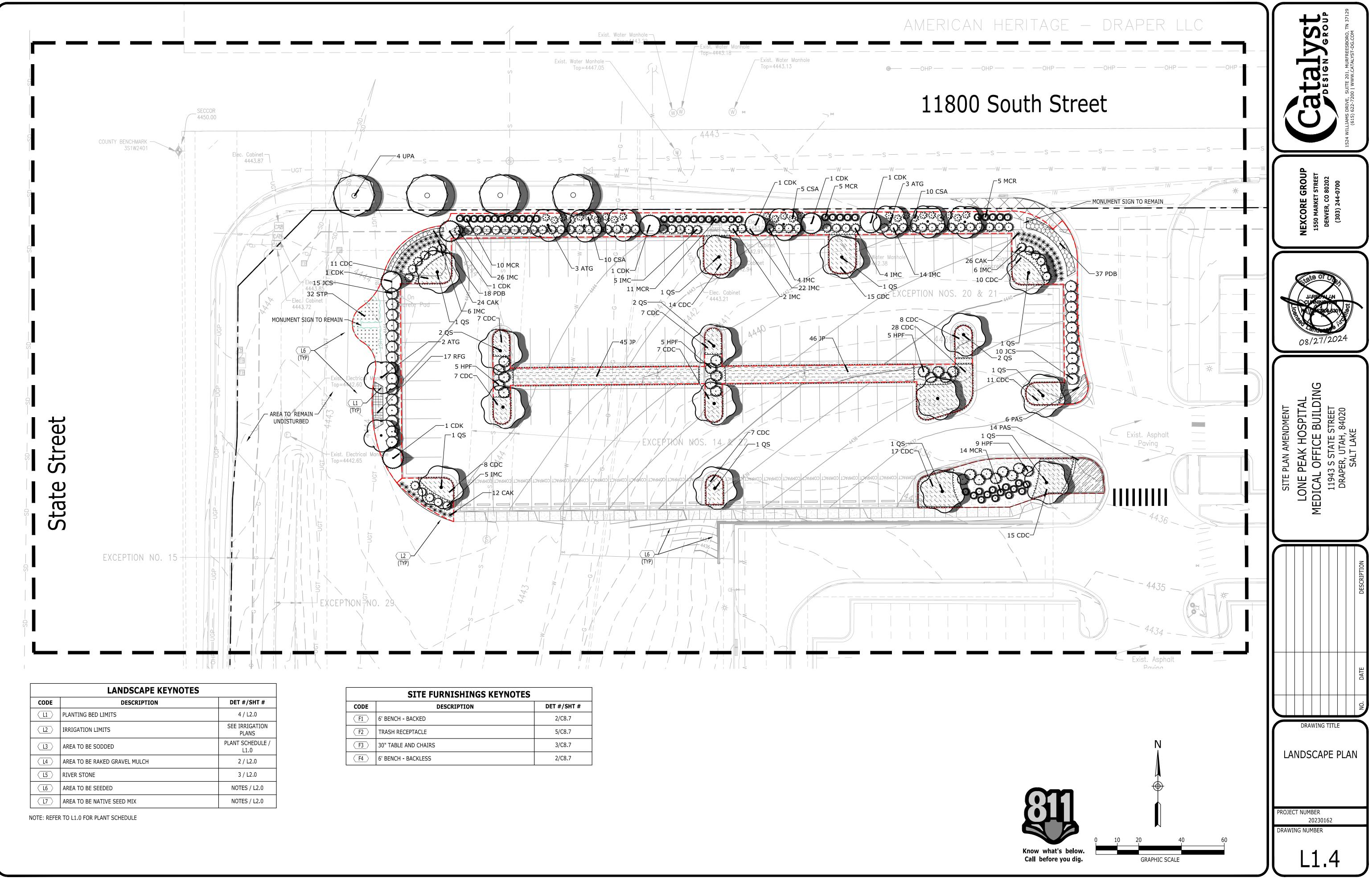
NOTE: REFER TO L1.0 FOR PLANT SCHEDULE









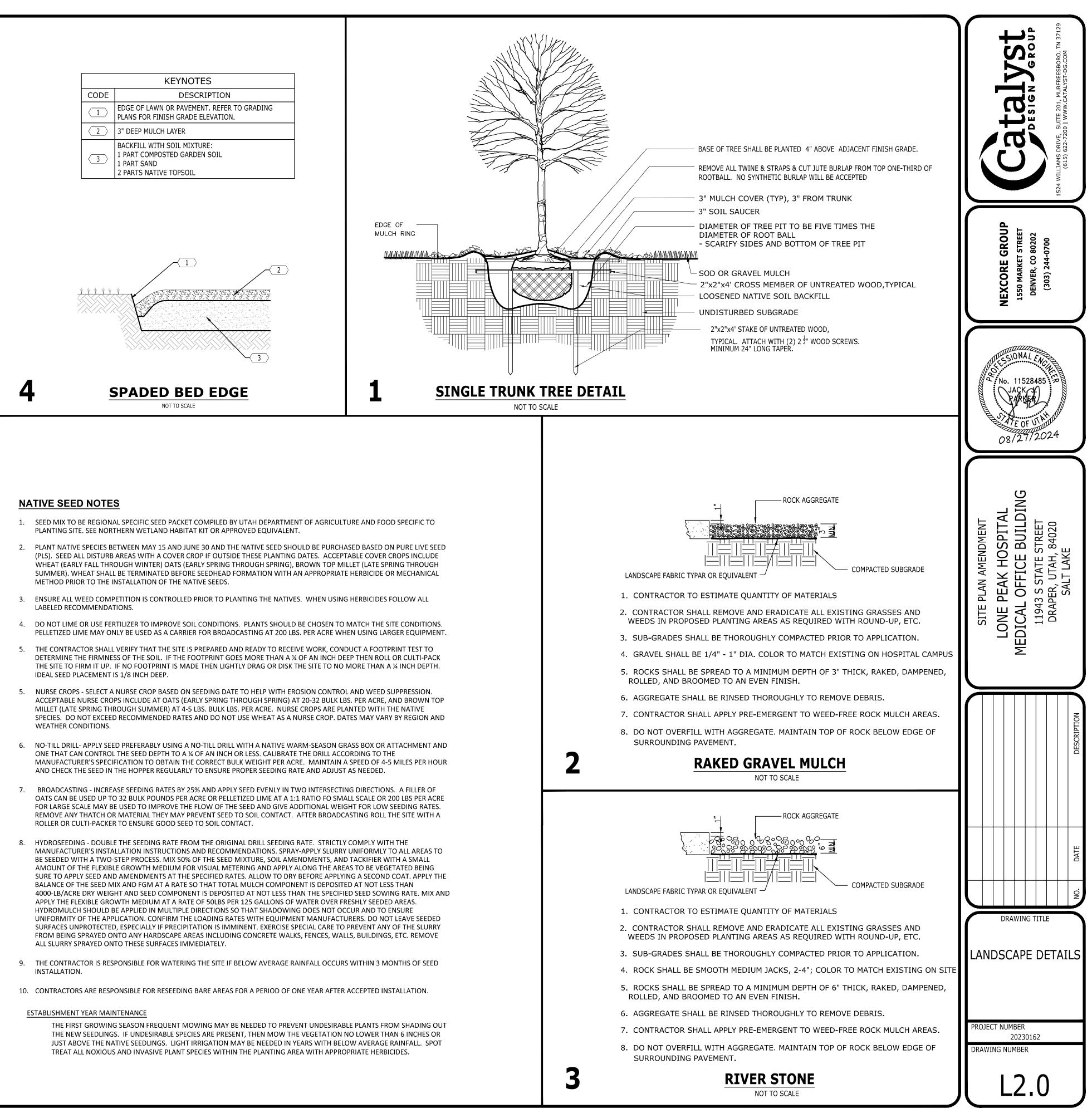


	LANDSCAPE KEYNOTES						
CODE	CODE DESCRIPTION						
	PLANTING BED LIMITS	4 / L2.0					
	IRRIGATION LIMITS	SEE IRRIGATION PLANS					
	AREA TO BE SODDED	PLANT SCHEDULE / L1.0					
$\langle L4 \rangle$	AREA TO BE RAKED GRAVEL MULCH	2 / L2.0					
<u>(L5</u>)	RIVER STONE	3 / L2.0					
	AREA TO BE SEEDED	NOTES / L2.0					
<u>(17</u>)	AREA TO BE NATIVE SEED MIX	NOTES / L2.0					

	SITE FURNISHINGS KEYNOTES					
CODE	CODE DESCRIPTION DET #/SHT #					
$\langle F1 \rangle$	6' BENCH - BACKED	2/C8.7				
F2	TRASH RECEPTACLE	5/C8.7				
F3	30" TABLE AND CHAIRS	3/C8.7				
$\langle F4 \rangle$	6' BENCH - BACKLESS	2/C8.7				

PLANTING NOTES

- BASE INFORMATION WAS TAKEN FROM A SURVEY. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
- 2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONFIRM ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
- 3. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- 4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. SOME UNDERGROUND UTILITIES WILL HAVE TO BE ADJUSTED TO ALLOW FOR THE INSTALLATION OF PROPOSED TREES.
- 5. ALL PLANTING BEDS TO RECEIVE 3" OF ORGANIC MULCH TO MATCH EXISTING.
- 6. NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS.
- 7. DIMENSIONS LISTED FOR HEIGHTS, SPREAD AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR INSTALLING PLANT MATERIAL THAT MEETS OR EXCEEDS SALT LAKE COUNTY CODE REQUIREMENTS.
- 8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
- 9. NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
- 10. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
- 11. ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND QUALITY.
- 12. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
- 13. ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- 14. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
- 15. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES (18" DEEP) WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE OUT WITHIN A 18-HOUR PERIOD. THE OWNER OR LANDSCAPE ARCHITECT SHALL VERIFY ACCURACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A P V C DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING RELOCATED.
- 16. SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS, OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
- 17. NO MATERIAL SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED
- 18. EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES AND SHEET C3.0.
- 19. ALL PROPOSED BEDS ARE TO BE TILLED TO A DEPTH OF 8" AND FERTILIZED AS PER SOIL TEST RESULTS. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
- 20. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.



IRRIGATION SCHEDULE

		-
<u>SYMBOL</u>	MANUFACTURER/MODEL	
8 8 8 8 9 T H F	Rain Bird 1804 8 Series MPR	State Street
	Rain Bird 1804 10 Series MPR	State
	Rain Bird 1804 12 Series MPR	
	Rain Bird 1804 15 Series MPR	
(8) 08HE-VAN (12) 12HE-VAN (10) 10HE-VAN (15) 15HE-VAN	Rain Bird 1804 HE-VAN Series	Sig
14 ADJ 14 F	Rain Bird R-VAN14 1804-SAM-P45	
18 ADJ 18 F	Rain Bird R-VAN18 1804-SAM-P45	
24 ADJ 24 F	Rain Bird R-VAN24 1804-SAM-P45	Sig
SYMBOL	MANUFACTURER/MODEL	
(1.5)	Rain Bird 5004-PC, FC 1.5	
3.0	Rain Bird 5004-PC, FC 3.0	
SYMBOL	MANUFACTURER/MODEL	
	Rain Bird XCZPGA-100-PRF	
	Area to Receive Dripline Rain Bird XFD-06-18 (22)	
	MANUFACTURER/MODEL Rain Bird IVM-PGA Globe	
	Rain Bird 5-RC	
\mathbf{X}	Nibco T-113-K	
Ŵ	Rain Bird PEB 2"	
C	Rain Bird ESPLXIVM	
RS	Rain Bird WR2-RFC	
FS	Rain Bird FS-150-P	
	Irrigation Lateral Line: PVC Class 200 SDR 21	SPRAY ROTORS AND BE ZONED SEPARATELY FROM FESCUE LAWN AREAS
	Irrigation Mainline: PVC Class 200 SDR 21	
	Pipe Sleeve: PVC Schedule 40	ALL SHRUB/GROUNDCOVER BEDS TO RECEIVE DRIP IRRIGATION
	Valve Callout	
# •	Valve Number	
#" #	Vehre Flour	FESCUE LAWN TO RECEIVE SPRAY

FESCUE LAWN TO RECEIVE SPRAY ROTORS AND BE ZONED SEPARATELY FROM BUFFALO GRASS LAWN AREAS

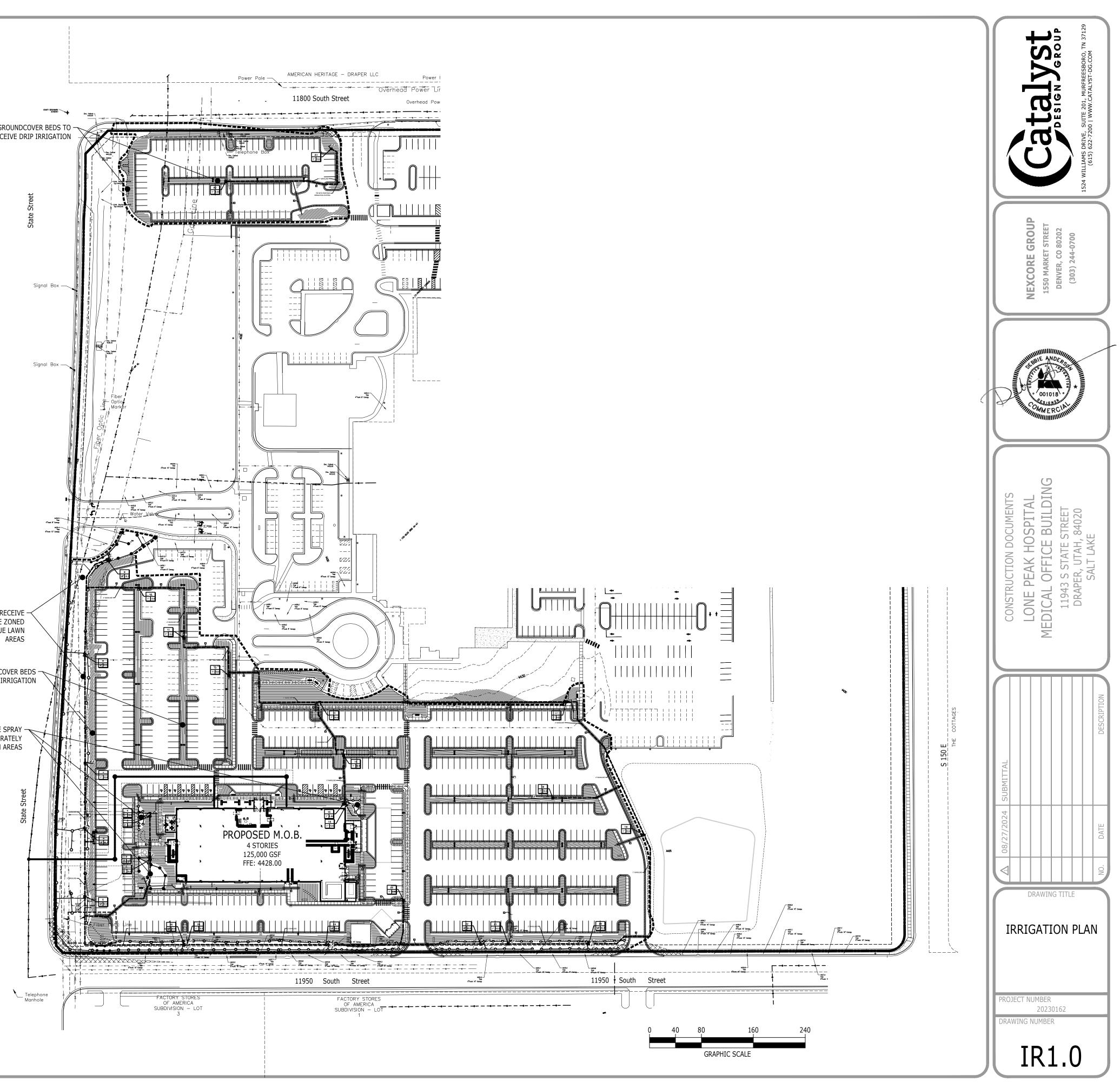
IRRIGATION NOTES:

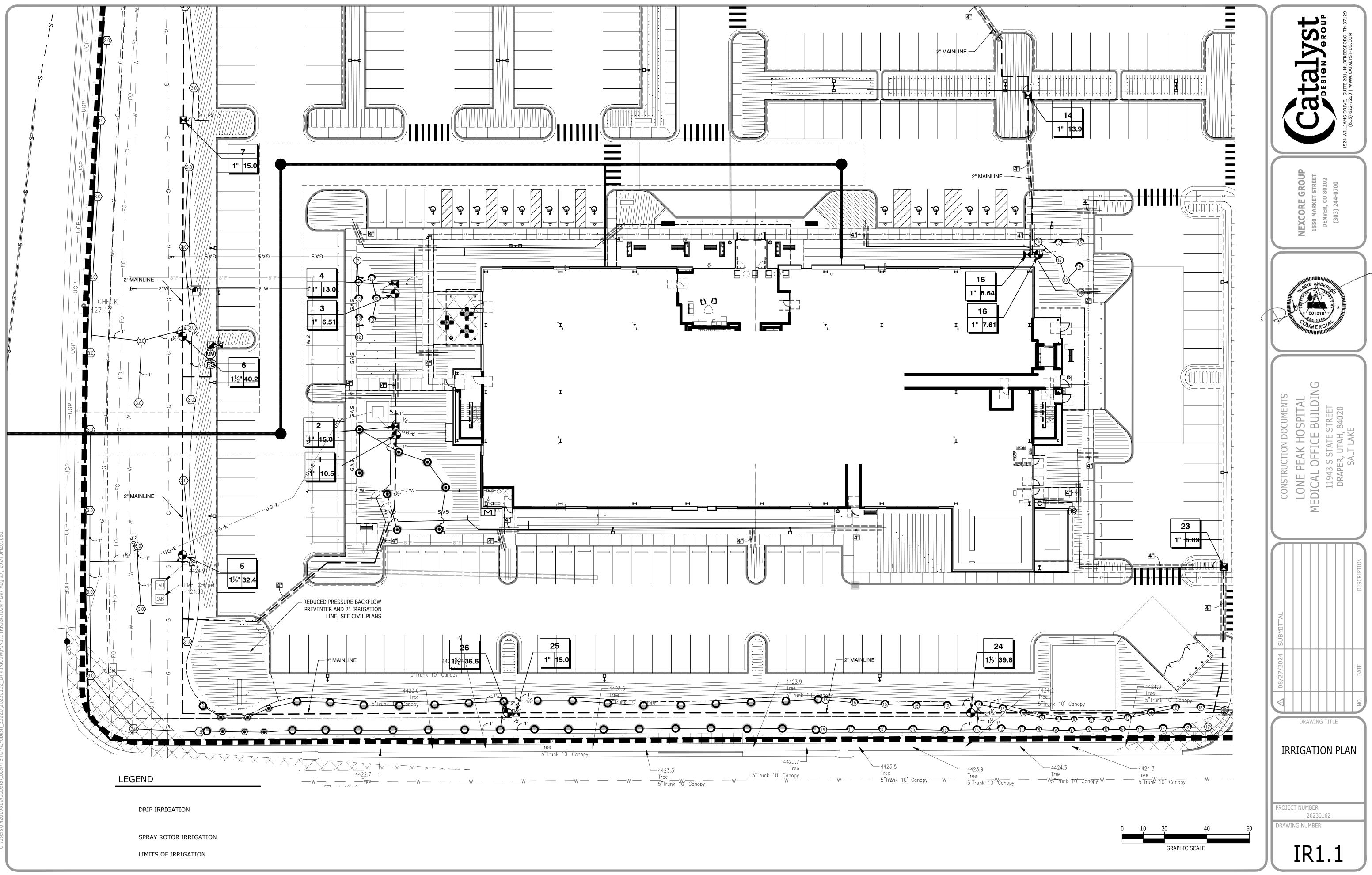
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Valve Flow

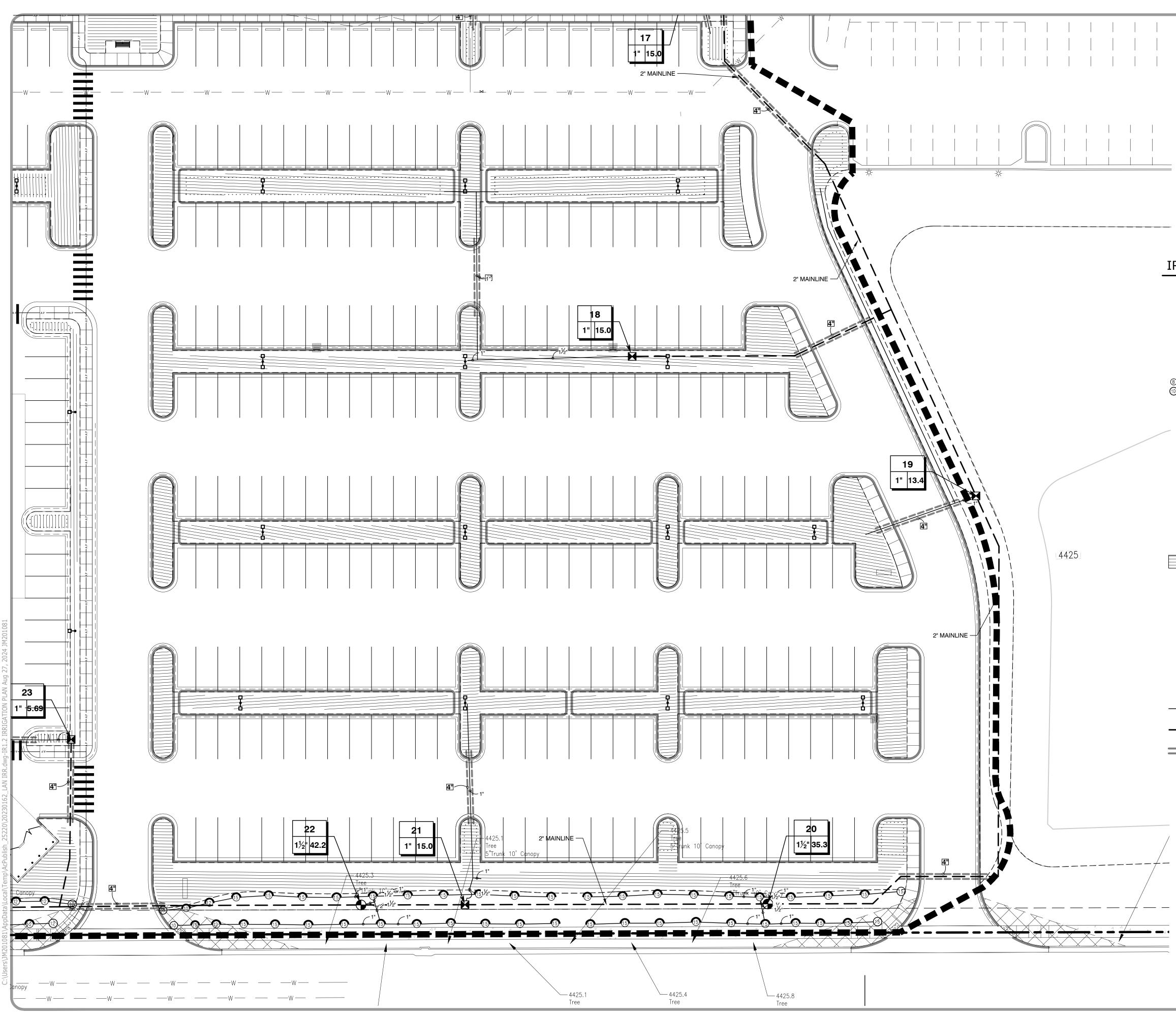
A. PRESSURE REGULATION: IN AREAS WHERE THE STATIC SERVICE PRESSURE FROM THE WATER METER EXCEEDS EIGHTY POUNDS PER SQUARE INCH (80 PSI), A PRESSURE REGULATING VALVE SHALL BE INSTALLED AS PART OF THE IRRIGATION SYSTEM DESIGN AND SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PRESSURE-REGULATING VALVE SHALL BE LOCATED BETWEEN THE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.

B. IRRIGATION CONTROLLER: LANDSCAPED AREAS SHALL BE PROVIDED WITH AN EPA-CERTIFIED IRRIGATION CONTROLLER OR EQUIVALENT WHICH AUTOMATICALLY ADJUSTS THE FREQUENCY AND DURATION OF IRRIGATION EVENTS IN RESPONSE TO CHANGING WEATHER CONDITIONS. ALL CONTROLLERS SHALL BE EQUIPPED WITH AUTOMATIC RAIN DELAY OR RAIN SHUT-OFF CAPABILITIES.





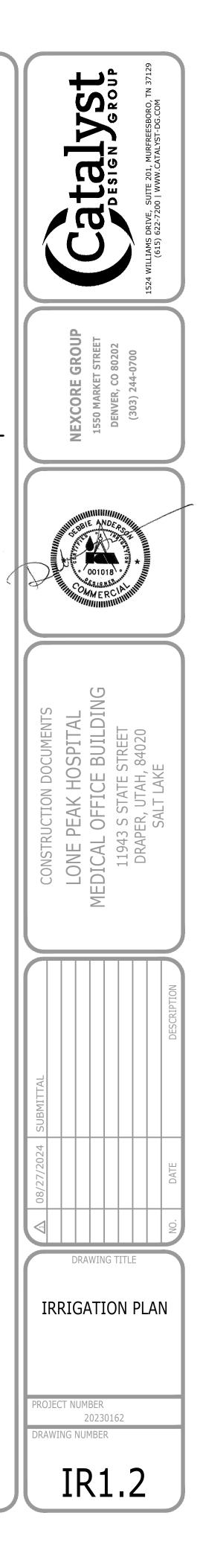
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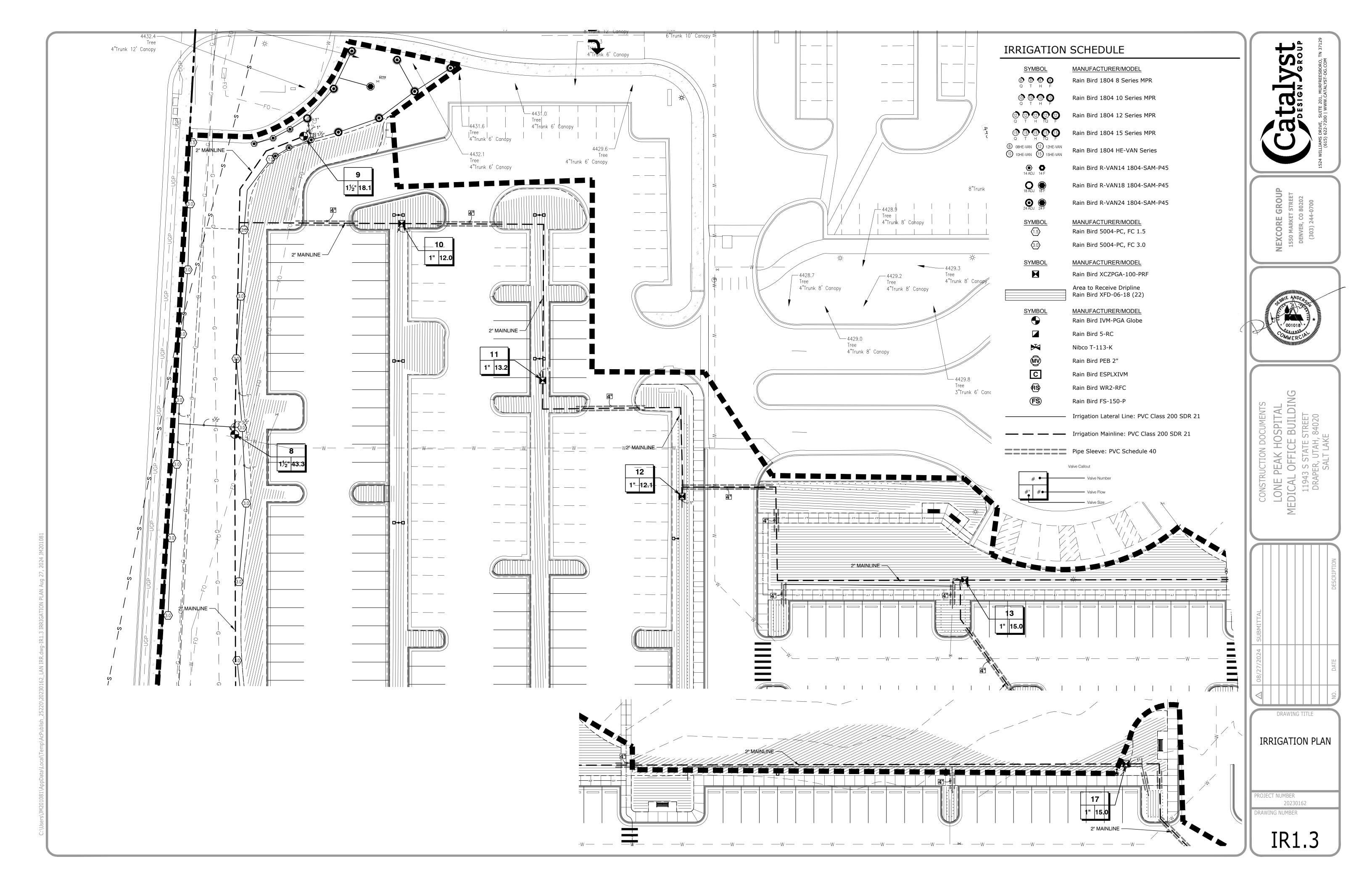
IRRIGATION SCHEDULE

SYMBOL MANUFACTURER/MODEL (3)
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(7) Rain Bird 1804 8 Series MPR Rain Bird 1804 10 Series MPR Rain Bird 1804 12 Series MPR Rain Bird 1804 15 Series MPR
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 Rain Bird 1804 HE-VAN Series 14 ADJ 14 F Rain Bird R-VAN14 1804-SAM-P45 18 ADJ 18 F Rain Bird R-VAN18 1804-SAM-P45 24 ADJ 24 F Rain Bird R-VAN24 1804-SAM-P45 SYMBOL MANUFACTURER/MODEL Rain Bird 5004-PC, FC 1.5 3.0 Rain Bird 5004-PC, FC 3.0 SYMBOL MANUFACTURER/MODEL Rain Bird XCZPGA-100-PRF Area to Receive Dripline Rain Bird XFD-06-18 (22) MANUFACTURER/MODEL SYMBOL Rain Bird IVM-PGA Globe Rain Bird 5-RC \mathbf{M} Nibco T-113-K Ŵ Rain Bird PEB 2" С Rain Bird ESPLXIVM RS> Rain Bird WR2-RFC FS Rain Bird FS-150-P Irrigation Lateral Line: PVC Class 200 SDR 21 — — Irrigation Mainline: PVC Class 200 SDR 21 Pipe Sleeve: PVC Schedule 40 Valve Callout ------ Valve Number #" #●-— Valve Flow Valve Size



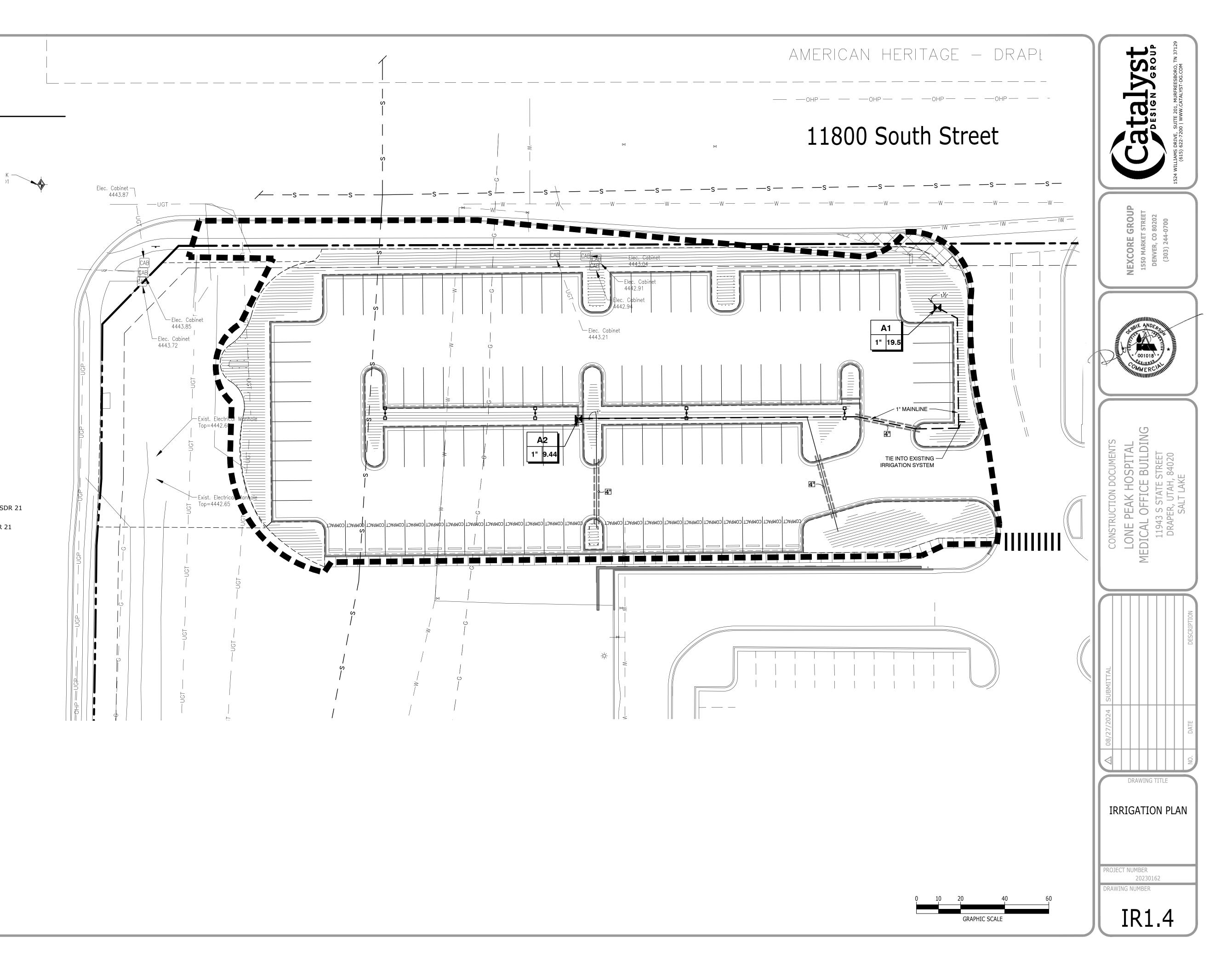
10 20 40 GRAPHIC SCALE



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL
8 8 8 8 Q T H F	Rain Bird 1804 8 Series MPR
	Rain Bird 1804 10 Series MPR
	Rain Bird 1804 12 Series MPR
	Rain Bird 1804 15 Series MPR
8 08HE-VAN 12 12HE-VAN 10 10HE-VAN 15 15HE-VAN	Rain Bird 1804 HE-VAN Series
14 ADJ 14 F	Rain Bird R-VAN14 1804-SAM-P45
18 ADJ 18 F	Rain Bird R-VAN18 1804-SAM-P45
24 ADJ 24 F	Rain Bird R-VAN24 1804-SAM-P45
SYMBOL	MANUFACTURER/MODEL
(1.5)	Rain Bird 5004-PC, FC 1.5
30	Rain Bird 5004-PC, FC 3.0
<u>SYMBOL</u>	MANUFACTURER/MODEL
	Rain Bird XCZPGA-100-PRF
	Area to Receive Dripline
	Rain Bird XFD-06-18 (22)
SYMBOL	MANUFACTURER/MODEL
	Rain Bird IVM-PGA Globe
	Rain Bird 5-RC
	Nibco T-113-K
Ŵ	Rain Bird PEB 2"
្រា	Rain Bird ESPLXIVM
(RS)	Rain Bird WR2-RFC
(FS)	Rain Bird FS-150-P
	Irrigation Lateral Line: PVC Class 200 SD
	Irrigation Mainline: PVC Class 200 SDR 2
	Pipe Sleeve: PVC Schedule 40
	Valve Callout
# •	Valve Number

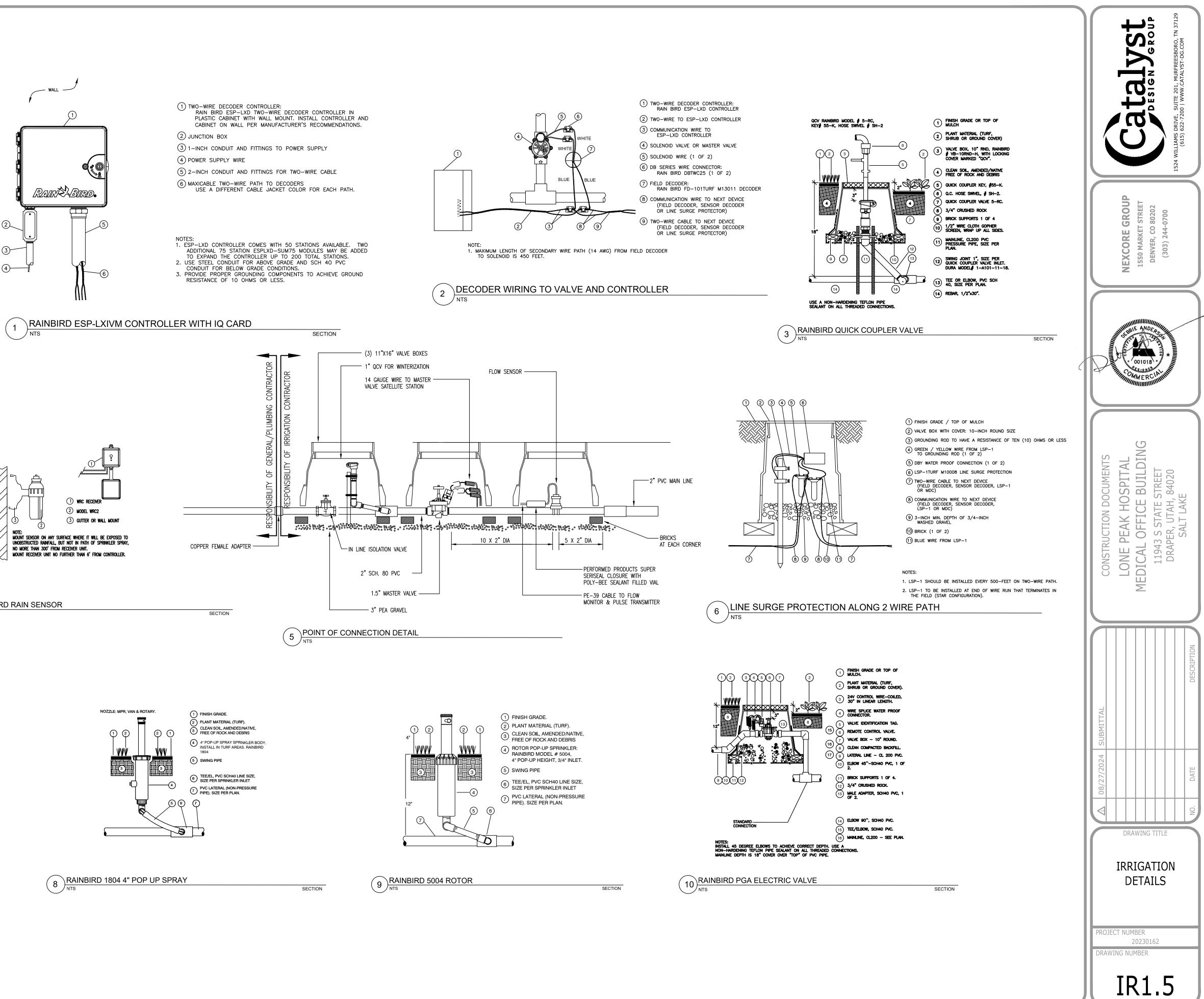
Valve Flow
Valve Size

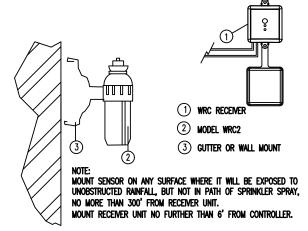


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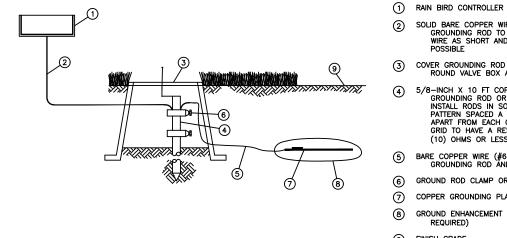
IRRIGATION NOTES

- 1. THE IRRIGATION SYSTEM DESIGN IS BASED ON 80 STATIC PRESSURE (PSI) AND MAXIMUM FLOW OF 45 GALLONS PER MINUTE(GPM). THE IRRIGATION CONTRACTOR SHALL VERIFY THE PRESSURE AND FLOW PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPORT TO THE OWNER OR OWNER'S REPRESENTATIVE ANY DIFFERENCES BETWEEN THE PRESSURE INDICATED AND THE ACTUAL PRESSURE READING AT THE POINT OF CONNECTION.
- 2. THE PIPE ROUTING SHOWN IS DIAGRAMMATIC ONLY. ALL PIPING, VALVES, HEADS, ETC SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY. PRESSURE LOSS CALCULATIONS ARE BASED ON THE PIPE ROUTING AS SHOWN. SIGNIFICANT DEVIATIONS FROM THE ROUTING SHOWN SHOULD BE AVOIDED.
- DO NOT WILLINGLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DIFFERENCES IN THE DIMENSIONS OF THE CONSTRUCTED AREAS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE IRRIGATION DESIGN OR CHANGES HAVE OCCURRED IN THE SITE PLAN. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE IRRIGATION DESIGNER AND THE GENERAL CONTRACTOR IMMEDIATELY. SHOULD THE IRRIGATION CONTRACTOR PROCEED WITH THE INSTALLATION WITHOUT NOTIFYING THE IRRIGATION DESIGNER AND THE GENERAL CONTRACTOR, THE IRRIGATION CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ANY AND ALL REVISIONS / RECONSTRUCTION NECESSARY.
- 4. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF / HERSELF WITH THE SITE, ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, AND INSTALLED UTILITIES. COORDINATE WORK WITH THE OWNER OR GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES UNDERNEATH PAVEMENT AND THROUGH WALLS.
- 5. DUE TO THE SCALE OF THE DRAWING, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, JOINTS, ETC. WHICH MAY BE REQUIRED. THE IRRIGATION CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS/HER WORK AND PLAN HIS/HER WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC. AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. ALL WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEM COMPONENTS, LANDSCAPE PLANTING, AND ARCHITECTURAL FEATURES.
- 6. FLUSH ALL LINES AND HEADS PRIOR TO INSTALLING NOZZLES. ADJUST NOZZLE SPRAY ARC AND RADIUS FOR OPTIMUM PERFORMANCE TO PREVENT OVERSPRAY ONTO PAVED SURFACES OR FACE OF BUILDING AS MUCH AS POSSIBLE TO FIT THE SITE CONDITIONS. THROTTLE FLOW CONTROL AT EACH VALVE FOR OPTIMUM OPERATING PRESSURE FOR EACH ZONE.
- 7. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISHED GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE NOTED.
- 8. WHEN VERTICAL OBSTRUCTIONS (POLES, SIGNS, TREES, HYDRANTS, ETC) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS SO AS TO PREVENT PROPER COVERAGE, THE CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER, THIRD, OR HALF CIRCLE HEAD AT THE SIDES OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST.
- 9. USE TEFLON TAPE ON ALL MALE PIPE THREADS ON PVC PIPE, SWING JOINTS, AND VALVE ASSEMBLIES. 10. INSTALL VALVE BOXES 18-INCHES FROM AND PERPENDICULAR TO WALKS, CURBS, BUILDING, OR LANDSCAPE FEATURES. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE INSTALLED A MINIMUM OF 12-INCHES APART.
- 11. ALL VALVES SHALL BE PLACED IN VALVE BOXES AS SHOWN IN THE DETAILS AND ALL ELECTRICAL CONNECTIONS SHALL BE SEALED WITH WATERPROOF CONNECTORS.
- 12.120-VOLT ELECTRICAL POWER AT THE CONTROLLER SHALL BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE POWER PROVIDED TO THE CONTROLLER.
- 13. PROVIDE AS-BUILT DRAWINGS WITHIN 21 DAYS UPON COMPLETION OF THE IRRIGATION INSTALLATION. 14. THERE SHALL BE NO SUBSTITUTIONS OR CHANGES TO THE IRRIGATION DESIGN ALLOWED WITHOUT DIRECT WRITTEN APPROVAL FROM THE IRRIGATION CONSULTANT OR THE LANDSCAPE ARCHITECT. CONTACT WC3 DESIGN FOR INFORMATION.
- 15. ALL SPRINKLERS, VALVES AND VALVE BOXES SHALL BE PLACED 5' AWAY FROM ANY RADIUS OF CURB AS SHOWN IN DETAILS.
- 16. IRRIGATION CONTRACTOR SHALL PROVIDE THE FIRST WINTERIZATION BLOW OUT. IN ADDITION, HE SHALL PROVIDE THE SPRING TURN ON . ALL NECESSARY HEAD ADJUSTMENTS SHALL BE MADE AT THAT TIME AND REPLACE OR REPAIR ANY WARRANTY ITEMS. THESE ITEMS SHALL BE INCLUDED WITH BID. 17. PROVIDE GROUNDING ALONG CONTROLLER WIRE RUN PER MANUFACTURES INSTALLATION
- RECOMENDATIONS. 18.IRRIGATION CONTRACTOR TO REPAIR OR REPLACE ANY EXISTING UTILITY, LOW VOLTAGE WIRE OR OTHER EXISTING EQUIPMENT DAMAGED DURING IRRIGATION INSTALLATION.



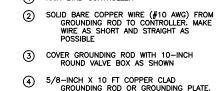






CONTROLLER GROUNDING PLATE

/ NTS



- 5/8-INCH X 10 FT COPPER CLAD GROUNDING ROD OR GROUNDING PLATE. INSTALL RODS IN SOIL IN A TRIAGULAR PATTERN SPACED A MINIMUM OF 16 FT APART FROM EACH OTHER. GROUNDING GRID TO HAVE A RESISTANCE OF TEN (10) OHMS OR LESS
- BARE COPPER WIRE (#6 AWG MIN.) BETWEEN GROUNDING ROD AND GROUNDING PLATE GROUND ROD CLAMP OR WELDS
- COPPER GROUNDING PLATE
- 8 GROUND ENHANCEMENT MATERIAL (IF REQUIRED)
- 9 FINISH GRADE

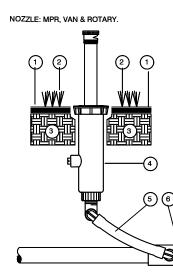
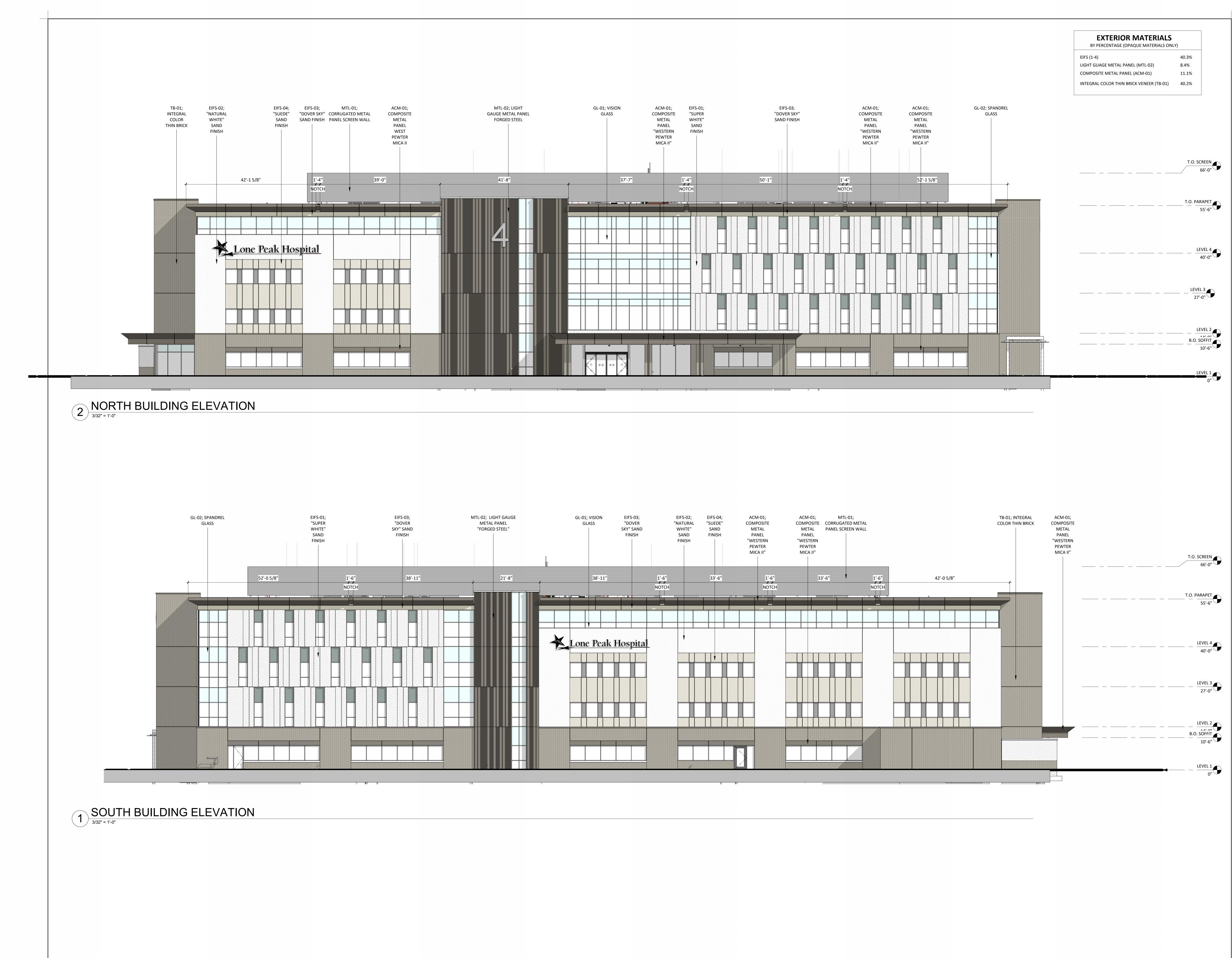
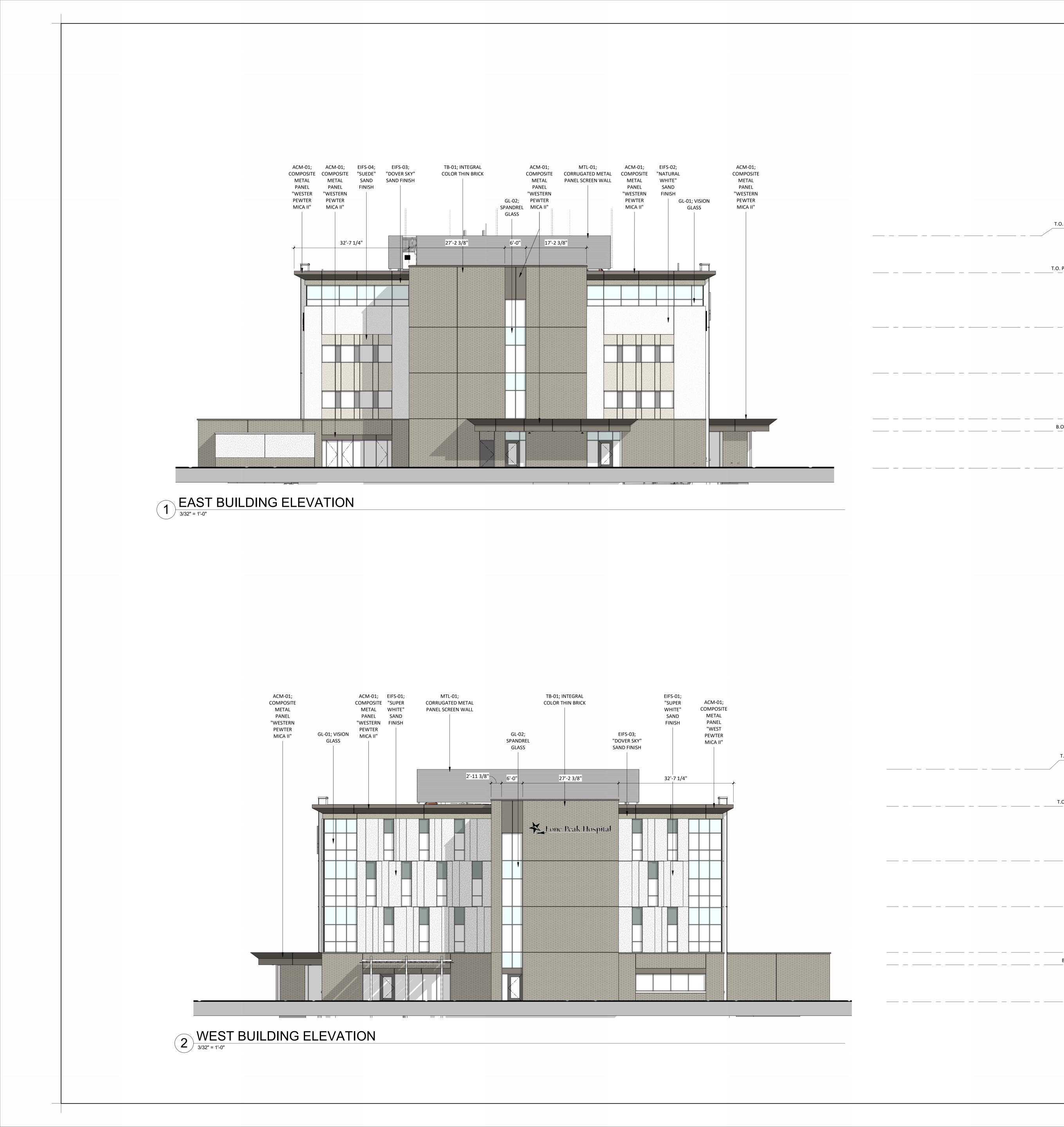




EXHIBIT H ELEVATIONS

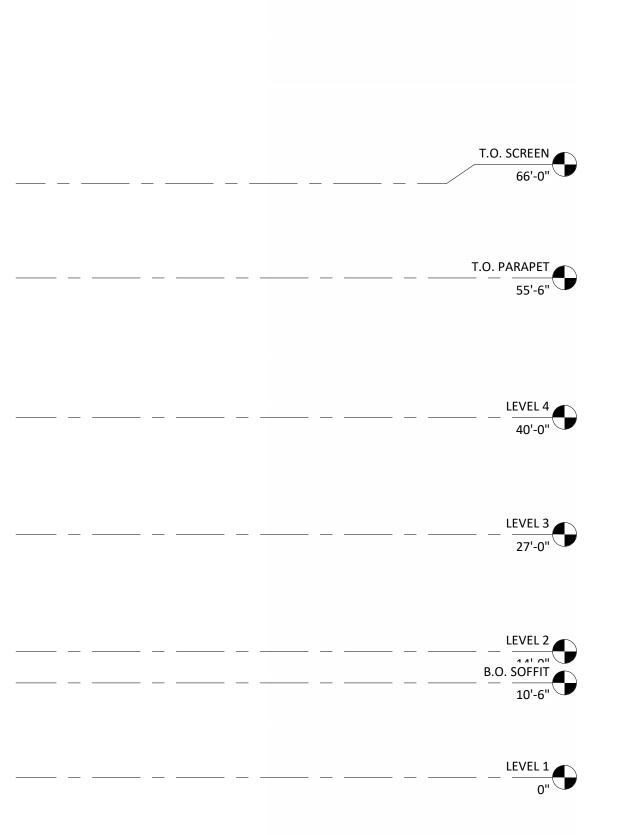


A written description of such billing or payment cycle applicable to the Project is available from the Owner or the Owner's designated agent upon request.	Devenney G R O U P Devenney Group Ltd., Architects 6900 East Camelback Road Suite 500 Scottsdale, AZ 85251 T: 602.943.8950 www.devenneygroup.com
/ailable fr	Consultant:
ling or payment cycle applicable to the Project is a	
	PRELIMINARY NOT FOR CONSTRUCTION
make payments on an alternative schedule.	IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP LTD.
Notice of Alternate Billing or Payment Cycle: The Owner may plan to make payments	LONE PEAK HOSPITAL - MEDICAL OFFICE BUILDING CORE/SHELL
ernate Billing or Pay	11925 S STATE STREET, DRAPER, UT 84020
Notice of Alt	AUTHORITY HAVING JURISDICTION: CITY OF DRAPER BUILDING DEPARTMENT
7	AUTHORITY HAVING JURISDICTION'S PROJECT NO: PLANNING DEPARTMENT: #2024-0225-SP
	FACILITY NUMBER: LONE PEAK HOSPITAL BUILDING 4
	AGENCY APPROVALS: CITY OF DRAPER PLANNING, DEVIATION: #20240175-VAR
	REVISIONS REV # DESCRIPTION DATE
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EXTERIOR MATERIALS	
BY PERCENTAGE (OPAQUE MATERIALS ONLY)	
EIFS (1-4)	40.3%
LIGHT GUAGE METAL PANEL (MTL-02)	8.4%

COMPOSITE METAL PANEL (ACM-01)	11.1%
INTEGRAL COLOR THIN BRICK VENEER (TB-01)	40.2%



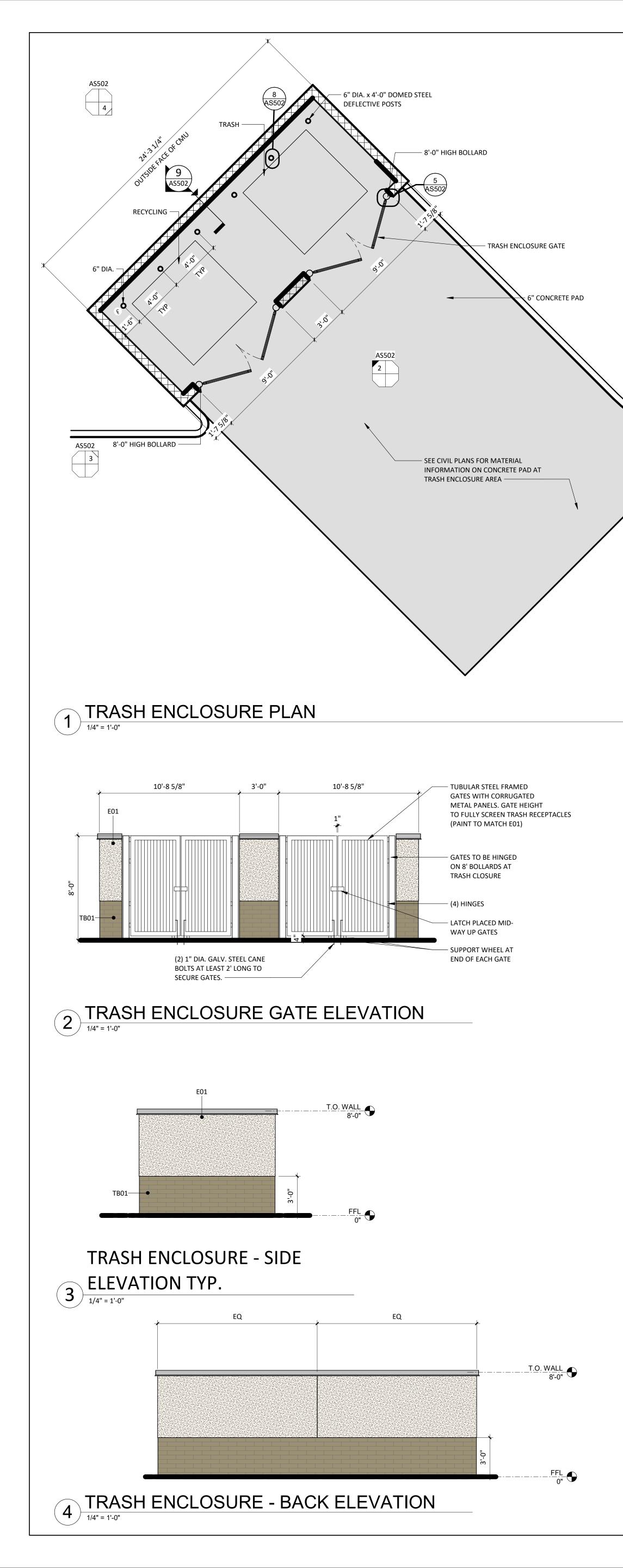
T.O. SCREEN 66'-0"

LEVEL 4 40'-0"

LEVEL 3 27'-0"

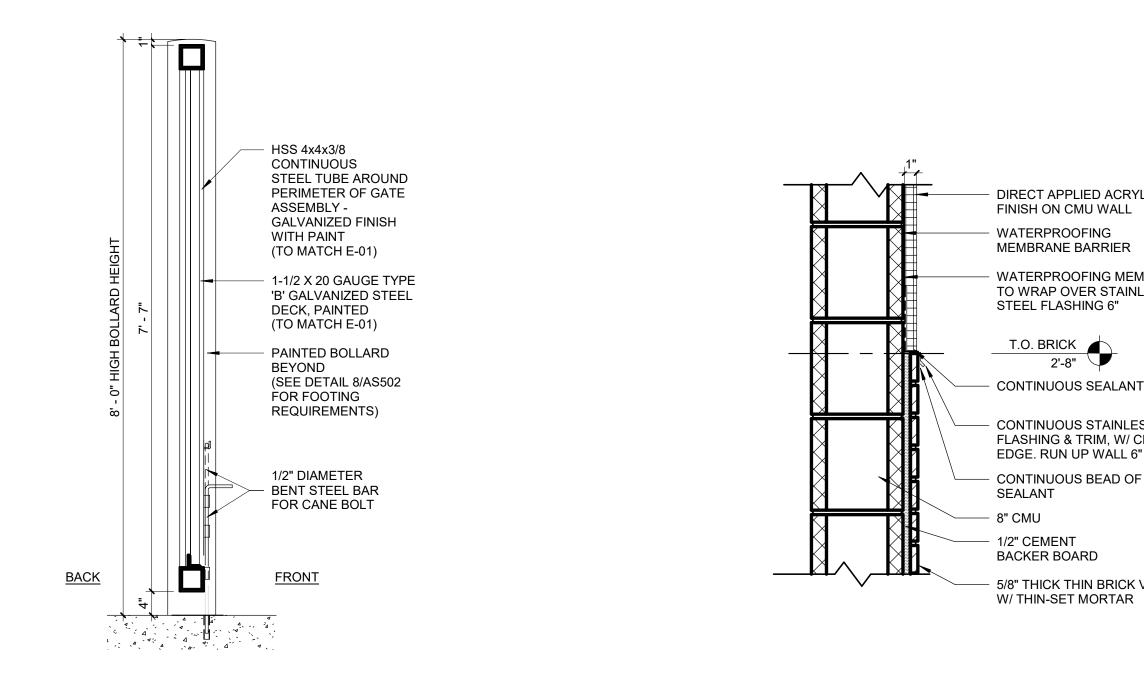
LEVEL 2 B.O. SOFFIT 10'-6"

upon request.	
cable to the Project is available from the Owner or the Owner's designated agent upon request.	Devenney GROUP
e Owner's des	Devenney Group Ltd., Architects 6900 East Camelback Road Suite 500
e Owner or th	Scottsdale, AZ 85251 T: 602.943.8950 www.devenneygroup.com
ilable from th	Consultant:
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s on an alterna	NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP LTD.
make payments on an alternative schedule. A written description of such billing or payment cycle appli	
	HOSPITAL - MEDICAL OFFICE
Notice of Alternate Billing or Payment Cycle: The Owner may plan to	BUILDING CORE/SHELL
or Payment Cyo	
ernate Billing (11925 S STATE STREET, DRAPER, UT 84020
Notice of Alt	AUTHORITY HAVING JURISDICTION: CITY OF DRAPER BUILDING DEPARTMENT
	AUTHORITY HAVING JURISDICTION'S PROJECT NO: PLANNING DEPARTMENT: #2024-0225-SP FACILITY NUMBER:
	AGENCY APPROVALS:
	CITY OF DRAPER PLANNING, DEVIATION: #20240175-VAR
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5 DUMPSTER GATE DETAIL





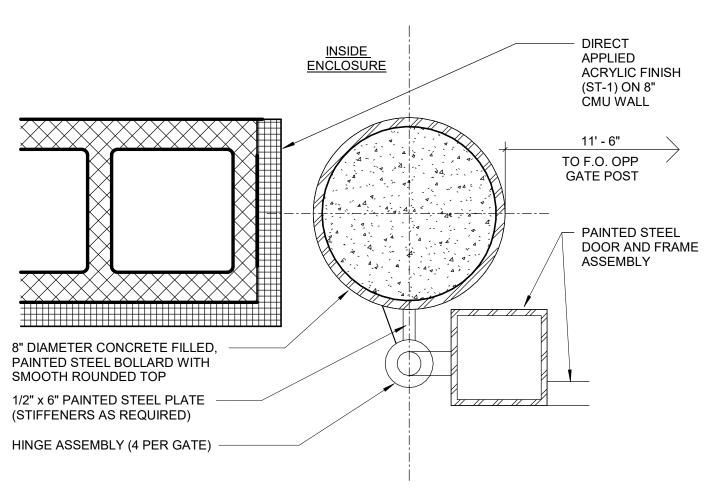
ROUNDED TOP

6" DIAMETER SCH 80 YELLOW -

1/2" ISOLATION JOINT WITH EXPANSION JOINT MATERIAL -

24" DIAMETER MIN. 2500 PSI CONCRETE FOOTING





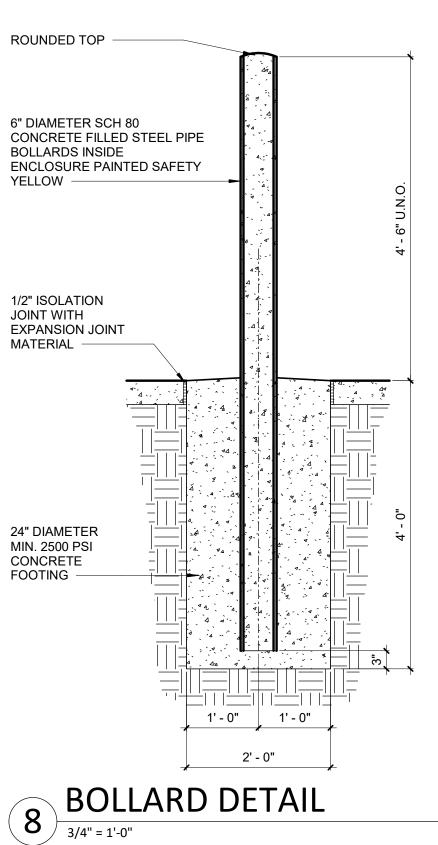
- DIRECT APPLIED ACRYLIC FINISH ON CMU WALL WATERPROOFING MEMBRANE BARRIER - WATERPROOFING MEMBRANE TO WRAP OVER STAINLESS STEEL FLASHING 6"

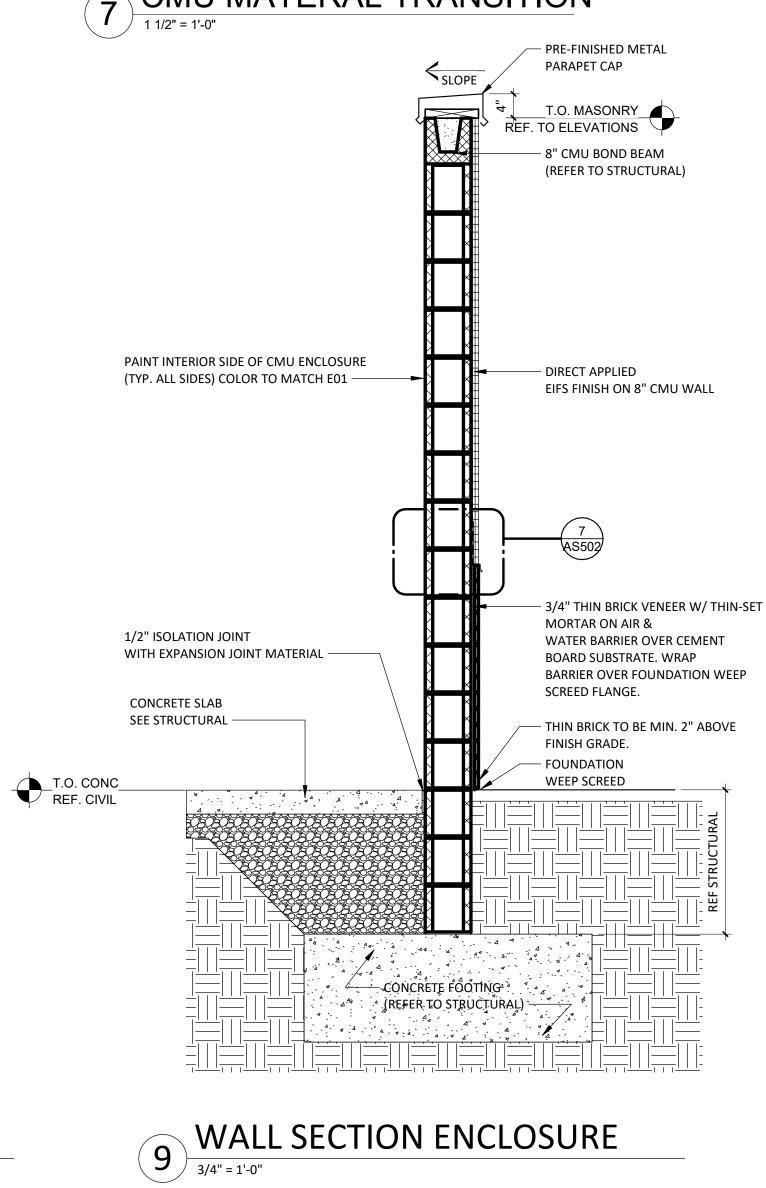
T.O. BRICK 2'-8" - CONTINUOUS SEALANT JOINT

- CONTINUOUS STAINLESS STEEL FLASHING & TRIM, W/ CRIMPED EDGE. RUN UP WALL 6" - CONTINUOUS BEAD OF

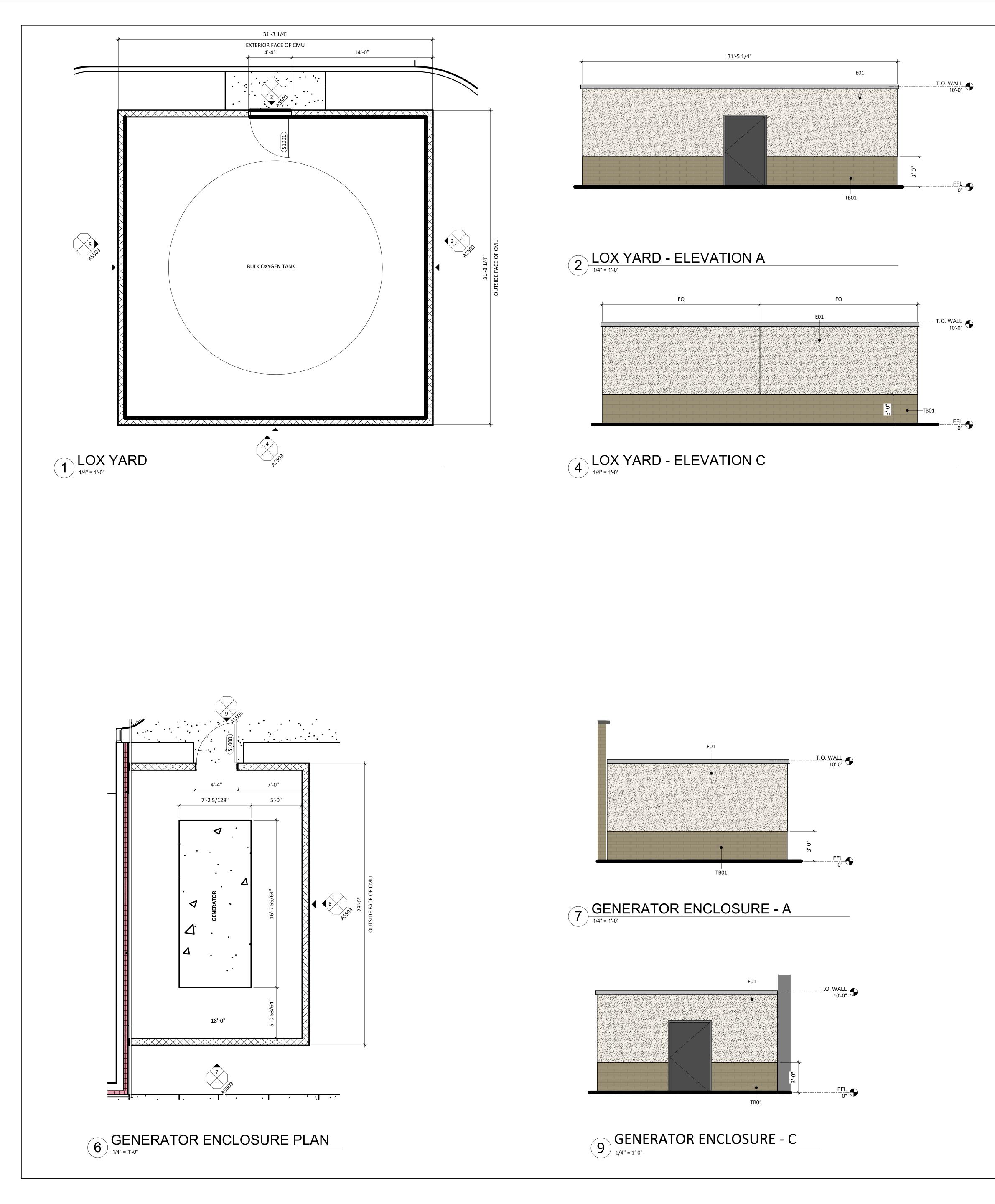
- 5/8" THICK THIN BRICK VENEER

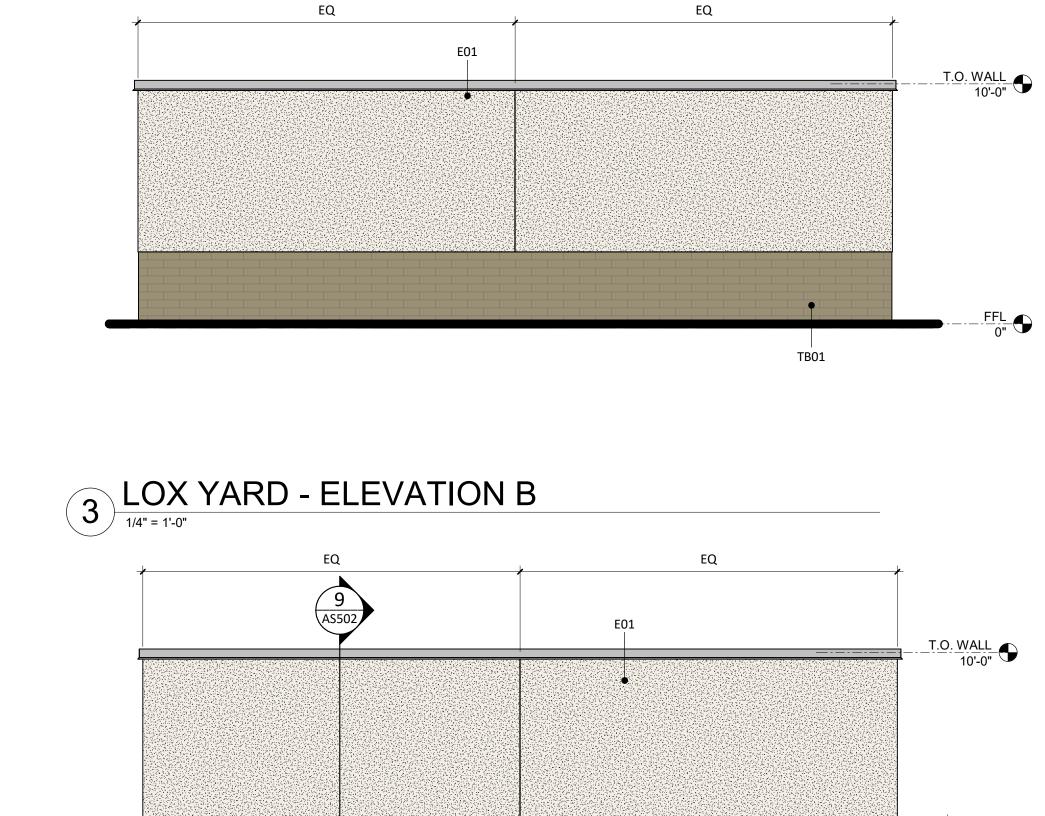
7 CMU MATERAL TRANSITION





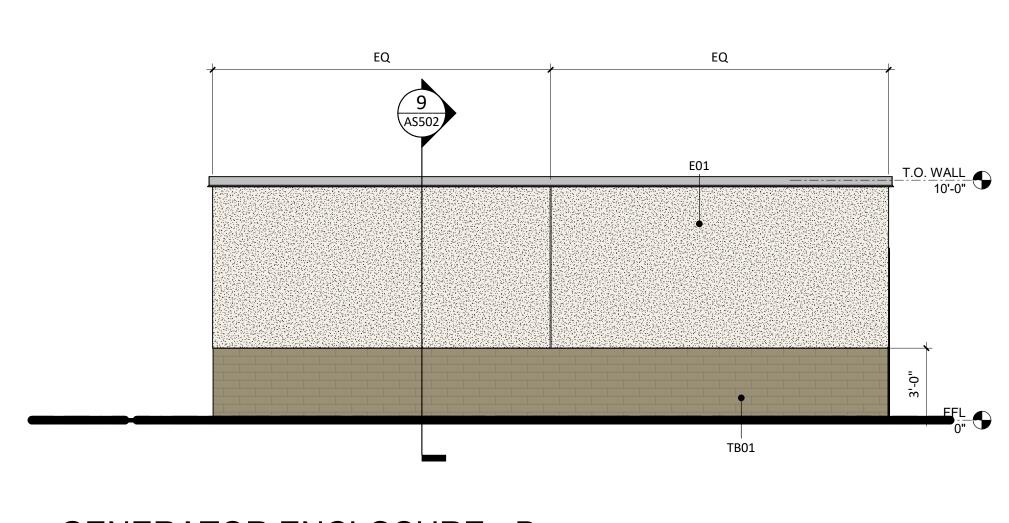
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e billings and estimate	Devenney g r o u p						
in and approval of the	Devenney Group Ltd., Architects 6900 E. Camelback Rd, Suite 500 Scottsdale, Arizona 85251 T: 602.943.8950						
er certificatio	www.devenneygroup.com						
the Owner to make payment within (30) days after certification and approval of the billings and estimates.	Consultant:						
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	IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP LTD.						
	LONE PEAK MOB 4 - SITE PLAN AMENDMENT						
	NEXCORE						
	11943 S STATE STREET, DRAPER, UT 84020						
	AUTHORITY HAVING JURISDICTION: CITY OF DRAPER						
	AUTHORITY HAVING JURISDICTION'S PROJECT NO: PLANNING DEPARTMENT: #2024-0225-SP FACILITY NUMBER:						
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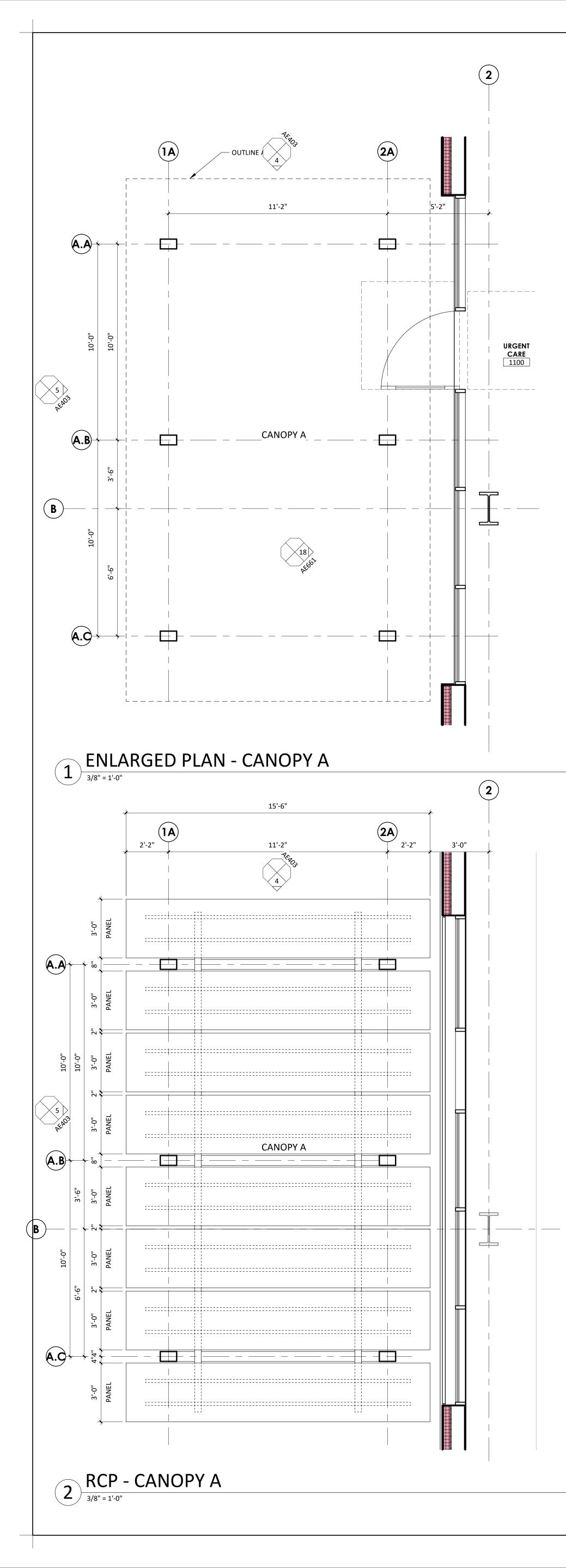


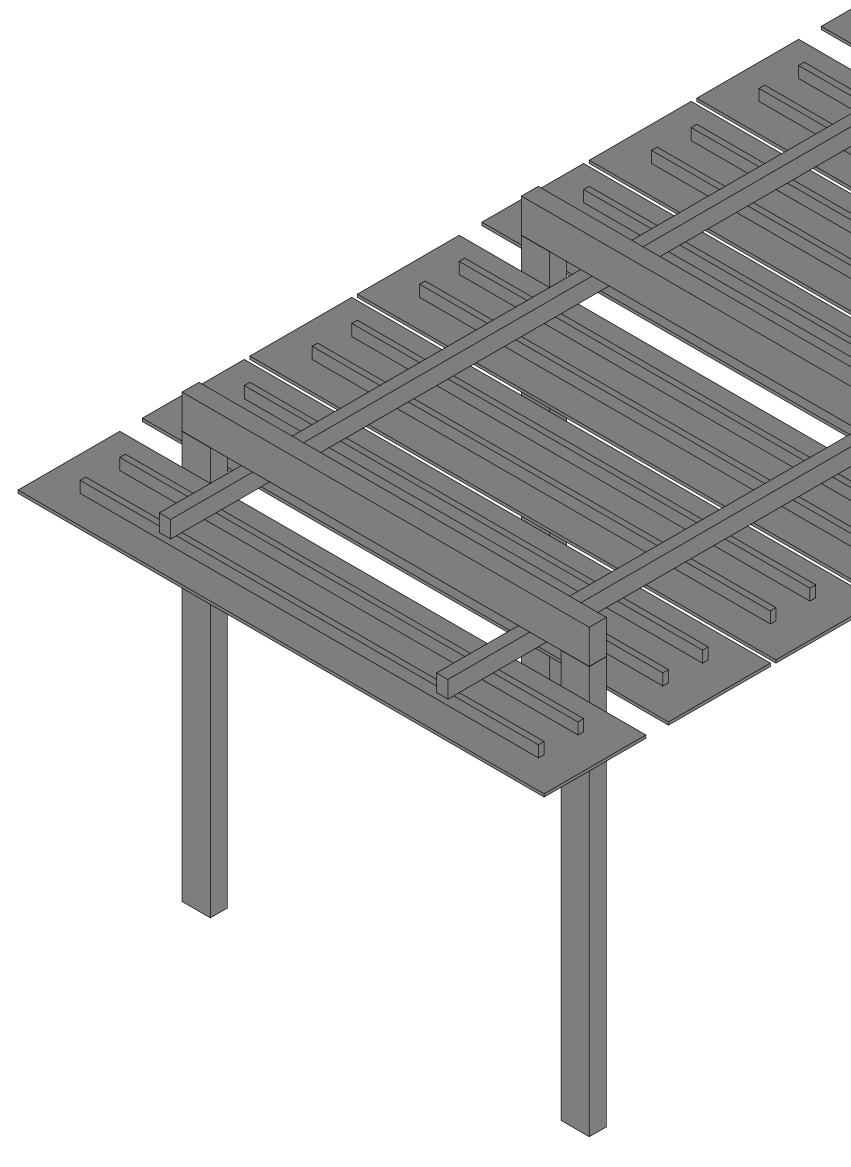


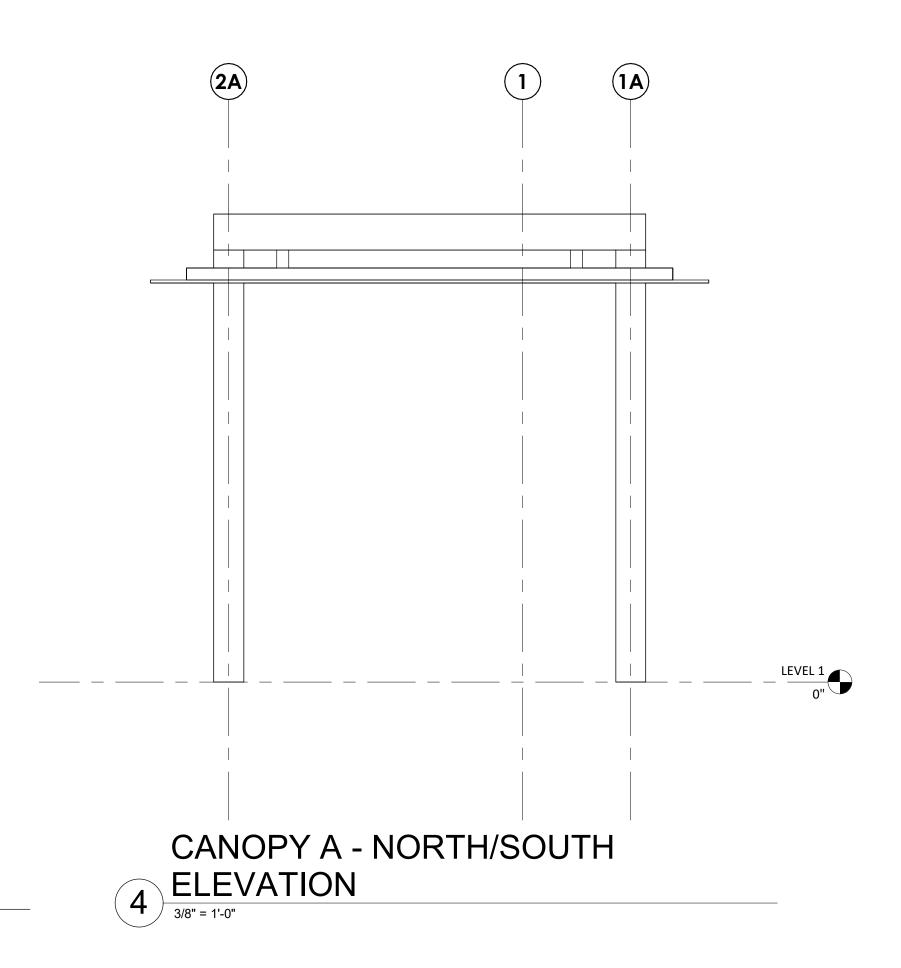
8 GENERATOR ENCLOSURE - B

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estimates	
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] 	COMPENSATION TO DEVENNEY GROUP LTD.
	LONE PEAK MOB
	4 - SITE PLAN
	AMENDMENT
	NEVCODE
	NEXCORE
	11943 S STATE STREET, DRAPER, UT
	84020
	AUTHORITY HAVING JURISDICTION: CITY OF DRAPER
	AUTHORITY HAVING JURISDICTION'S PROJECT NO: PLANNING DEPARTMENT: #2024-0225-SP
	FACILITY NUMBER:
	AGENCY APPROVALS: CITY OF DRAPER PLANNING, ELEVATION DIVIATION: #20240175-VAR
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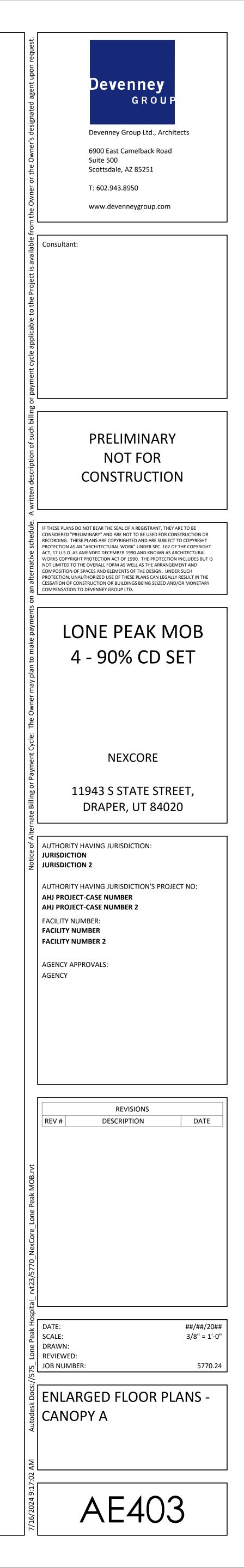
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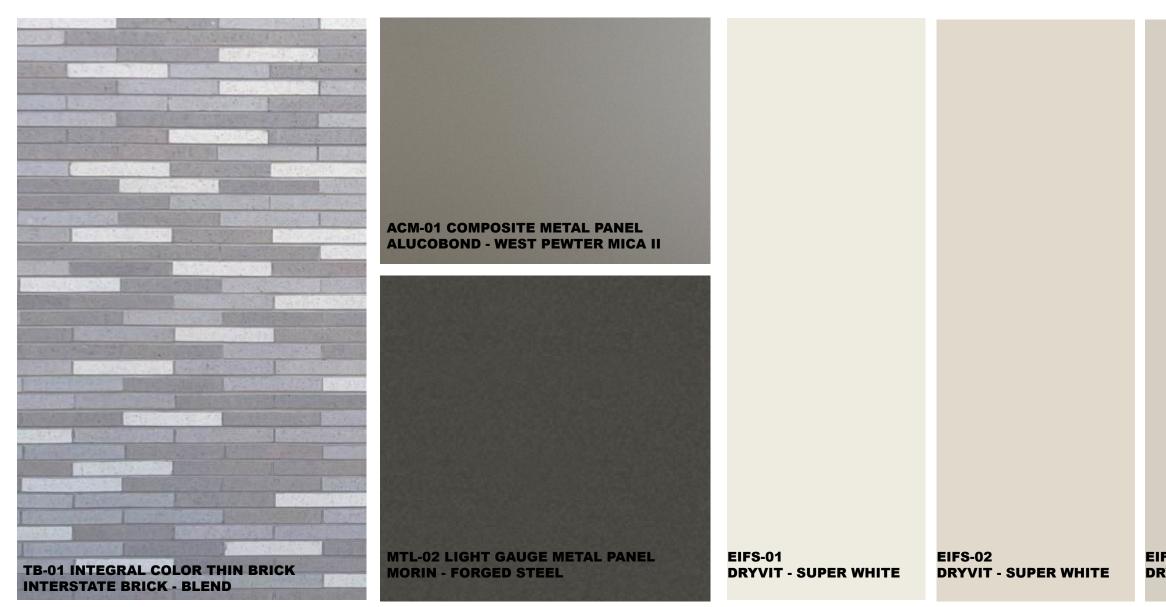






5 CANOPY A WEST ELEVATION





BOLD MODERN PALETTE

NEXCORE - MEDICAL OFFICE BUILDING



DGL PROJECT #: 5770.00 ISSUE DATE: 2024 08 26

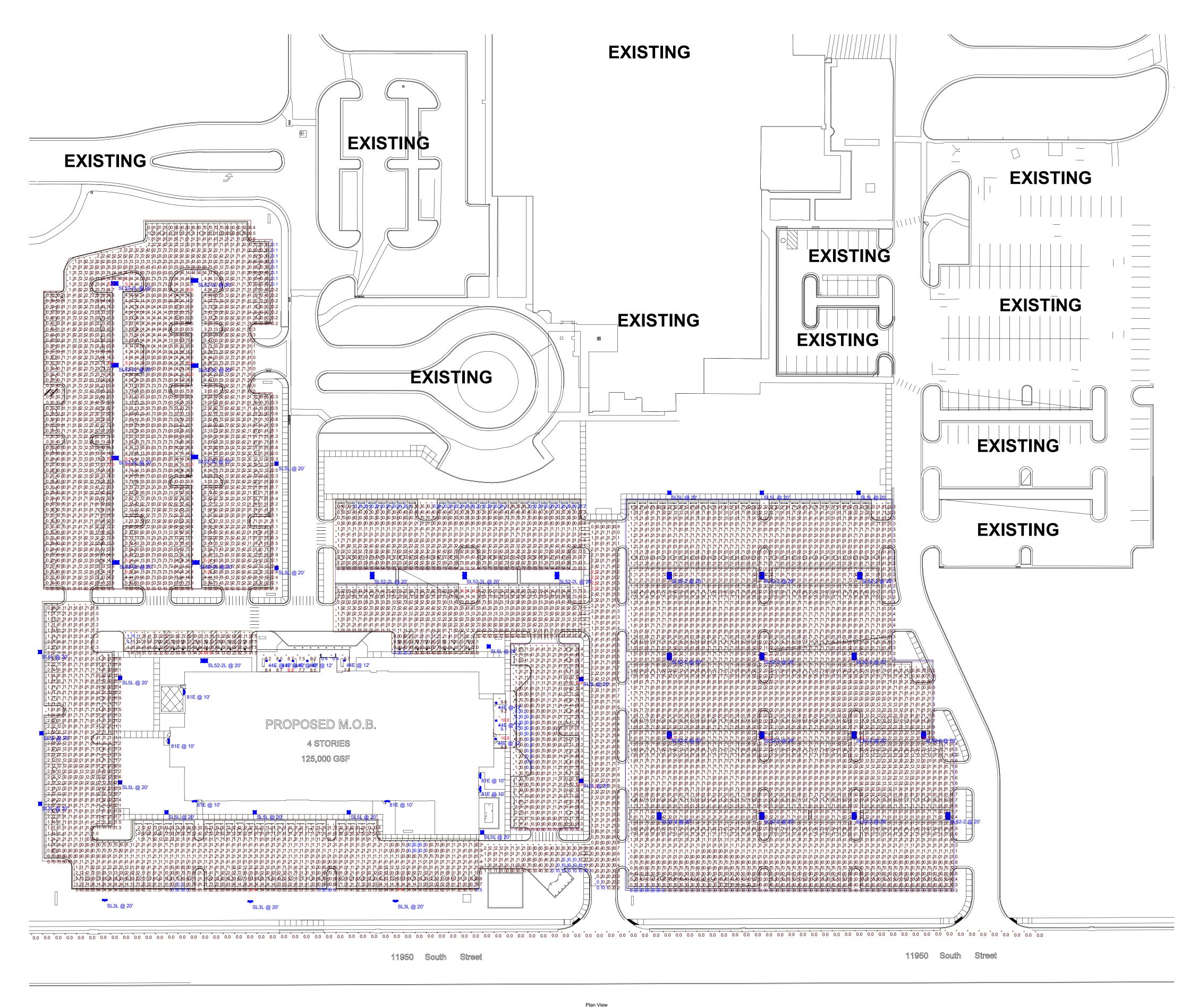




EIFS-04 DRYVIT - SUEDE

EXHIBIT I LIGHTING PLAN

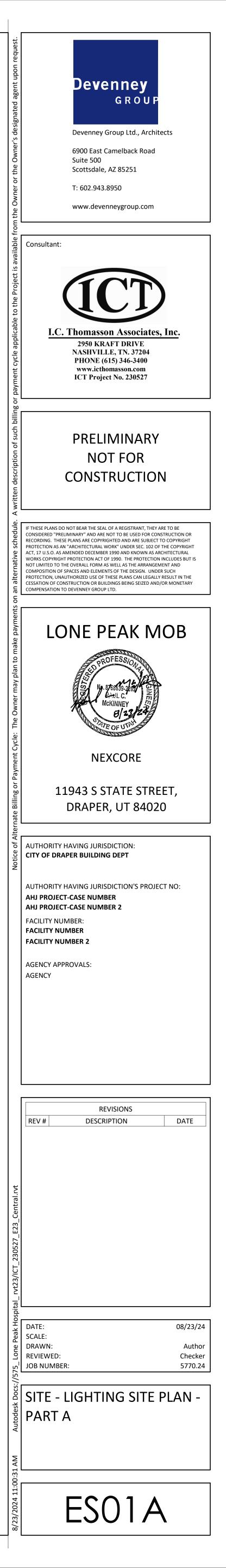
Schedule			1		Statistics	-						
Label	QTY	Manufacturer	Catalog	Description	Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Max/Avq
SL52-	14	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALN-SA1B-730-U-5WQ	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 3000K, 800mA LIGHTSQUARE WITH 16 LEDS AND TYPE V WIDE OPTICS	BACK OF CURB 11950 SOUTH STREET	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
-2					BACK OF CURB STATE STREET	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
SL52-	12	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON	GALN-SA2B-730-U-5MQ	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K, 800mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE	DRIVEWAY SOUTH STREET	+	1.3 fc	2.5 fc	0.1 fc	25.0:1	13.0:1	1.92
-2L		(FORMERLY EATON)		V MEDIUM OPTICS	MAIN CANOPY	+	7.2 fc	8.9 fc	0.4 fc	22.3:1	18.0:1	1.24
SL3L	3	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALN-SA3B-730-U-T3- HSS	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 3000K, 800mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS WITH HOUSE SIDE SHIELD	PARKING A PARKING B	+ +	1.6 fc 2.0 fc	2.7 fc 4.6 fc	0.2 fc 0.2 fc	13.5:1 23.0:1	8.0:1 10.0:1	1.69 2.30
SL5L	21	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALN-SA2B-730-U-5MQ	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K, 800mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V MEDIUM OPTICS	PARKING C PARKING D	+	1.2 fc	2.6 fc 4.4 fc	0.5 fc 0.5 fc	5.2:1 8.8:1	2.4:1 3.6:1	2.17
81E	6	Lithonia Lighting	DSXW1 LED 20C 1000 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA.	PARKING E	+	2.6 fc	4.4 IC 5.0 fc	0.5 fc	50.0:1	26.0:1	1.92
44E	8	COOPER LIGHTING SOLUTIONS - PORTFOLIO (FORMER EATON)	LX6C20D010 EX6C209035 6LBSQLI	6 INCH 2000 LUMEN PORTFOLIO LED DOWNLIGHT WITH, 3500K, 90CRI LEDS AND 6LBSQ TRIM WITH LI FINISH	PARKING F PARKING G	+	2.6 fc 1.0 fc	4.6 fc 2.5 fc	1.1 fc 0.1 fc	4.2:1 25.0:1	2.4:1	1.77 2.50
					SECONDARY CANOPY	+	9.6 fc	10.0 fc	9.1 fc	1.1:1	1.1:1	1.04
					BACK OF CURB 11800 SOUTH STREET	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A



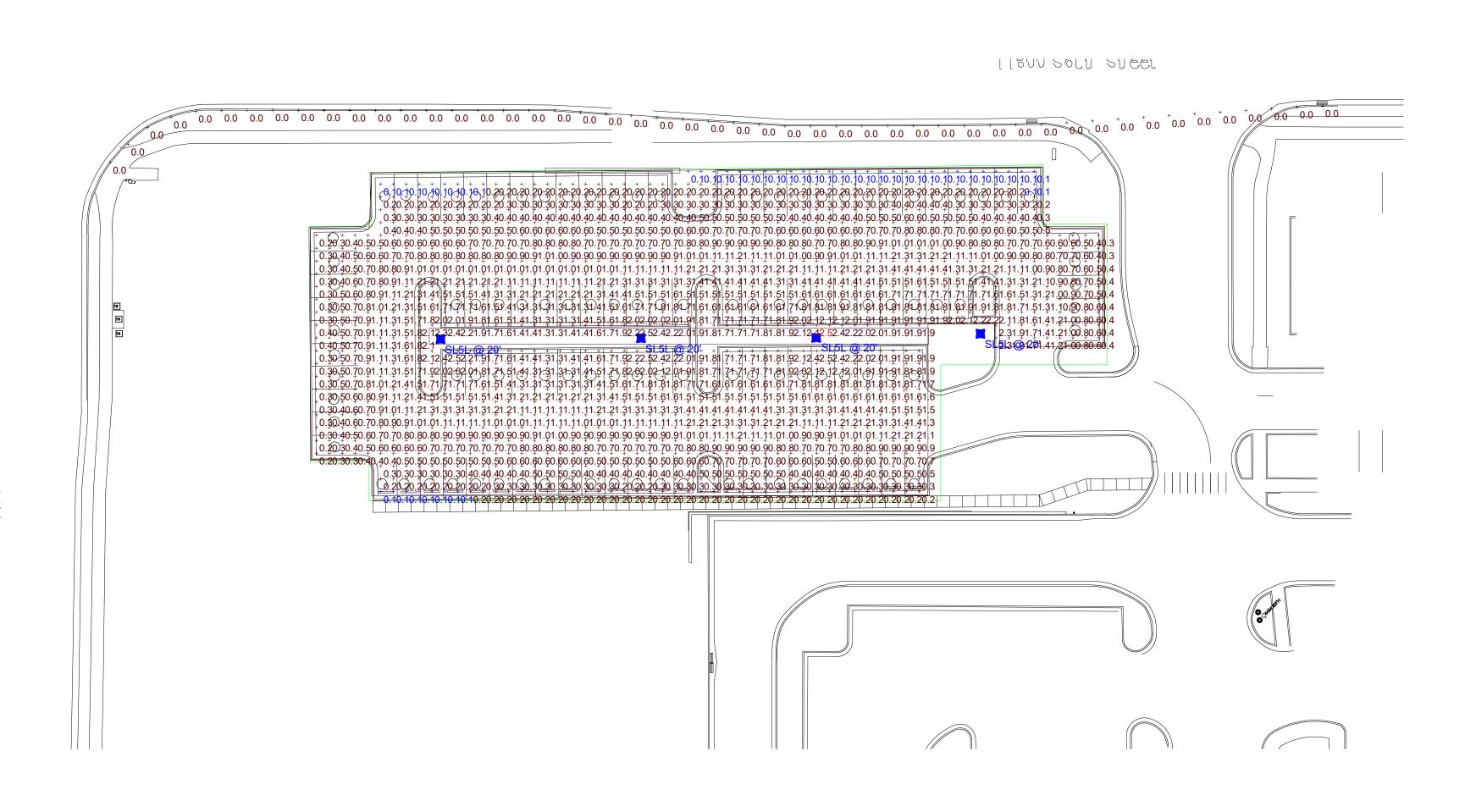
	Operation of Exterior Lighting Controls			
Normal Operation Occupied Mode	Lights stay on at 100% Light Levels duing occupancy. Integral photocell to turn lights/ on or off based on daylight in area.	Standard Settings but, can be programmed [®] or owner or code requirments i [®] needed.		
Unoccupied	Anter 15 minutes on motion detected, All	Standard Settings but, can be		
Mode	Lights go to a 50% dimmed level state.	programmed îbr owner or code requirments iîneeded.		
Daylight	Integral photocell will provide ON at dusk and	Standard Settings		
Mode	OFF at dawn operation.			

GENERAL NOTES:

- A. THE CALCULATED RESULTS OF THIS LIGHTING SIMULATION REPRESENT A PREDICTION OF SYSTEM PERFORMANCE AND ARE NOT GUARANTEED.
- B. ACTUAL MEASURED RESULTS MAY VARY FROM THE ANTICIPATED PERFORMANCE AND ARE SUBJECT TO MEANS AND CONDITIONS WHICH ARE BEYONF THE CONTROL OF DB LIGHTING CONSULTATION.
- C. ILLUMINATION VALUES SHOWN (IN FOOT-CANDLES) ARE HORIZONTAL AT GRADE LEVEL BASED ON MOUNTING HEIGHT 20'.
- D. CALCULATION POINTS ARE ON A 5' X 5' SPACING.
- E. PER FIXTURE ISOLINES SHOWN REPRESENT 0.25fc AND IS FOR REFERENCE ONLY.



PHOTOMETRICS - SITE PLAN B - PART G



Schedule							
Label	QTY	Manufacturer	Catalog	Description			
SL52- -2	14	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALN-SA1B-730-U-5WQ	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 OPTICS			
SL52- -2L	12	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALN-SA2B-730-U-5MQ	GALLEON AREA AND ROADWAY LUMINAIRE (2) 7 V MEDIUM OPTICS			
SL3L ³		COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALN-SA3B-730-U-T3- HSS	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 III OPTICS WITH HOUSE SIDE SHIELD GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 V MEDIUM OPTICS			
SL5L	SL5L 21 COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)		GALN-SA2B-730-U-5MQ				
81E ⁶ Lithonia Lighting		Lithonia Lighting	DSXW1 LED 20C 1000 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYP			
44E	8	COOPER LIGHTING SOLUTIONS - PORTFOLIO (FORMER EATON)	LX6C20D010 EX6C209035 6LBSQLI	6 INCH 2000 LUMEN PORTFOLIO LED DOWNLIGH			

	Operation of Exterior Lighting Controls	
Normal Operation Occupied Mode	Lights stay on at 100% Light Levels duing occupancy. Integral photocell to turn lights/ on or off based on daylight in area.	Standard Settings but, can be programmed îbr owner or code requirments iîneeded.
Unoccupied Mode	Arter 15 minutes or no motion detected, All Lights go to a 50% dimmed level state.	Standard Settings but, can be programmed [®] Dr owner or code requirments i [®] needed.
Daylight Mode	Integral photocell will provide ON at dusk and OFF at dawn operation.	Standard Settings

GENERAL NOTES:

- A. THE CALCULATED RESULTS OF THIS LIGHTING SIMULATION REPRESENT A PREDICTION OF SYSTEM PERFORMANCE AND ARE NOT GUARANTEED.
- AND CONDITIONS WHICH ARE BEYONF THE CONTROL OF DB LIGHTING CONSULTATION. C. ILLUMINATION VALUES SHOWN (IN FOOT-CANDLES) ARE HORIZONTAL AT GRADE LEVEL BASED ON MOUNTING
- HEIGHT 20'. D. CALCULATION POINTS ARE ON A 5' X 5' SPACING.
- E. PER FIXTURE ISOLINES SHOWN REPRESENT 0.25fc AND IS FOR REFERENCE ONLY.

Statistics

70 CRI, 3000K, 800mA LIGHTSQUARE WITH 16 LEDS AND TYPE V WIDE

70 CRI, 3000K, 800mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE

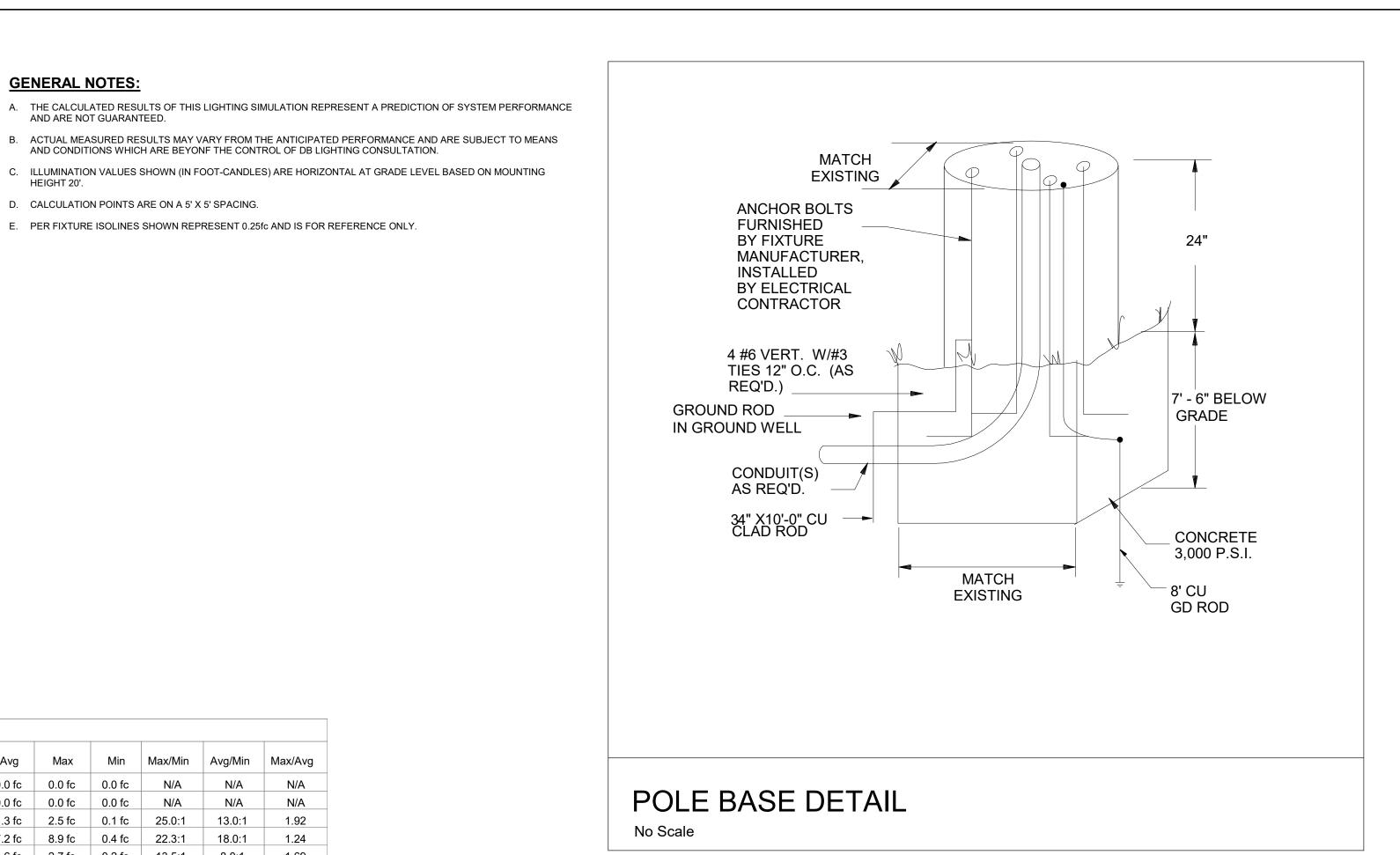
70 CRI, 3000K, 800mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE

70 CRI, 3000K, 800mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE

YPE T3M OPTIC, 4000K, @ 1000mA.

GHT WITH, 3500K, 90CRI LEDS AND 6LBSQ TRIM WITH LI FINISH

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Max/Avg
BACK OF CURB 11950 SOUTH STREET	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
BACK OF CURB STATE STREET	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
DRIVEWAY SOUTH STREET	+	1.3 fc	2.5 fc	0.1 fc	25.0:1	13.0:1	1.92
MAIN CANOPY	+	7.2 fc	8.9 fc	0.4 fc	22.3:1	18.0:1	1.24
PARKING A	+	1.6 fc	2.7 fc	0.2 fc	13.5:1	8.0:1	1.69
PARKING B	+	2.0 fc	4.6 fc	0.2 fc	23.0:1	10.0:1	2.30
PARKING C	+	1.2 fc	2.6 fc	0.5 fc	5.2:1	2.4:1	2.17
PARKING D	+	1.8 fc	4.4 fc	0.5 fc	8.8:1	3.6:1	2.44
PARKING E	+	2.6 fc	5.0 fc	0.1 fc	50.0:1	26.0:1	1.92
PARKING F	+	2.6 fc	4.6 fc	1.1 fc	4.2:1	2.4:1	1.77
PARKING G	+	1.0 fc	2.5 fc	0.1 fc	25.0:1	10.0:1	2.50
SECONDARY CANOPY	+	9.6 fc	10.0 fc	9.1 fc	1.1:1	1.1:1	1.04
BACK OF CURB 11800 SOUTH STREET	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A



OUTDOOR LIGHTING CODE REQUIREMENTS:

1. SPECIFY THE TYPES, DETAILS AND LOCATION OF EACH LIGHTING FIXTURE IN THE LANDSCAPED AND PARKING AREAS AND ON THE BUILDING FOR REVIEW.

RESPONSE: POLE LIGHTING IS SPECIFIED AND LOCATIONS ARE SHOWN ON SHEET ES01A AND ES01B. NO LIGHT FIXTURES ARE IN ANY OTHER LANDSCAPED AREA AROUND THE BUILDING. LIGHT FIXTURE TYPES ARE SHOWN ON THE RESPECTIVE SHEETS MENTIONED ABOVE. (CUT SHEETS ARE PROVIDED WITH THE SUBMITTAL FOR REVIEW)

2. FULL CUTOFF: ALL FIXTURES WILL NEED TO BE FULL CUTOFF.

RESPONSE: ALL FIXTURES ARE FULL CUTOFF.

3. UPWARD LIGHTING: IF ANY FIXTURES ARE UPWARD DIRECTED, ELEVATIONS WILL NEED TO BE PROVIDED SHOWING THAT THE LIGHTING WILL NOT EXCEED 0.1 FC AT THE ROOF LINE.

RESPONSE: THERE ARE NO UPWARD LIGHTING FIXTURES ON THIS PROJECT.

4. POLE HEIGHT: INDICATE THE HEIGHT OF POLE LIGHTS. THE MAXIMUM HEIGHT IS 20 FEET.

RESPONSE: NO FIXTURE HEIGHT WILL BE OVER 20 FEET. (SEE MOUNTING HEIGHT ON FIXTURE SCHEDULE)

5. NUMBER OF LIGHTING POLES: INDICATE THE NUMBER OF LIGHTING POLES. PER SITE, THE DISTURBED AREA IS 504,489 SQUARE FEET, WHICH WOULD ALLOW 50.

RESPONSE: SEE FIXTURE COUNT IN FIXTURE SCHEULE.

6. ILLUMINATION INTENSITIES: PROVIDE A TABLE SHOWING THE MAXIMUM ILLUMINATION, MAXIMUMAVERAGE ILLUMINATION, AND MAXIMUM ILLUMINATION RATION. THE USE AREAS TO BE SHOWN IN THE TABLE WOULD BE, AT MINIMUM, THE HOSPITAL USE AND THE EXTERIOR SITE BOUNDARY, THOUGH BUILDING AREAS, CANOPIES AND PEDESTRIAN COULD ALSO BE BROKEN OUT.

RESPONSE: SEE LIGHTING CALCULATION SCHEDULE SHOWING REQUIRED ELEMENTS.

7. AFTER HOURS INTENSITIES: PROVIDE A TABLE SHOWING THE MAXIMUM ILLUMINATION, MAXIMUM AVERAGE ILLUMINATION AND MAXIMUM ILLUMINATION RATIO IF THE SITE IS NOT OPEN 24 HOURS A DAY.

RESPONSE: THE SITE IS OPEN ALL DAY.

8. LIGHTING REDUCTION: THE AFTER HOURS LIGHTING PLAN SHALL ALSO DEMONSTRATE A REDUCTION IN THE NUMBER OF LIGHTING SOURCES THAT ARE ON DURING AFTER HOURS TIMES. SPECIFY THAT AT LEAST ONE-THIRD OF THE LIGHTING SOURCES WILL BE TURNED OFF AFTER HOURS.

RESPONSE: SEE OPERATION OF LIGHTING CONTROL NOTES.

