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**Development Review Committee**

1020 East Pioneer Road

Draper, UT 84020

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**STAFF REPORT**

May 26, 2021

**To:** Jennifer Jastremsky, Zoning Administrator

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Approved                      Date

**From:** Travis Van Ekelenburg, Planner II  
801-576-6522, [travis.vanekelenburg@draperutah.gov](mailto:travis.vanekelenburg@draperutah.gov)

**Re: Dillman Square – Amended Site Plan Request**

Application No.: SPR-1042-2020  
Applicant: Kim Webb, representing Method Studio LLC  
Project Location: Approximately 715 E 12300 S  
Current Zoning: CN (Neighborhood Commercial) Zone  
Acreage: Approximately 1.11 Acres (Approximately 48,351 ft<sup>2</sup>)  
Request: Request for approval of a Site Plan Amendment in the CN zone regarding the development of two (2) new retail buildings.

**SUMMARY AND BACKGROUND**

This application is a request for approval of an Amended Site Plan for approximately 1.11 acres located on the north side of 12300 S, at approximately 715 E 12300 S (Exhibit B). The property is currently zoned CN. The applicant is requesting that an Amended Site Plan be approved to allow for the development of two (2) new retail buildings.

Dillman Square subdivision was recorded on May 1, 2002 and the original Site Plan was approved on January 15, 2004. The site has been developed in phases since that time, and has gone through several subdivision and Amended Site Plans.



**ANALYSIS**

General Plan and Zoning. The Land Use Map of the General Plan calls for the Neighborhood Commercial land use designation for the subject property (Exhibit C). This category is characterized as follows:

*Neighborhood Commercial*

LAND USE DESCRIPTION	
<b>CHARACTERISTICS</b>	<ul style="list-style-type: none"> <li>• Small-scale commercial land uses that serve local residents in adjacent neighborhoods</li> <li>• Minimal impact in predominantly residential areas</li> <li>• Well-landscaped street frontages</li> <li>• Limited traffic access points and pedestrian access from surrounding residential areas</li> <li>• Don't overcrowd commercial lots; i.e., require adequate setback and landscape buffers</li> <li>• Screened parking and adequate ingress and egress to parking areas</li> <li>• Adequate drainage</li> <li>• Low noise standards</li> </ul>
<b>LAND USE MIX</b>	<ul style="list-style-type: none"> <li>• Small-scale commercial</li> <li>• Planned retail</li> <li>• Office</li> </ul>
<b>COMPATIBLE ZONING</b>	<ul style="list-style-type: none"> <li>• Neighborhood Commercial (CN)</li> <li>• Institutional Care (IC)</li> <li>• Commercial Services (CS)</li> </ul>
<b>LOCATION</b>	<ul style="list-style-type: none"> <li>• Adjacent to neighborhood</li> <li>• Along local roads</li> </ul>

The property has been assigned the CN zoning classification (Exhibit D). According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CN zone is to *“provide areas where convenience buying outlets, having small trade areas, may be established to serve surrounding residential neighborhoods. This zone is intended to promote a combination of retail and service facilities which, in character and scale, meet day to day needs of nearby residents.”* The CN zoning abuts the subject property on the north, west and south, and RA2 (Residential Agricultural, 20,000 square foot lot minimum) zone abuts on the east.

Site Plan Layout. The Dillman Square Subdivision originally recorded in 2002 was amended in 2004. The site plan was amended again on January 25, 2007. This application will be amending what was approved for phase 2 of the development from three buildings to two on an approximately 1.11 acre site. Dillman Square is approximately 6.3 acres with all phases combined.

The two proposed buildings mirror each other in size and design, both having the same square footage, landscaping and architectural design. There will be parking added around



the two buildings that will be included into the site's total parking as this is a retail location with shared parking for the entire site.

Landscaping. This site has been developed in phases, the landscaping percentages are stated as an overall calculation for the site. The landscaping will consist of trees, shrubs, annuals-perennials and ground cover. The site is required to have 20% total site landscaping and will have 26% total site landscaping with the proposed development (Exhibit F).

Parking. The original approved phase 1 site plan had proposed building locations and cross-access and parking easements recorded on the original plat based on a conceptual layout. In 2004 the site was approved to have 370 parking spaces overall. The site plan going from three buildings to two on the same approved building footprint area from the 2007 approval, so the proposed development is meeting required parking from a previous approval (Exhibit E). Phase 1 is required to have 177 parking spaces, and phase 2 to include buildings H and I are required to have 167 parking spaces, equaling 344 parking spaces.

Architecture. Both of the buildings are two levels that are horizontally and vertically articulated with standing seam room roofing, metal panels, wood siding and CMU (Exhibit G). The buildings are 22 feet in height and the mechanical equipment placed on the roof are fully enclosed on both buildings. The roof slopes from the front to the back, and the rear of the buildings are designed for business product loading and unloading activity.

The buildings are required per DCMC to have a minimum of 75% primary materials per façade and must have a minimum of three (3) colors per elevation. Both buildings meet that requirement as shown below:

**BUILDING A**  
MATERIAL PERCENTAGES (EXTERIOR WALLS)

	CMU	ALUMINUM COMPOSITE SIDING (WOOD LOOK)	TOTAL PRIMARY MATERIAL (CMU+WOOD)	TOTAL FINISHED FACE
NORTH ELEVATION	526 SQ.FT. <b>(59%)</b>	306 SQ.FT. <b>(35%)</b>	832 SQ.FT. <b>(94%)</b>	883 SQ.FT.
EAST ELEVATION	172 SQ.FT. <b>(37%)</b>	234 SQ.FT. <b>(50%)</b>	406 SQ.FT. <b>(87%)</b>	467 SQ.FT.
SOUTH ELEVATION	188 SQ.FT. <b>(20%)</b>	635 SQ.FT. <b>(69%)</b>	823 SQ.FT. <b>(89%)</b>	917 SQ.FT.
WEST ELEVATION	321 SQ.FT. <b>(69%)</b>	95 SQ.FT. <b>(20%)</b>	416 SQ.FT. <b>(89%)</b>	467 SQ.FT.

**BUILDING B**  
**MATERIAL PERCENTAGES (EXTERIOR WALLS)**

	CMU	ALUMINUM COMPOSITE SIDING (WOOD LOOK)	TOTAL PRIMARY MATERIAL (CMU+WOOD)	TOTAL FINISHED FACE
NORTH ELEVATION	526 SQ.FT. (59%)	306 SQ.FT. (35%)	832 SQ.FT. (94%)	883 SQ.FT.
EAST ELEVATION	321 SQ.FT. (69%)	95 SQ.FT. (20%)	416 SQ.FT. (89%)	467 SQ.FT.
SOUTH ELEVATION	188 SQ.FT. (20%)	635 SQ.FT. (69%)	823 SQ.FT. (89%)	917 SQ.FT.
WEST ELEVATION	172 SQ.FT. (37%)	234 SQ.FT. (50%)	406 SQ.FT. (87%)	467 SQ.FT.

Lighting. Both of the buildings will have downward facing wall lighting on all sides for pedestrian safety. The applicant has submitted a photometric analysis of the site with the proposed lighting and the lighting meets ordinance requirements as having 0.2 foot candles or less around the entire perimeter of the proposed development area.

Criteria For Approval. The criteria for review and potential approval of a Site Plan Amendment request is found in Sections 9-5-060(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

*Site Plan Amendment 9-5-090 (E) and (H)*

*E. Standards For Approval: The following standards shall apply to the approval of a site plan:*

- 1. The entire site shall be developed at one time unless a phased development plan is approved.*
- 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.*
- 3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.*
- 4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.*
- 5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.*

*H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:*

- 1. Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:*



- a. *The proposed use is consistent with uses permitted on the site;*
  - b. *Existing uses were permitted when the site plan was approved, or have received a conditional use permit;*
  - c. *The proposed use and site will conform to applicable requirements of this Code;*
  - d. *The proposed expansion meets the approval standards of subsection E of this section;*
  - e. *The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and*
2. *If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.*
  3. *If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*
  4. *Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

## **REVIEWS**

*Planning Division Review.* The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

*Engineering and Public Works Divisions Review.* The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

*Building Division Review.* The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

*Geotechnical and Geologic Hazards Review.* Taylor Geo-Engineering, LLC, in working with the Draper City Building and Engineering Divisions, has completed their review of the geotechnical and geologic hazards report submitted as a part of the Site Plan Amendment. Comments from Taylor Geo-Engineering, LLC, if any, can be found in Exhibit A.

*Fire Division Review.* The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

## **STAFF RECOMMENDATION**

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request, and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. Per DCMC Section 9-5-090(J) failure to obtain a land disturbance permit within one year of approval of any site plan shall void the prior site plan approval. Prior to the expiration of the one-year period, an applicant may submit a written request with the community development department for a site plan extension of up to six (6) months. Approval of this extension may only be granted by the Zoning Administrator or Planning Commission, whichever is the approval authority outlined in this section, provided the applicant can meet the requirements for extension under section 9-5-030 and demonstrate substantial action toward obtaining a land disturbance permit.

The findings for approval as are follows:

1. The entire phase is being developed at one time.
2. A site plan conforms to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.
6. The proposed use is consistent with uses permitted on the site.
7. Existing uses were permitted when the site plan was approved.
8. The proposed use and site will conform to applicable requirements of this Code.

9. The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure.



**DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT**

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

**Brien Maxfield**

Digitally signed by Brien Maxfield  
DN: cn=Brien Maxfield, o=Draper City,  
ou=PW - Engineering,  
email=brien.maxfield@draperutah.gov, c=US  
Date: 2021.06.24 14:17:42 -06'00'

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Draper City Public Works Department

**Jennifer Jastremsky**

Digitally signed by Jennifer Jastremsky  
DN: C=US, E=jennifer.jastremsky@draperutah.gov,  
O=Planning Division, OU=Draper City, CN=Jennifer  
Jastremsky  
Date: 2021.06.24 13:30:28-06'00'

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Draper City Planning Division

**Don Buckley**

Digitally signed by Don Buckley  
DN: C=US, E=don.buckley@draper.ut.us,  
O=Draper City Fire Department, OU=Fire  
Marshal, CN=Don Buckley  
Date: 2021.06.24 13:21:02-06'00'

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Draper City Fire Department

**Mike Barker**

Digitally signed by Mike Barker  
Date: 2021.06.24 13:26:19  
-06'00'

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Draper City Legal Counsel

**Matthew T. Symes**

Digitally signed by Matthew T. Symes  
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O=Draper City, CN=Matthew T. Symes  
Date: 2021.06.24 16:33:26-06'00'

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Draper City Building Division

## **EXHIBIT A DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

### Planning Division Review.

1. That the Applicant finalize any requirements, conditions, to finalize the approval to include conditions in this report, the DCMC; and Draper City before permitting.

### Engineering and Public Works Divisions Review.

1. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance.
2. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division.
3. Update sheet C-200 with the following:
  - (a) Identify Phase 2 area; include surface delineation and detention delineation,
  - (b) Identify location of orifice – hole in control gate.
  - (c) Plans calculate a 3" orifice with a 4.9 foot head. With the head, maximum discharge exceeds 0.36 cfs or 0.10 cfs/acre maximum. Orifice will be required to be modified or verify maximum flow is not exceeded.

### Building Division Review.

1. No comments.

### Geotechnical and Geologic Hazards Review.

1. Proposed construction may consist of one to two story commercial buildings with slab on grade floors. Basement construction is not anticipated. Structural loads for the building are anticipated to consist of column loads up to 80 kips and wall loads up to 4 kips per lineal foot.
2. All organics, topsoil, existing fill and other deleterious material should be removed from below proposed building and pavement areas.
3. Footings for the buildings may be supported on suitable undisturbed native soils or on compacted structural fill extended to suitable undisturbed native soils.
4. Footings for the structures may be designed using an allowable bearing capacity of 2,500 psf.

5. Footings should have a minimum width of 18-inches for strip footings and 24-inches for spot footings.
6. Footings susceptible to frost should be located a minimum depth of 30 inches.
7. Seismic analysis of proposed structures at the site should be based on the following spectral response design accelerations:
  - a. 0.2 sec (short period) SDS = 1.168g, and;
  - b. 1.0 sec (long period) SD1 = 0.631g.The spectral response acceleration values were factored using Site Class = D.
8. Floor slabs may be supported on suitable undisturbed native soils or on compacted structural fill extended to suitable undisturbed native soils.
9. Floor slabs should be underlain by at least 4-inches of free draining gravel.
10. Type II cement is required for concrete placed in contact with natural soil.
11. Prior to the placement of concrete for footings, a letter from the geotechnical engineer should be obtained that indicates subgrade for footing and floor slab support was prepared in accordance with the geotechnical report and ready for the placement of concrete.
12. Gutters should discharge beyond the limits of backfill.
13. Surface drainage should slope away from the structure in all directions.
14. All import materials should be approved by the Geotechnical Engineer.
15. All compaction for interior and exterior backfill adjacent to the building should be verified by the geotechnical engineer.

Fire Division Review.

1. Fire Department Access is required. An unobstructed minimum road width of twenty-four (24) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty – eight (28) feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.
2. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
3. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
4. Fire Sprinklers May Be Required. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at don.buckley@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level III or better in



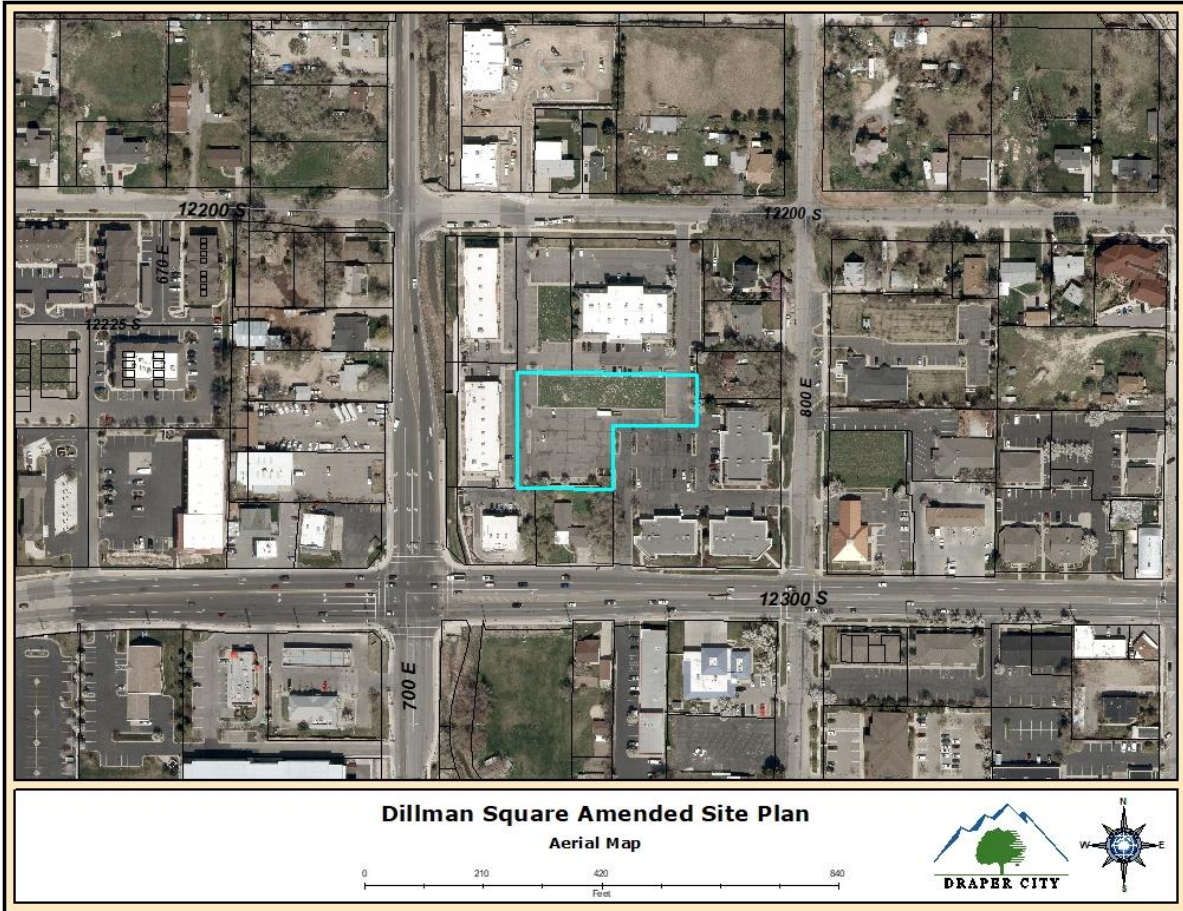
Auto Sprinkler Layout. (There needs to be a hydrant with-in a 100 feet of the FDC.) FDC is required to have KNOX Locking Caps. ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.

5. Post Indicator Valve with Tamper May Be Required. If there is no designated fire riser room with a direct access door from the outside. There shall be either a wall mounted P.I.V (OS&Y) or a typical P.I.V placed a minimum distance of 40 feet from the building with a tamper switch.
6. Fire Alarm Required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at don.buckley@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level III or better in Fire Alarm Systems. ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
7. Knox Boxes Required. Fire Department "Knox Brand" lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room. (At a height of 5 feet to the top of the box) Lock box purchase can be arranged by the General Contractor. See attached information form.
8. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75 feet of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.

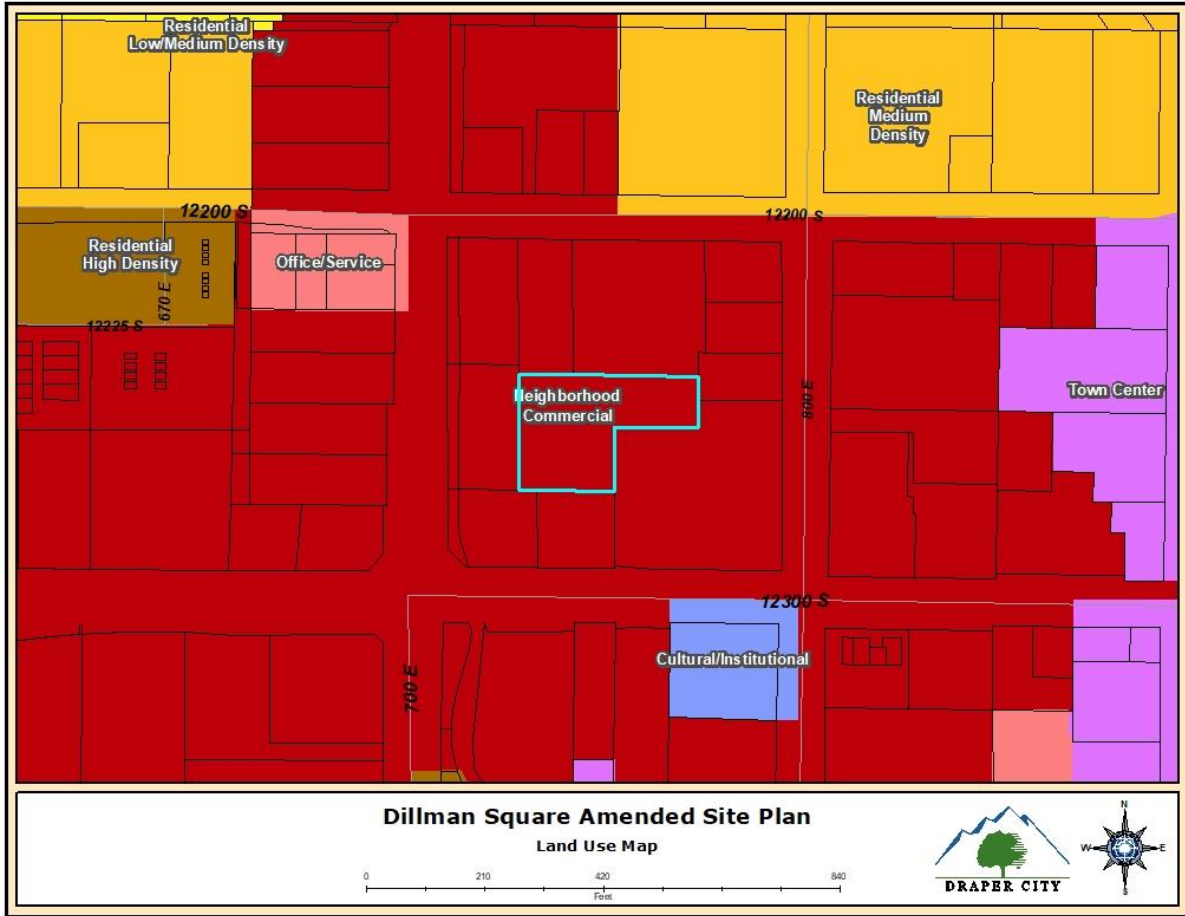
Notes:

Plan approval or review shall not be construed to relieve from or lessen the responsibility of any person designing, owning, operating or controlling any building. Damages to persons or property caused by defects, fire, improper installation, or other emergency conditions that occur in or on the building property shall not hold the Draper City Fire Department as assuming any liability.

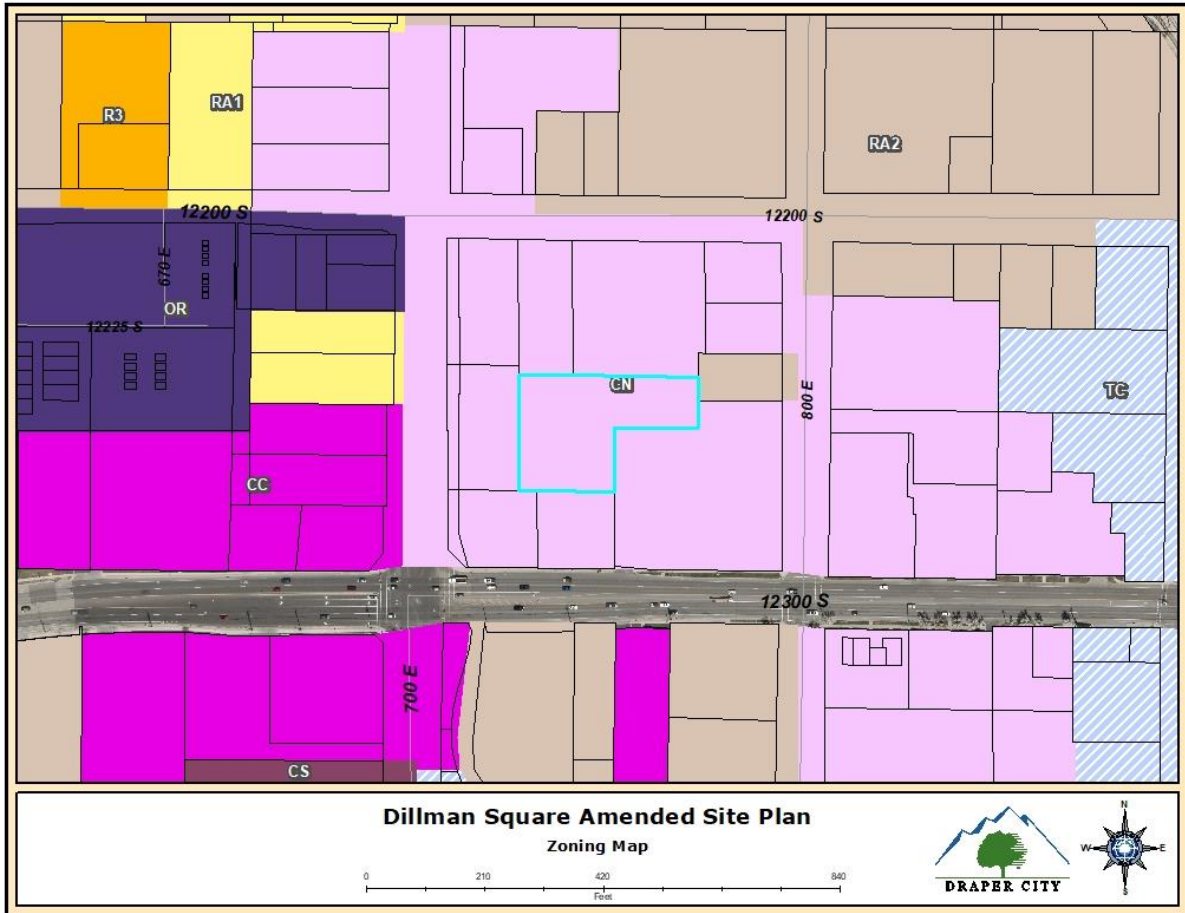
# EXHIBIT B AERIAL MAP



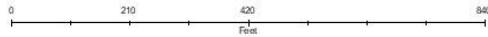
# EXHIBIT C LAND USE MAP



# EXHIBIT D ZONING MAP



**Dillman Square Amended Site Plan**  
Zoning Map



**EXHIBIT E**  
**SITE PLAN**



**BENCHMARK**  
STREET MONUMENT  
12300 SOUTH 700 EAST  
ELEV = 4468.97'

**811**  
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.  
Know what's below.  
Call before you dig.

PARKING DATA TABLE	
REQUIRED STALLS (ALL PHASES)	344
PROVIDED STALLS (ALL PHASES)	344
ADA STALLS (ALL PHASES)	11
REQUIRED STALLS (BLDG H&I)	45
PROVIDED STALLS (BLDG H&I)	63
ADA STALLS (BLDG H&I)	3

FIRE FLOW REQUIREMENT	
CONSTRUCTION TYPE	V-B
FLOW REQUIRED	1,500 GPM
DURATION	2 HOURS
FIRE HYDRANTS REQUIRED	1
MAXIMUM DISTANCE TO HYDRANT	280 FT

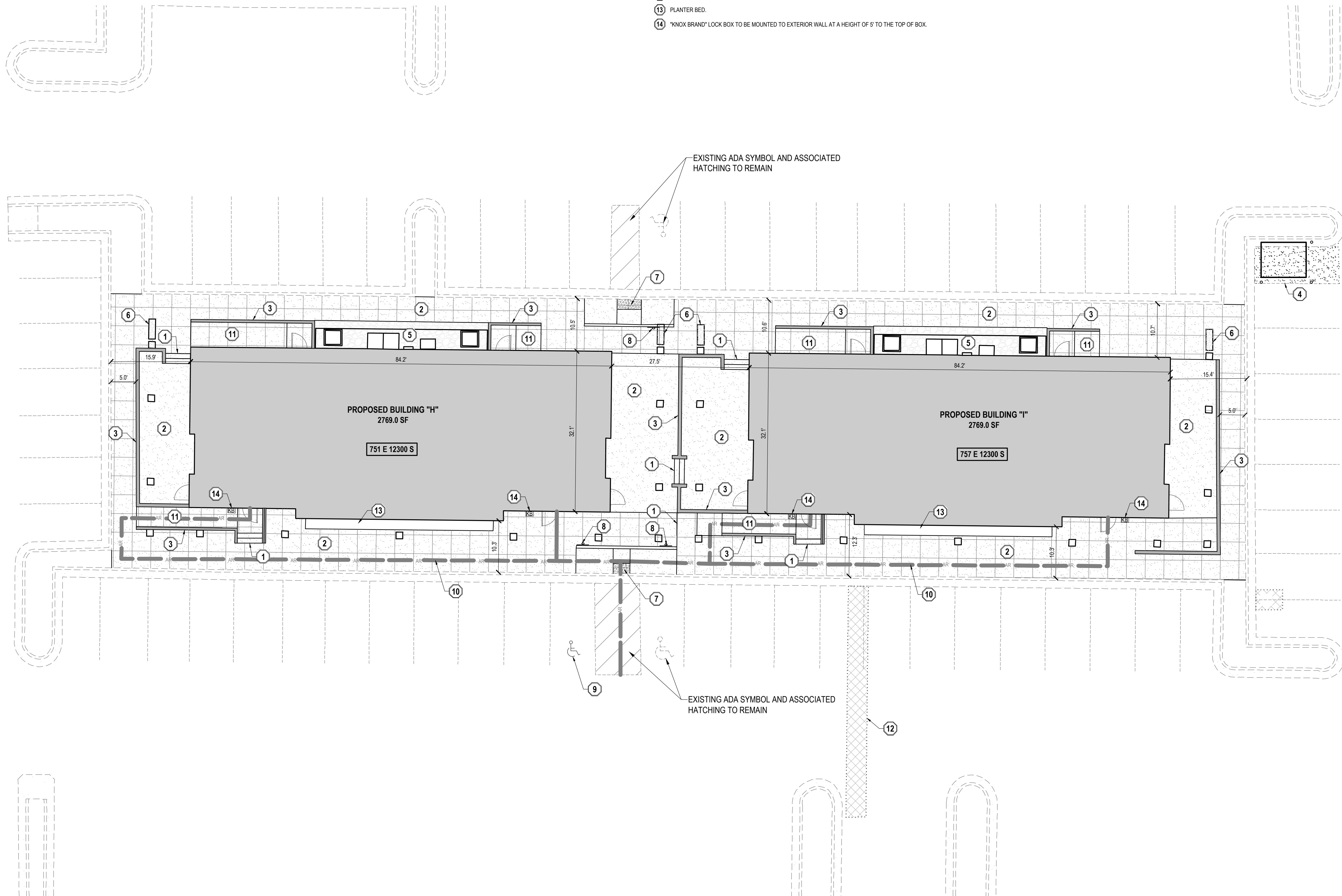
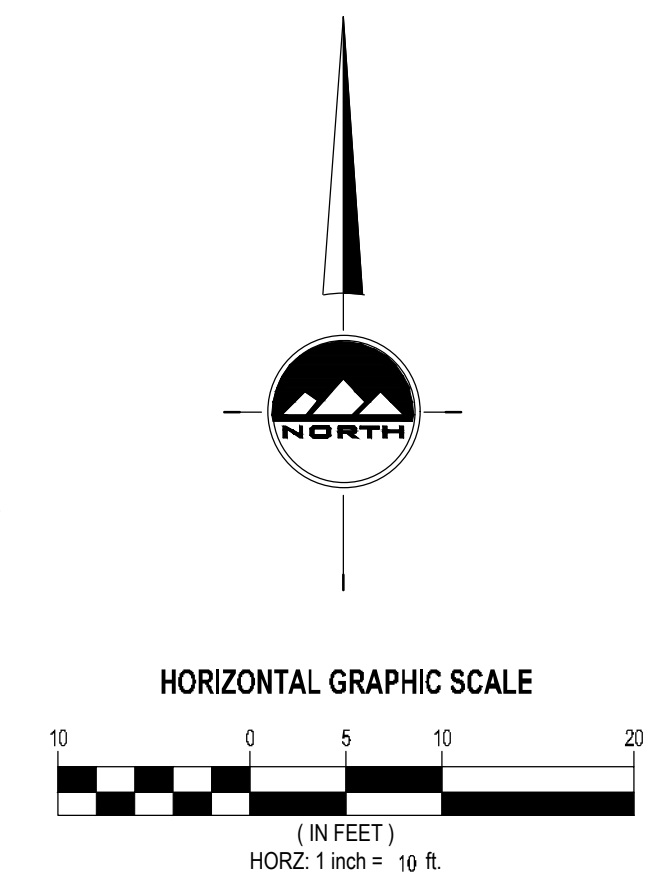
**SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- 1 STAIRS IN SIDEWALK. SEE GRADING PLAN FOR ELEVATION INFORMATION. SEE ARCHITECTURAL PLANS FOR HANDRAIL INFORMATION.
- 2 4" THICK CONCRETE WALKWAY PER APWA STANDARD PLAN NO. 231.
- 3 6" THICK CONCRETE WALL. SEE GRADING PLANS FOR ELEVATIONS AND ADDITIONAL INFORMATION.
- 4 TRANSFORMER LOCATION PER ARCHITECTURAL PLANS WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE. PER DEVELOPMENT AGREEMENT.
- 5 LANDSCAPING GRAVEL SECTION. INSTALL 4" DEEP, 2'-3" DIA. NEPHI ROCK AND GRAVEL COLOR "SOUTHTOWN" OR EQUIVALENT. DECORATIVE ROCK OVER WEED BARRIER, TYP.
- 6 GRAVEL SECTION FOR RAIN CHAIN. INSTALL 4" DEEP, 2'-3" DIA. NEPHI ROCK AND GRAVEL COLOR "SOUTHTOWN" OR EQUIVALENT. DECORATIVE ROCK OVER WEED BARRIER, TYP.
- 7 HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235.
- 8 \*HANDICAP PARKING\* SIGN PER M.U.T.C.D. STANDARDS AND SPECIFICATIONS.
- 9 PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- 10 DESIGNATED ACCESSIBLE ROUTE. RUNNING SLOPE SHALL NOT EXCEED 5.00% (1:12 OR 8.33% FOR RAMPS) AND CROSS SLOPES SHALL NOT EXCEED 2.00%. CONTRACTOR TO REMOVE AND REPLACE ANY AREAS WHICH EXCEED ALLOWABLE SLOPES. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- 11 RAMP IN SIDEWALK. SEE GRADING PLAN FOR ADDITIONAL INFORMATION.
- 12 SAWCUT AND PATCH EXISTING ASPHALT PAVEMENT FOR UTILITY INSTALLATION.
- 13 PLANTER BED.
- 14 \*KNOX BRAND\* LOCK BOX TO BE MOUNTED TO EXTERIOR WALL AT A HEIGHT OF 5' TO THE TOP OF BOX.

**GENERAL NOTES**

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



**SALT LAKE CITY**  
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**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
METHOD STUDIOS  
380 ASPEN AVE.  
SALT LAKE CITY, UTAH 84101  
CONTACT:  
KIM WEBB  
PHONE: (801) 532-4422

**DILLMAN SQUARE  
BUILDING H AND I**  
751 EAST 12300 SOUTH  
DRAPER, UTAH 84020



NO. DATE REVISION BY  
1 12/18/2020 QTY/REVISIONS TJM  
2 04/13/2021 UPDATE ADDRESS BCA

**SITE PLAN**

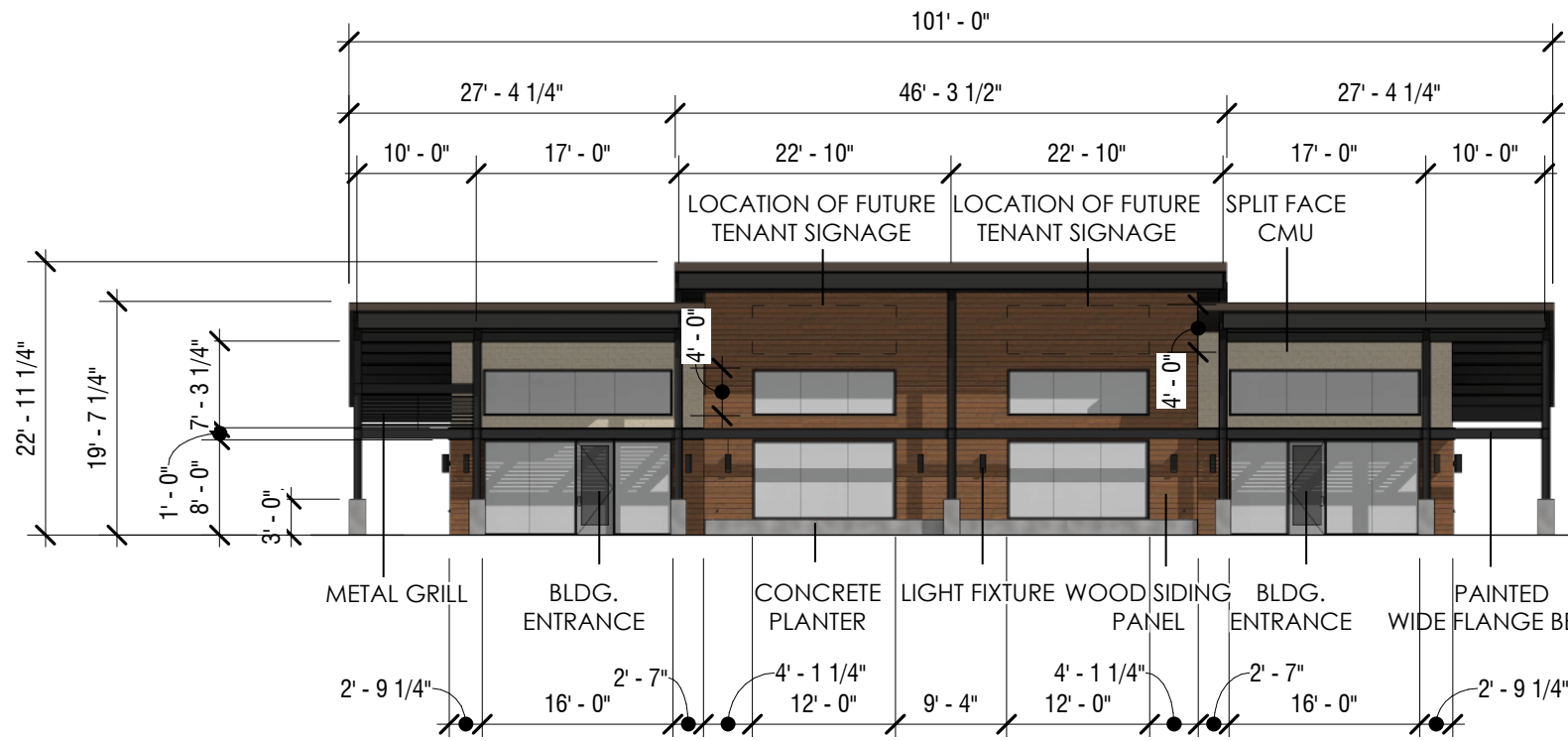
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DRAWN BY T. MAZEJY CHECKED BY D. JENKINS  
PROJECT MANAGER D. JENKINS

**C-100**

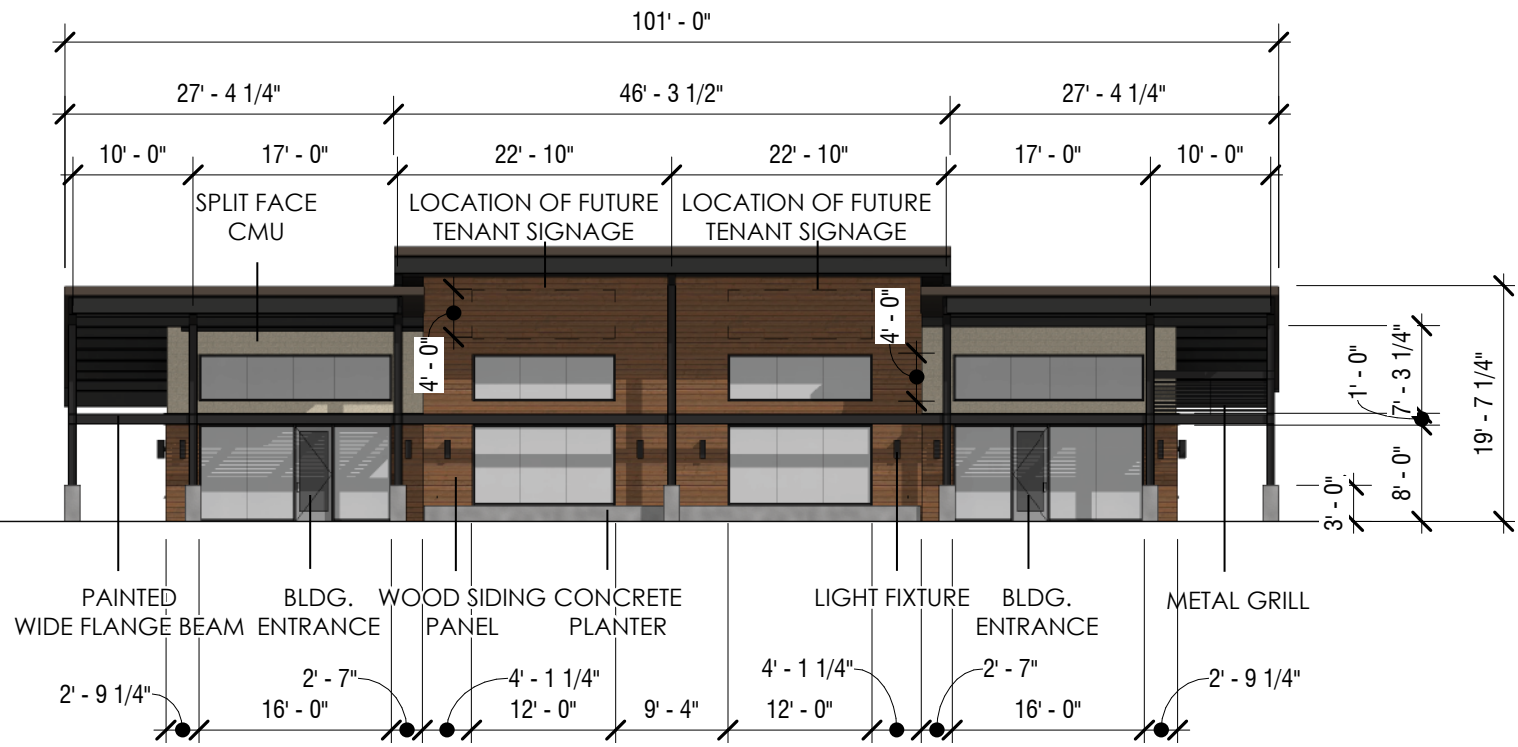
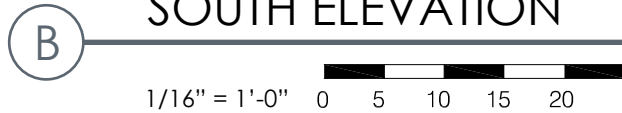


**EXHIBIT G  
ELEVATIONS**

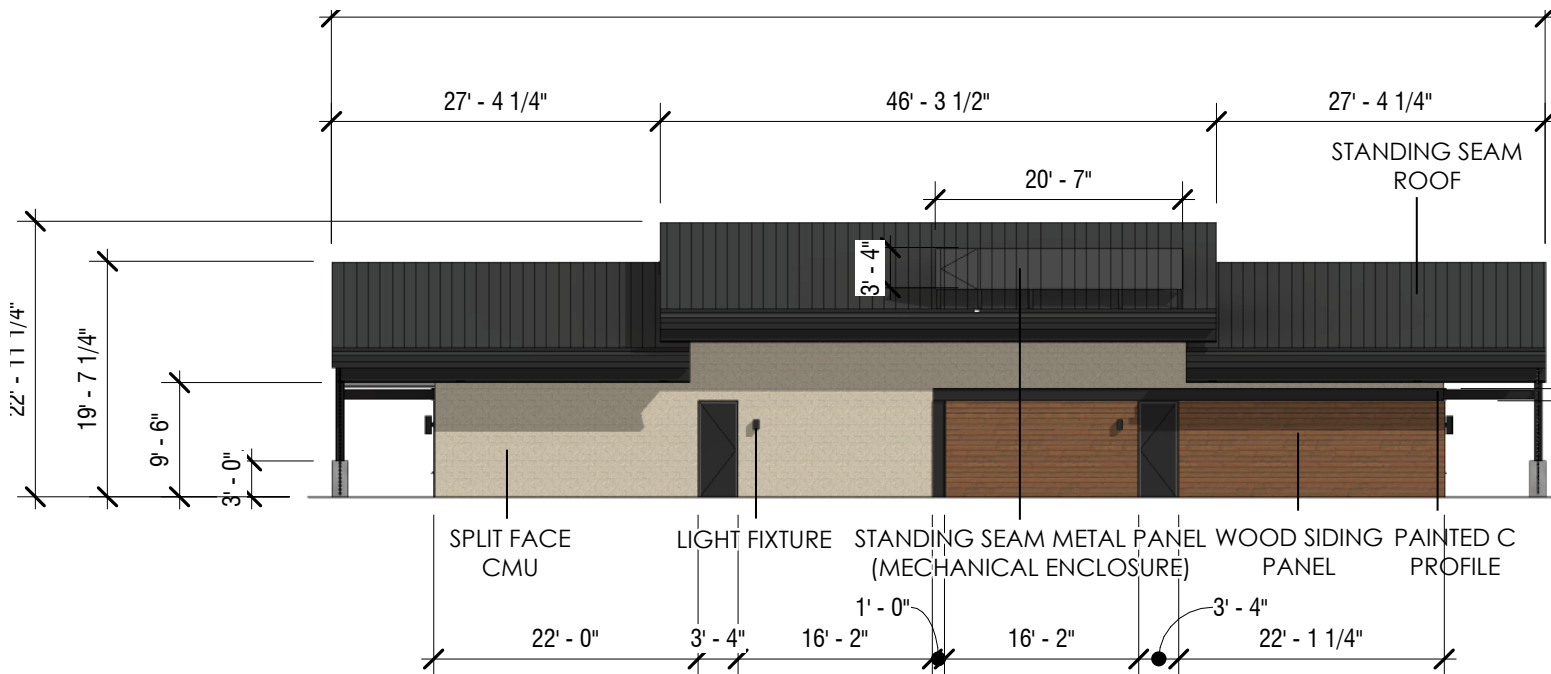
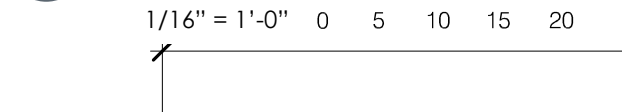
# ARCHITECTURAL RENDERINGS



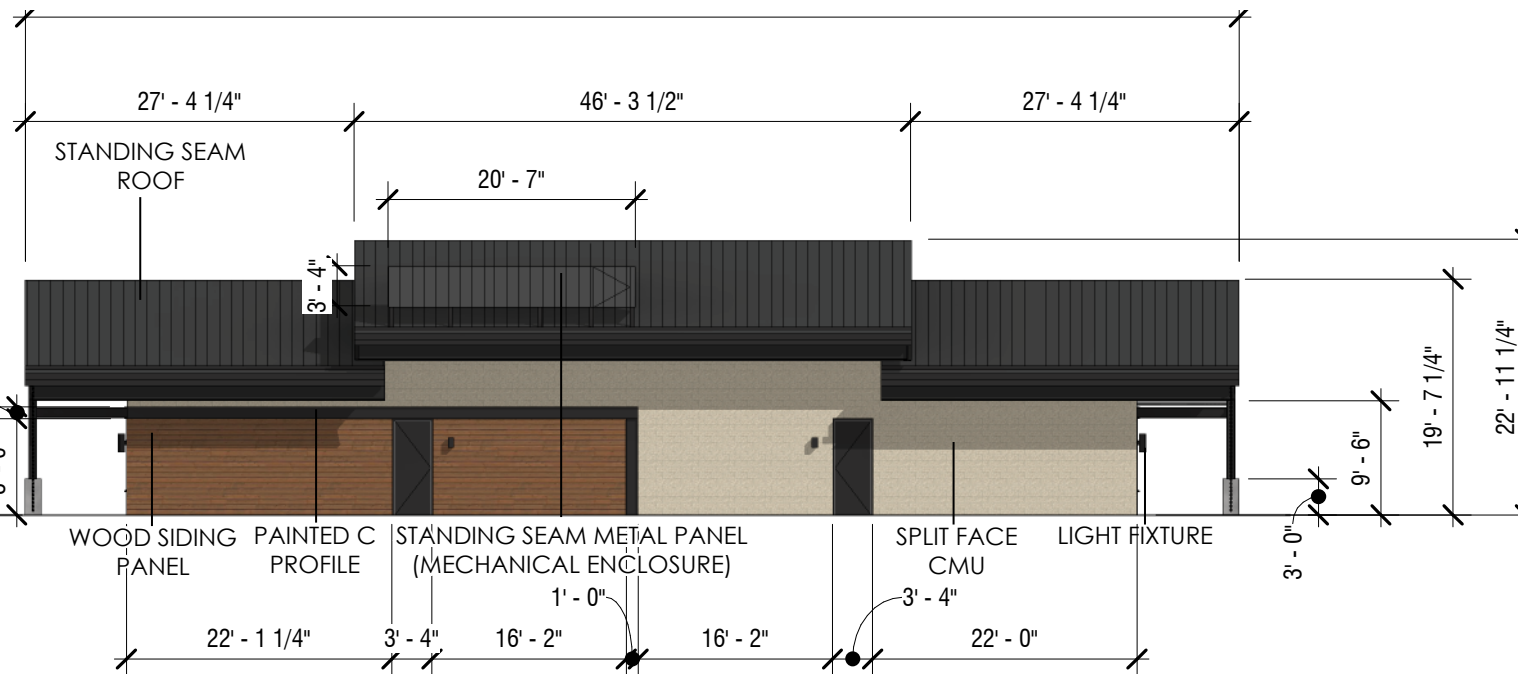
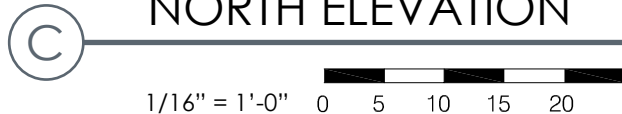
**SOUTH ELEVATION**



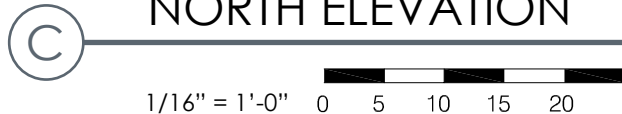
**NORTH ELEVATION**



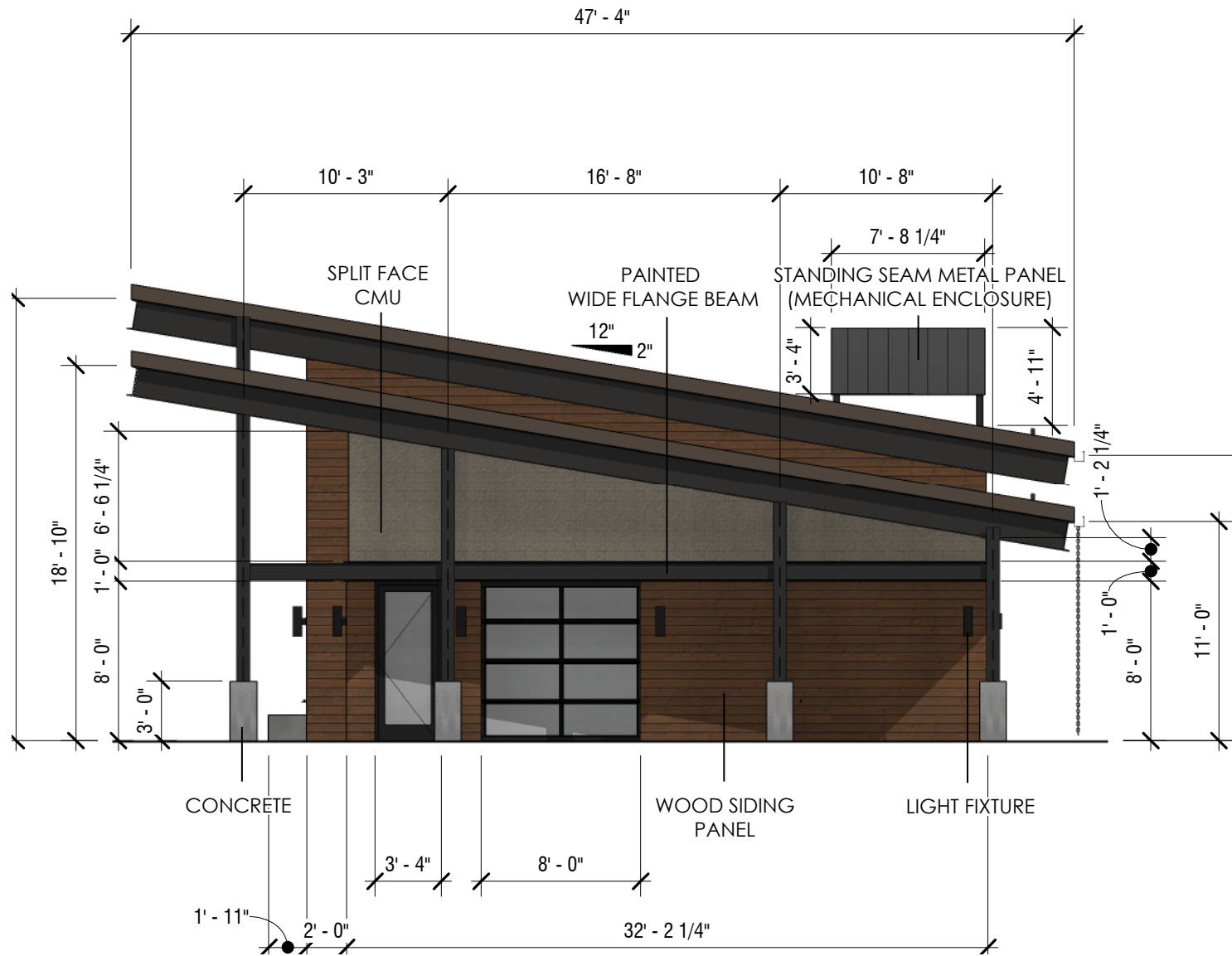
**SOUTH ELEVATION**



**NORTH ELEVATION**



# ARCHITECTURAL RENDERINGS

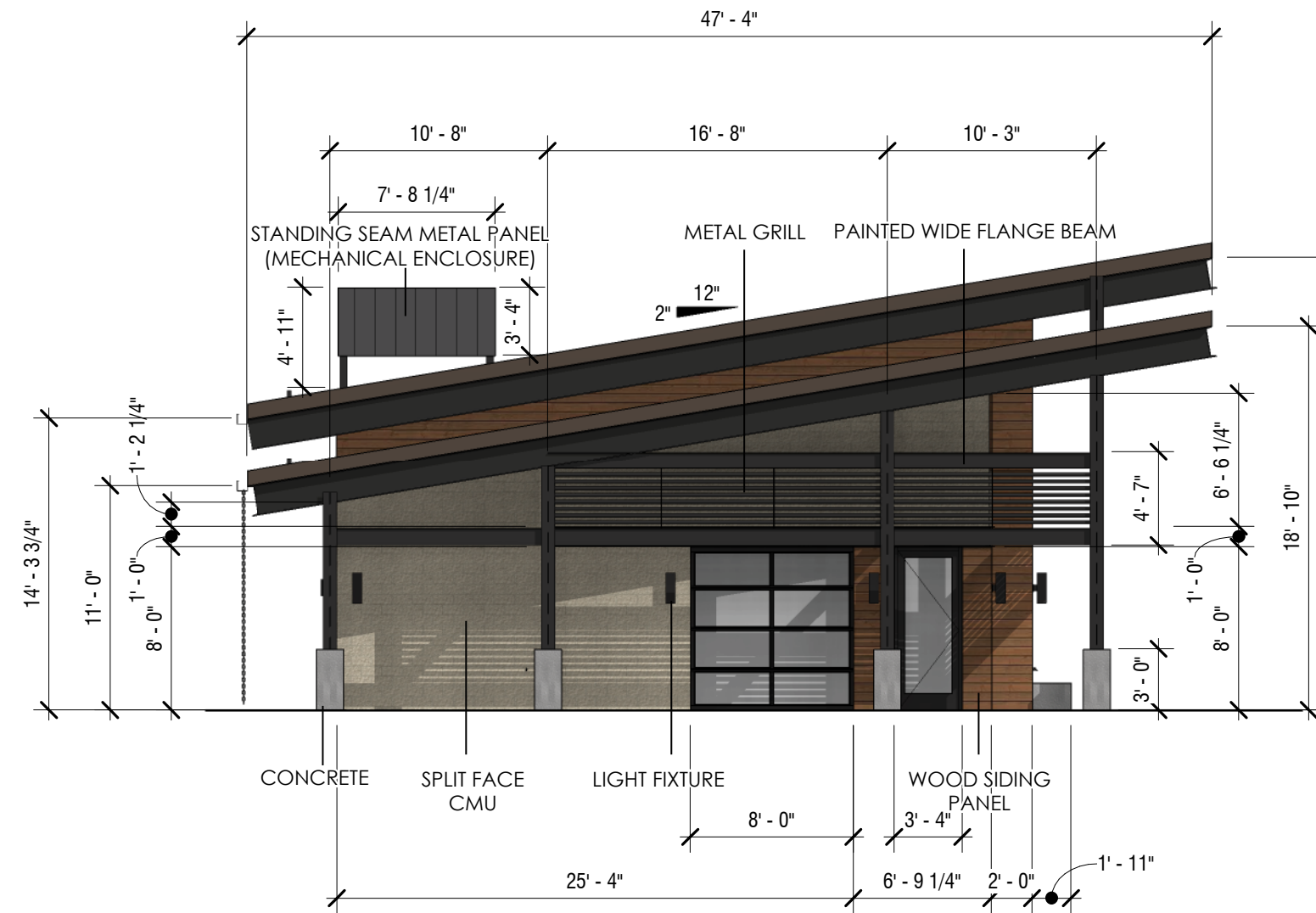


BUILDING A EAST ELEVATION

D

1/8" = 1'-0"

0 5 10 15 20



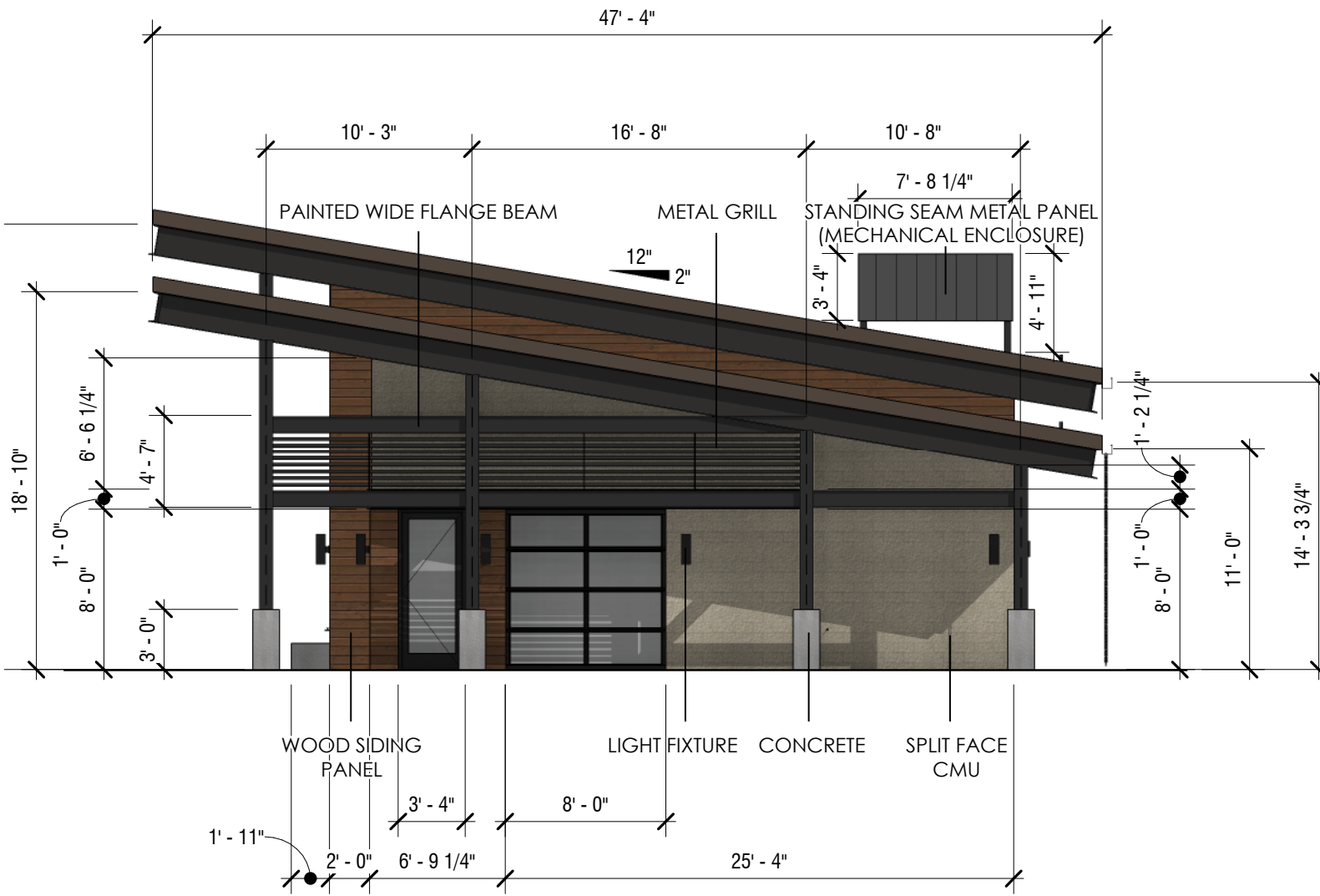
BUILDING A WEST ELEVATION

E

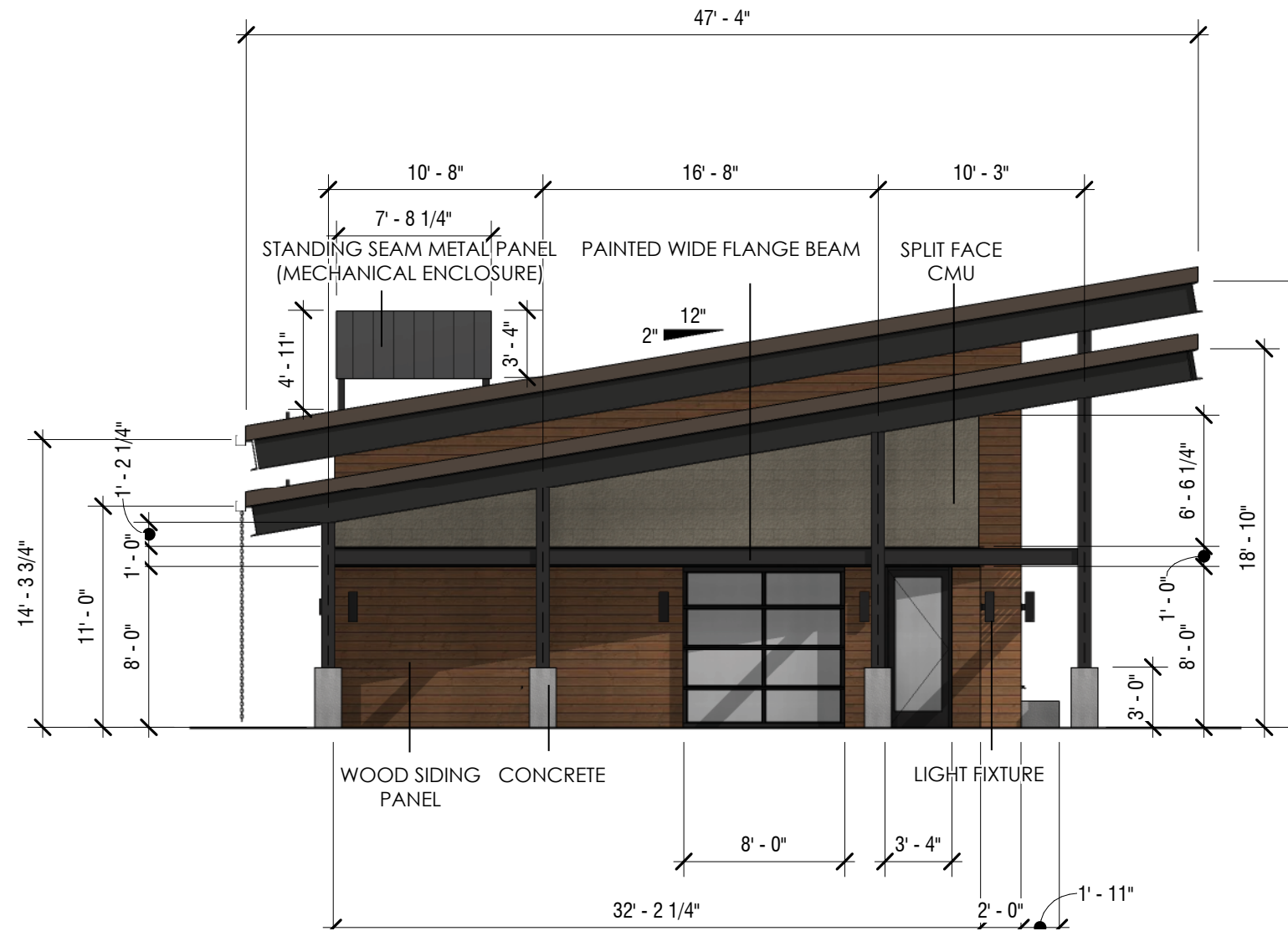
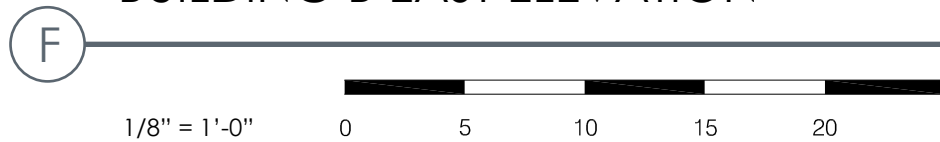
1/8" = 1'-0"

0 5 10 15 20

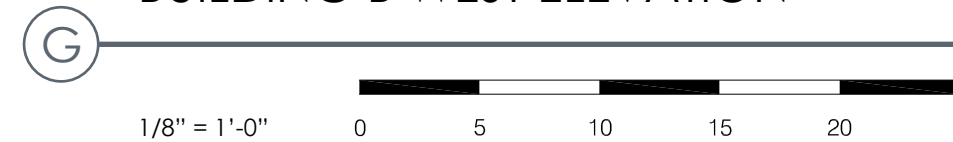
# ARCHITECTURAL RENDERINGS



BUILDING B EAST ELEVATION



BUILDING B WEST ELEVATION

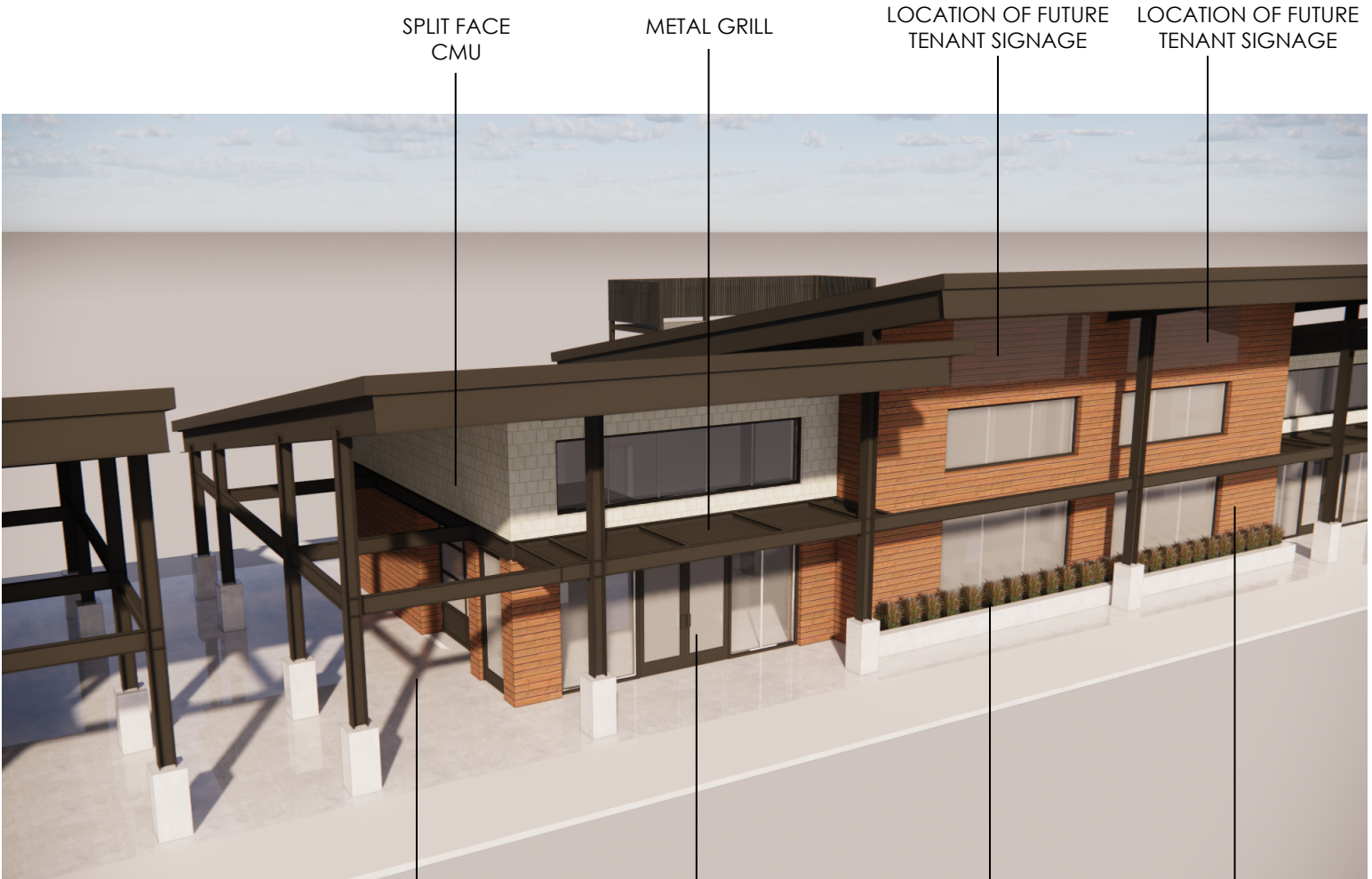




# ARCHITECTURAL RENDERINGS



BUILDING B SOUTH EAST CORNER



BUILDING B SOUTH WEST CORNER





# ARCHITECTURAL RENDERINGS



STANDING SEAM METAL PANEL  
(MECHANICAL ENCLOSURE)

PAINTED C  
PROFILE

WOOD SIDING  
PANEL

SPLIT FACE  
CMU

BUILDING A NORTH WEST CORNER

J



STANDING SEAM METAL PANEL  
(MECHANICAL ENCLOSURE)

OUTDOOR PATIO WITH  
STAINED CONCRETE

WOOD SIDING  
PANEL

PAINTED C  
PROFILE

SPLIT FACE  
CMU

BUILDING A NORTH EAST CORNER

K



**EXHIBIT F  
LANDSCAPE PLAN**

**BENCHMARK**  
STREET MONUMENT  
12300 SOUTH 700 EAST  
ELEV = 4468.97'

**811**  
Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

- SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 SPLIT FACE MASONRY RETAINING WALL TO MATCH BUILDING FACADE. SEE ARCHITECTURAL PLANS FOR INFORMATION
  - 2 STAINED CONCRETE. SEE ARCHITECTURAL PLANS FOR COLOR AND PATTERN INFORMATION.
  - 3 4" THICK CONCRETE WALKWAY PER APWA STANDARD PLAN NO. 231 W/ CONCRETE JOINTS AT 4' O.C.

**Landscape**

**Trees**

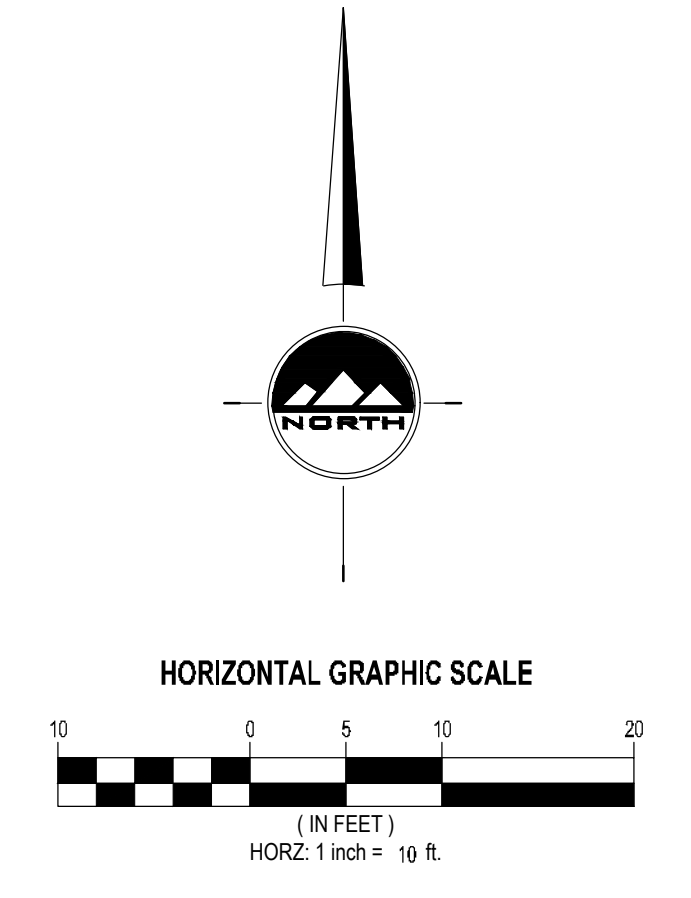
Qty	Symbol	Common Name	Botanical Name	Plant Size
5		Eastern Redbud	Cercis canadensis	2" Cal.

**Shrubs**

Qty	Symbol	Common Name	Botanical Name	Plant Size
8		Barberry, 'Crimson Pygmy'	Berberis thunbergii atropurpurea nana	5 Gallon
4		Boxwood, Littleleaf	Buxus microphylla	5 Gallon
29		Fountain Grass	Pennisetum setaceum	1 Gallon

**Annuals-Perennials**

Qty	Symbol	Common Name	Botanical Name	Plant Size
27		Daylily	Hemerocallis	1 Gallon



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**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

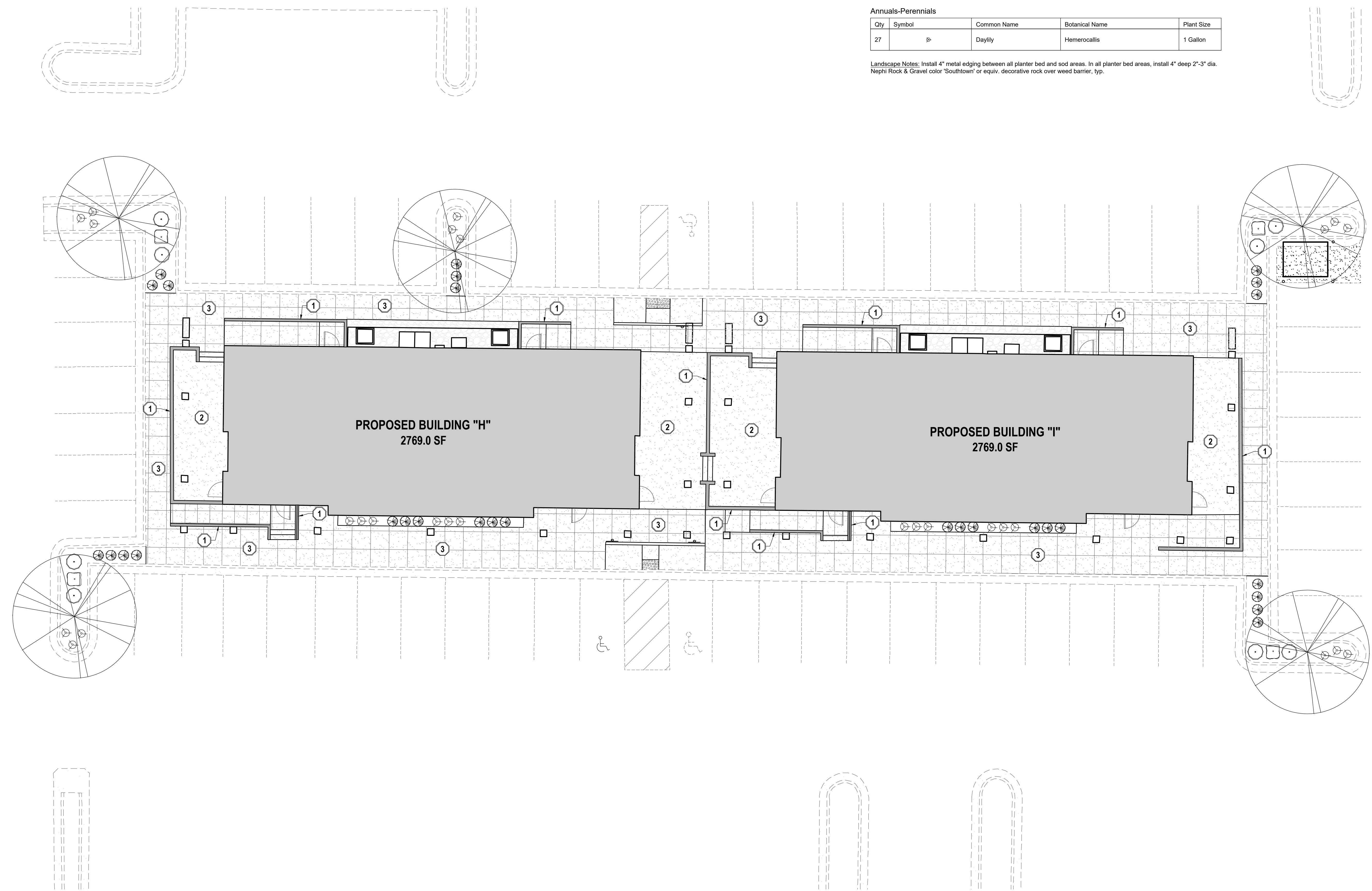
**RICHFIELD**  
Phone: 435.896.2983

**WWW.ENSIGNENG.COM**

FOR:  
METHOD STUDIOS  
380 ASPEN AVE.  
SALT LAKE CITY, UTAH 84101

CONTACT:  
KIM WEBB  
PHONE: (801) 532-4422

**Landscape Notes:** Install 4" metal edging between all planter bed and sod areas. In all planter bed areas, install 4" deep 2'-3" dia. Nephi Rock & Gravel color "Southtown" or equiv. decorative rock over weed barrier, typ.



**DILLMAN SQUARE  
BUILDING H AND I**  
751 EAST 12300 SOUTH  
DRAPER, UTAH 84020

NO.	DATE	REVISION	BY
1	12/16/20	QTY/REDLINES	TJM
2	04/13/2021	UPDATE ADDRESS	BCA

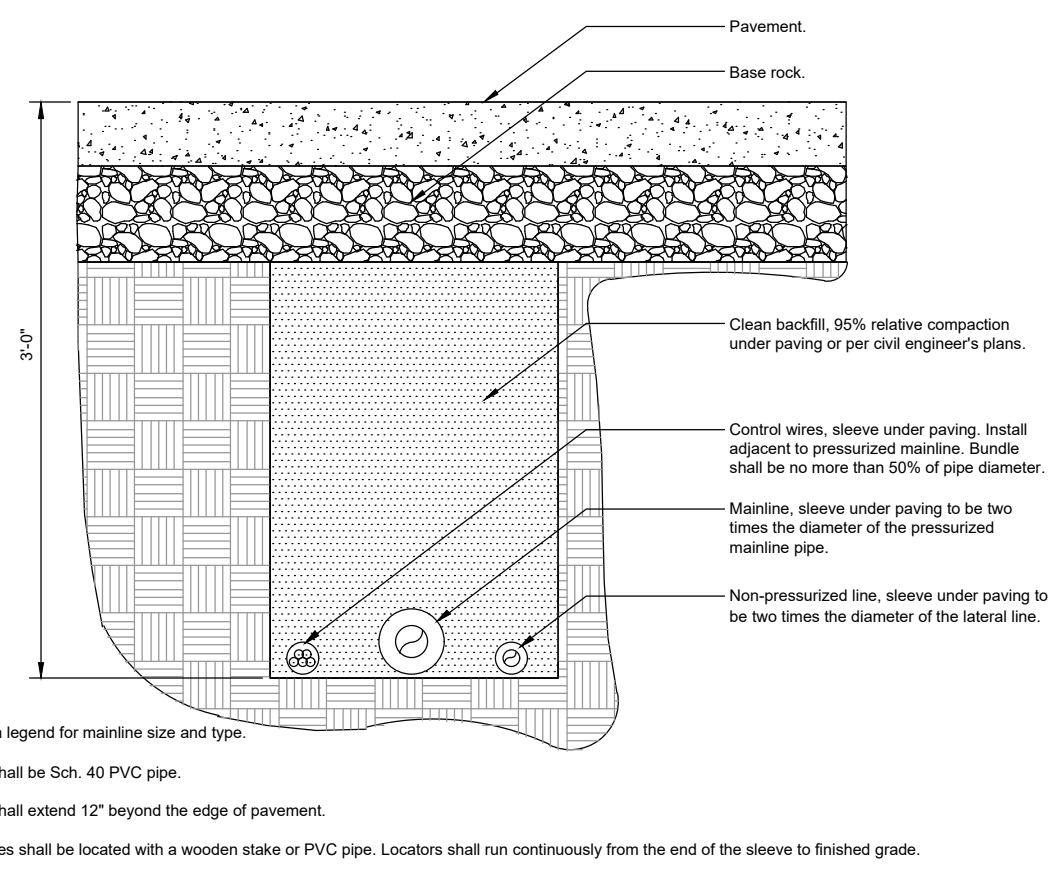
**LANDSCAPE PLAN**

PROJECT NUMBER	PRINT DATE
97207H1	12/16/20

DRAWN BY: T. MAZEJY  
CHECKED BY: D. JENKINS  
PROJECT MANAGER: D. JENKINS

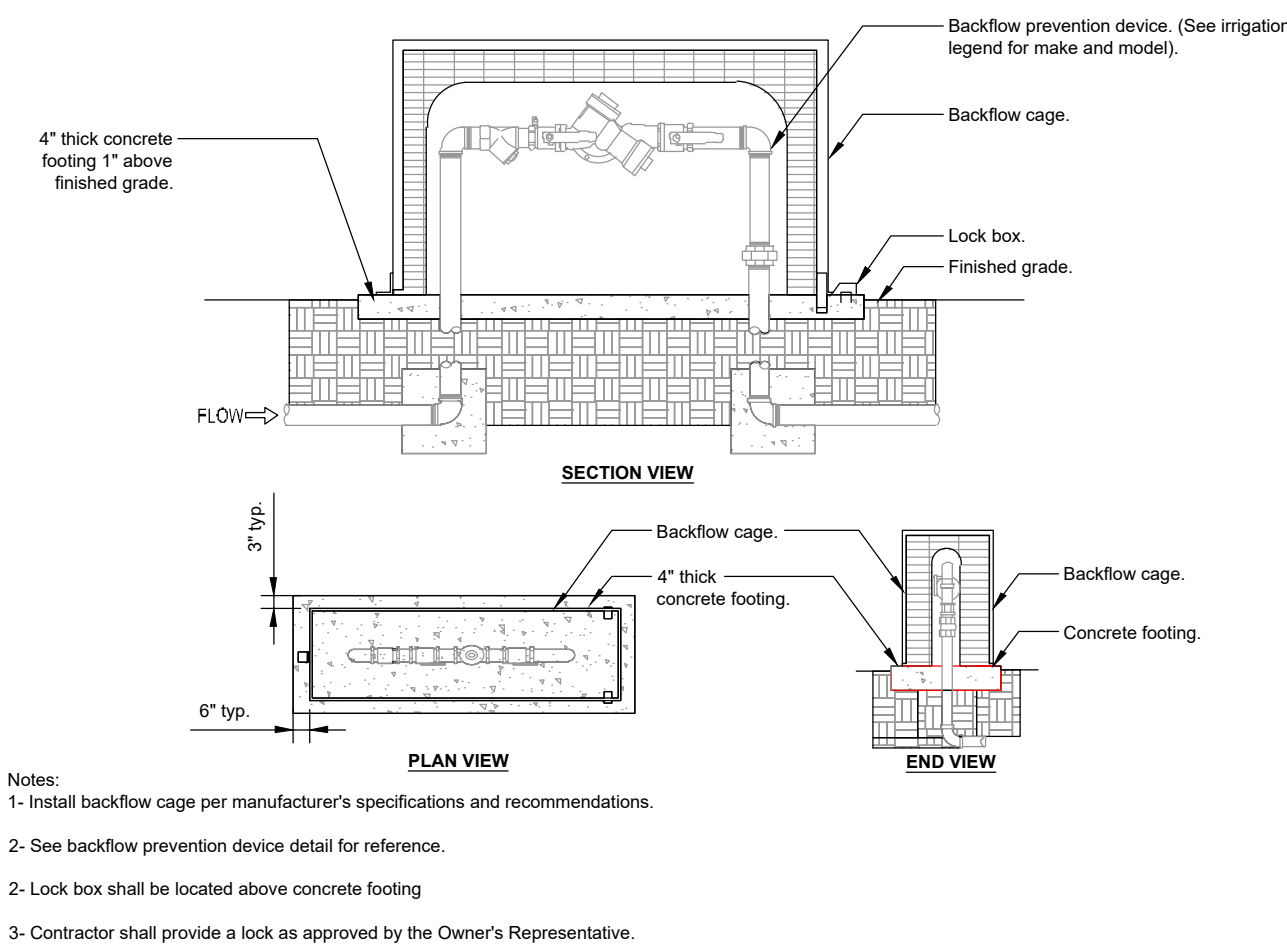
**L-100**





13 PIPE BENEATH PAVEMENT

SCALE: NONE



14 BACKFLOW CAGE

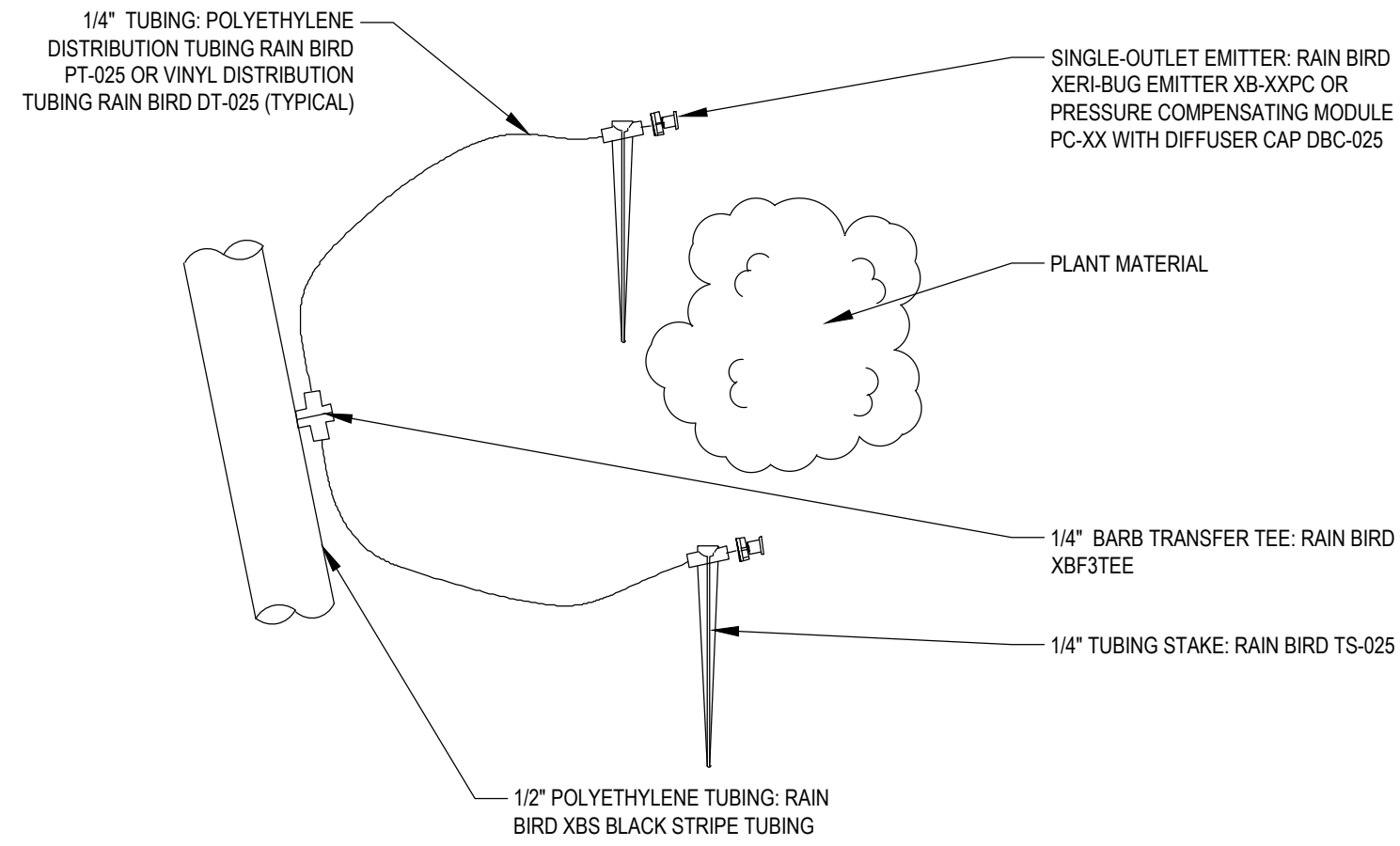
SCALE: NONE

GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS, ZONE, SIZE, FORM, MOISTURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANTINGS SHALL BE APPROVED BY ENSIGN ENGINEERING AND LAND SURVEYING INC. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- MULCH, PER PLAN, SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNTY/CITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1986)
- CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL THAT HAD BEEN STOCKPILED ON-SITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A COMMERCIAL TOPSOIL SUPPLIER
- PROVIDE THE FOLLOWING TOP SOIL MINIMUMS:  
A. 4" TOPSOIL IN ALL SOD AREAS  
B. 6" TOP SOIL IN ALL PLANTER BEDS
- WEED FABRIC SHALL BE A DEWITT SUNBELT WOVEN GROUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECOMMENDATIONS.

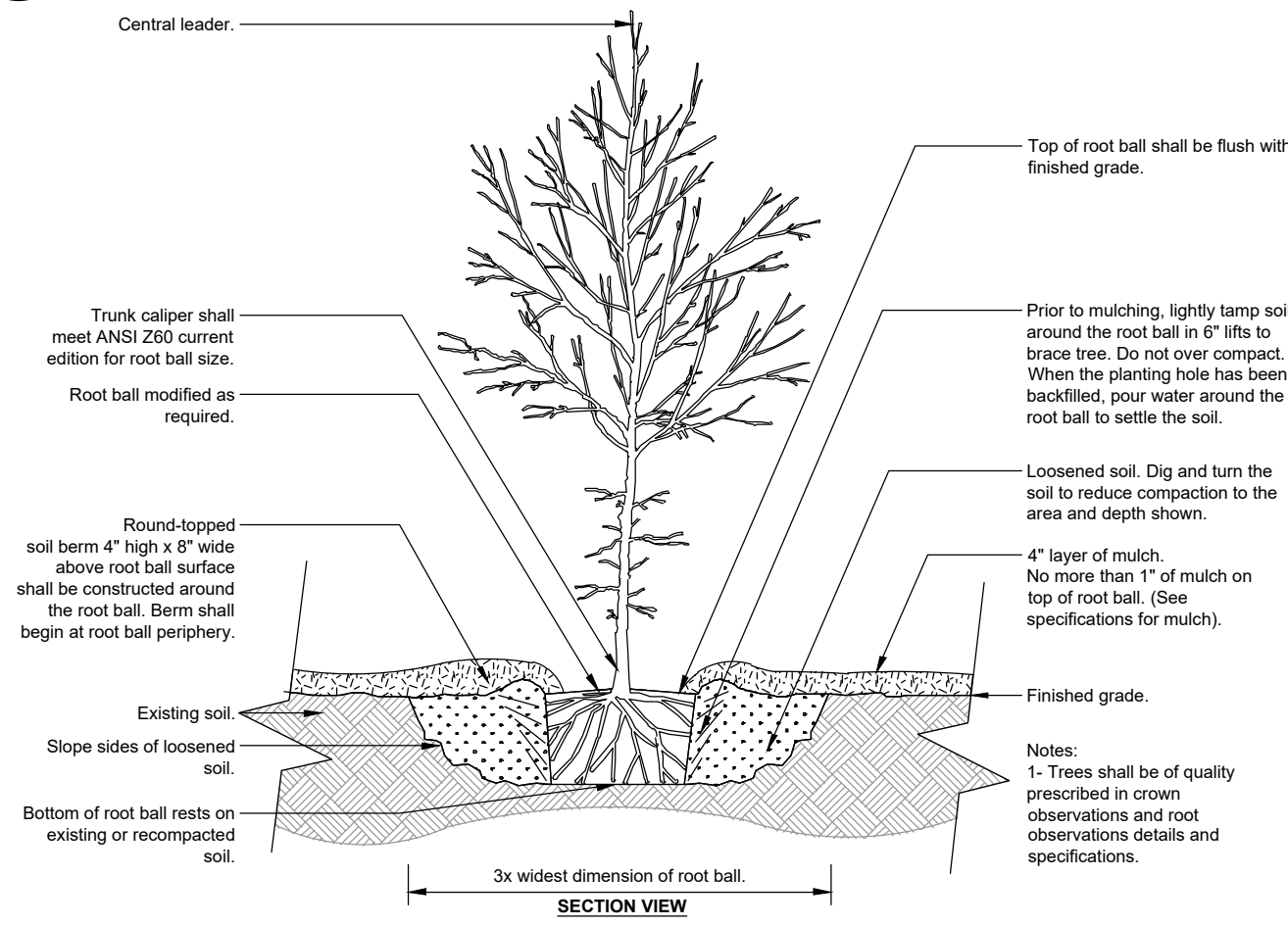
IRRIGATION NOTES:

- IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
- PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED ONE ABOVE THE OTHER.
- TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER, ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES. BACKFILL TO BE WATERED IN AND COMPACTED.
- ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.
- ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH LOCKING LIDS.
- DIRECT BURIAL 14 GAGE WIRE WITH SPEARS DRI-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED. 6" SEPARATION BETWEEN MAIN LINE & WIRE EITHER BELOW PIPE OR TO SIDE.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES. MANUAL VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH LOCKING LIDS. KING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
- ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF THE PIPE.
- FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
- CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS, A REPRODUCIBLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
- THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.



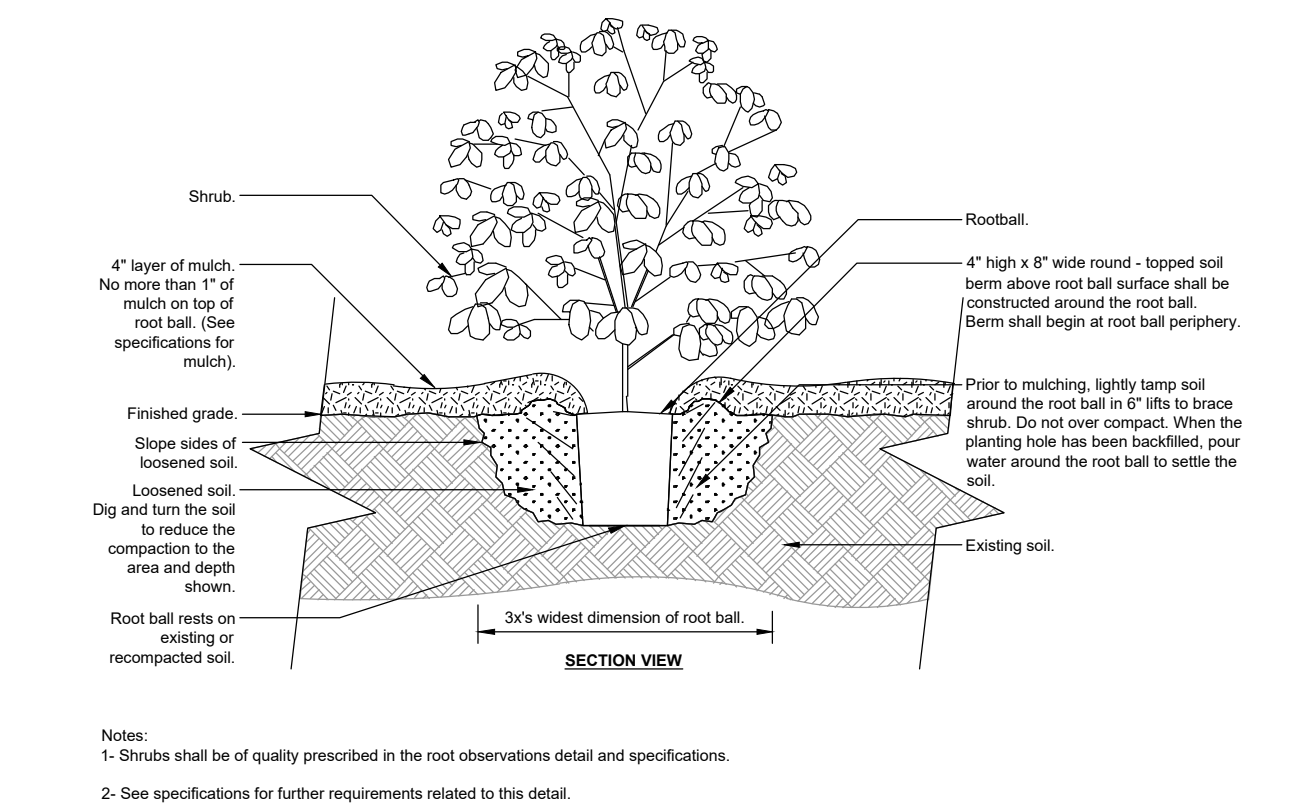
9 DRIP DETAIL

SCALE: NONE



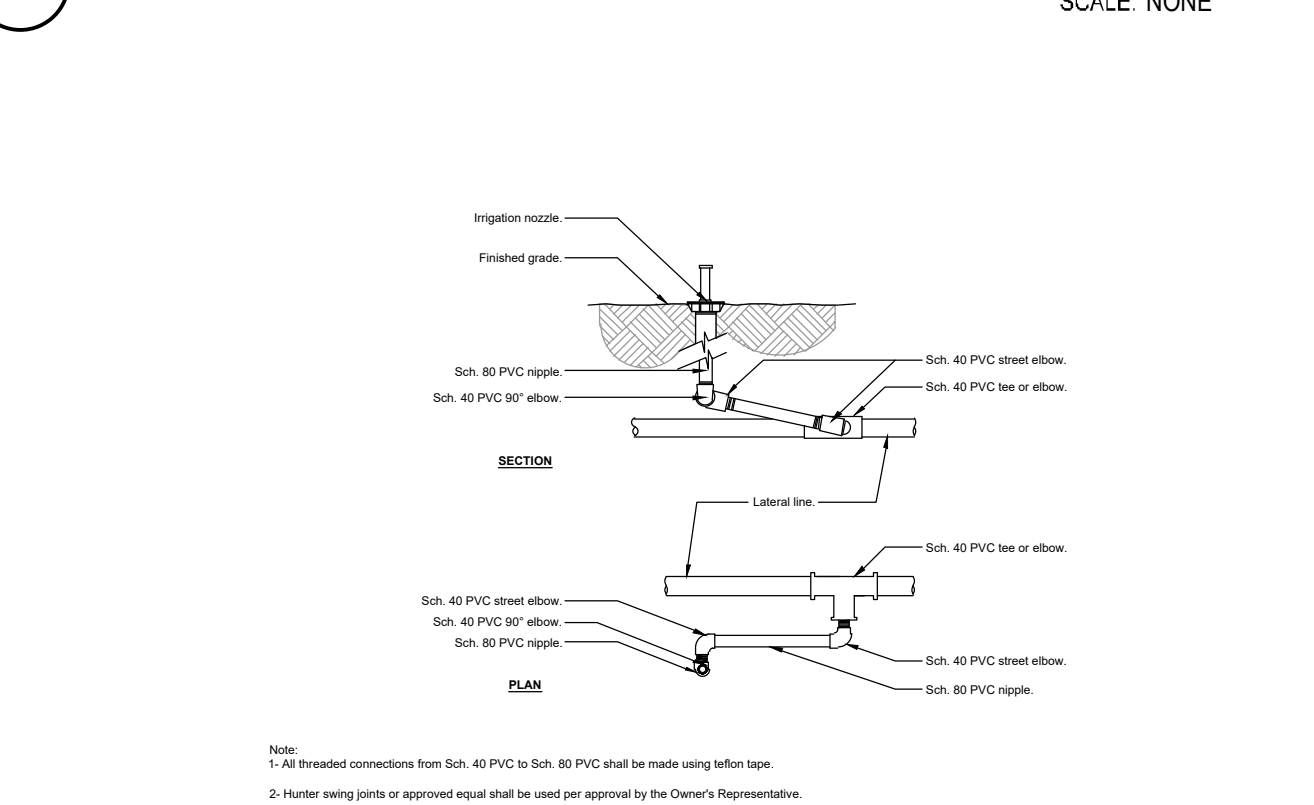
10 TREE PLANTING DETAIL

SCALE: NONE



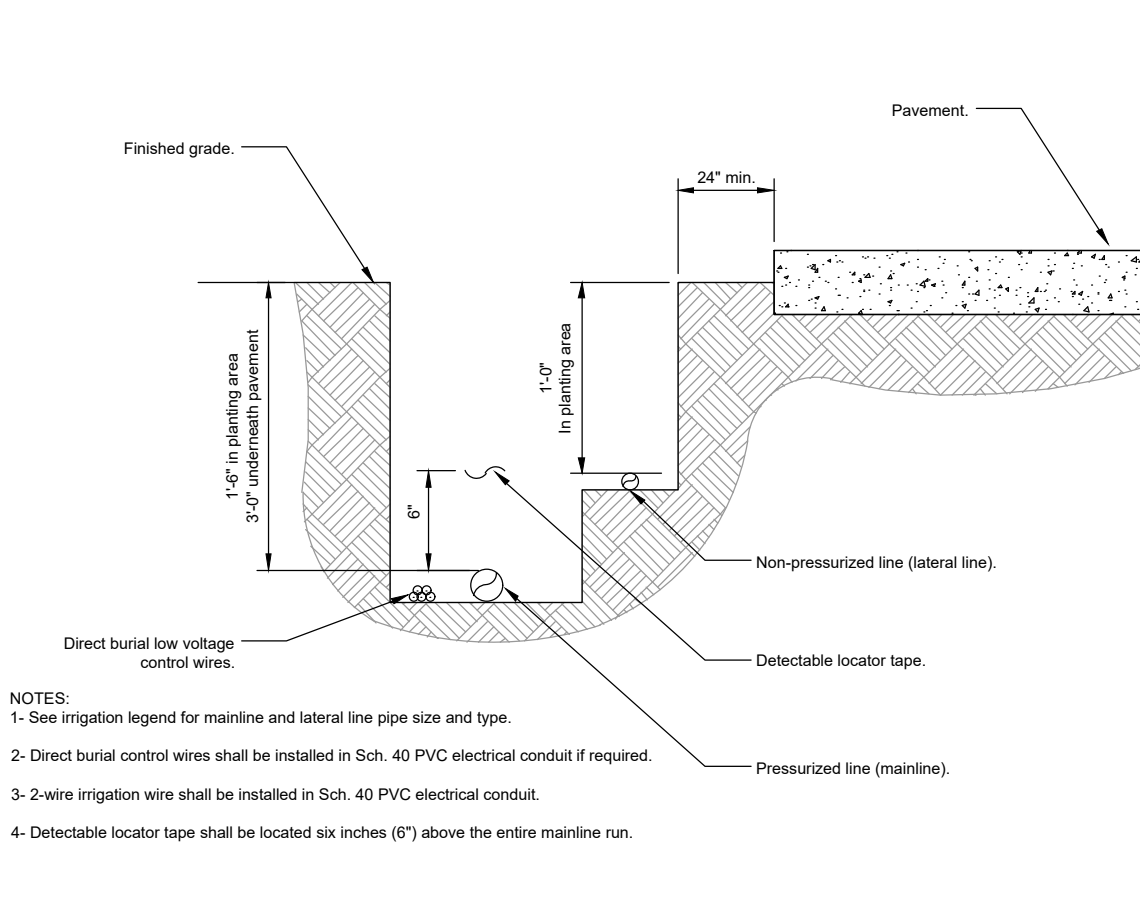
11 SHRUB PLANTING DETAIL

SCALE: NONE



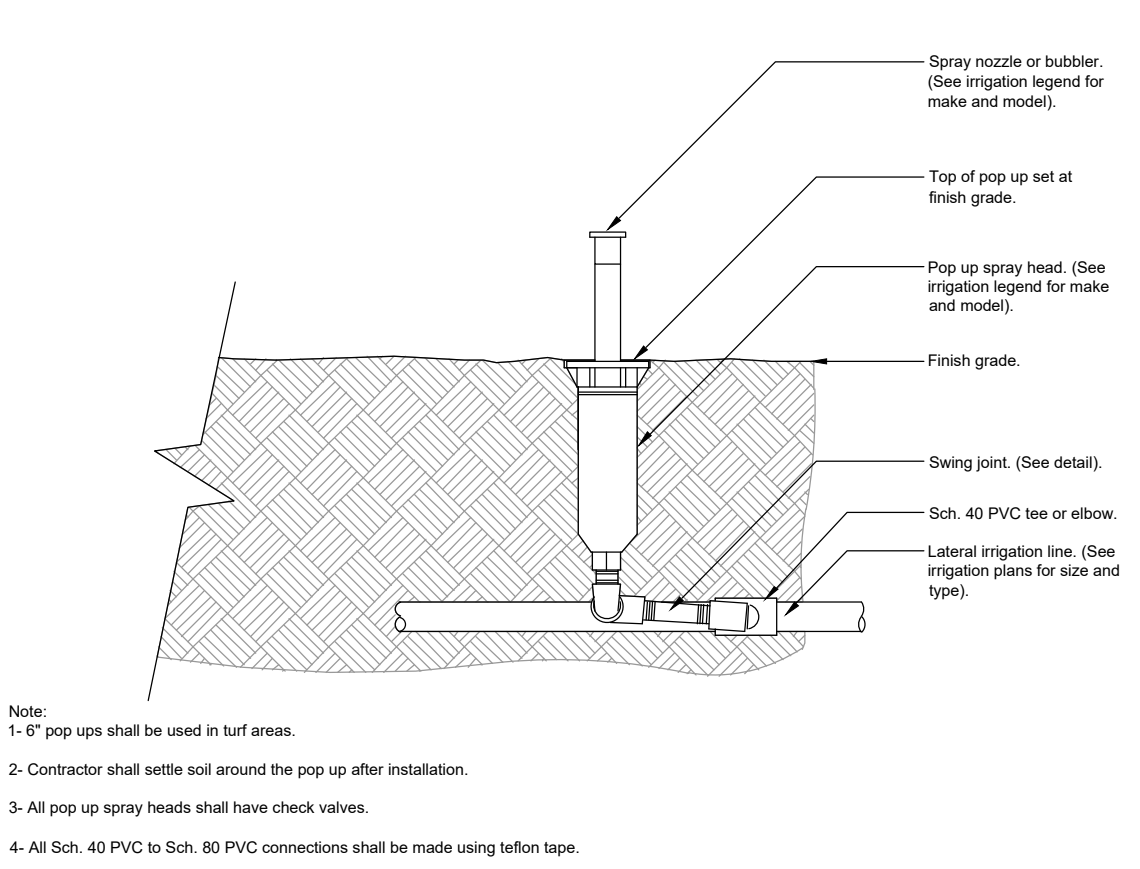
12 SWING JOINT

SCALE: NONE



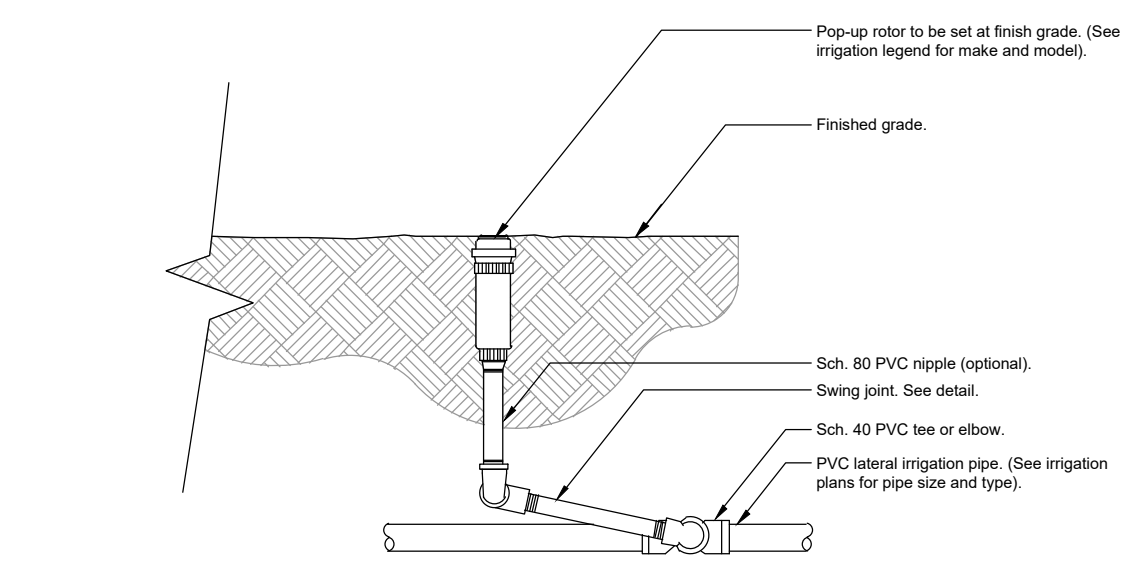
5 IRRIGATION TRENCHING

SCALE: NONE



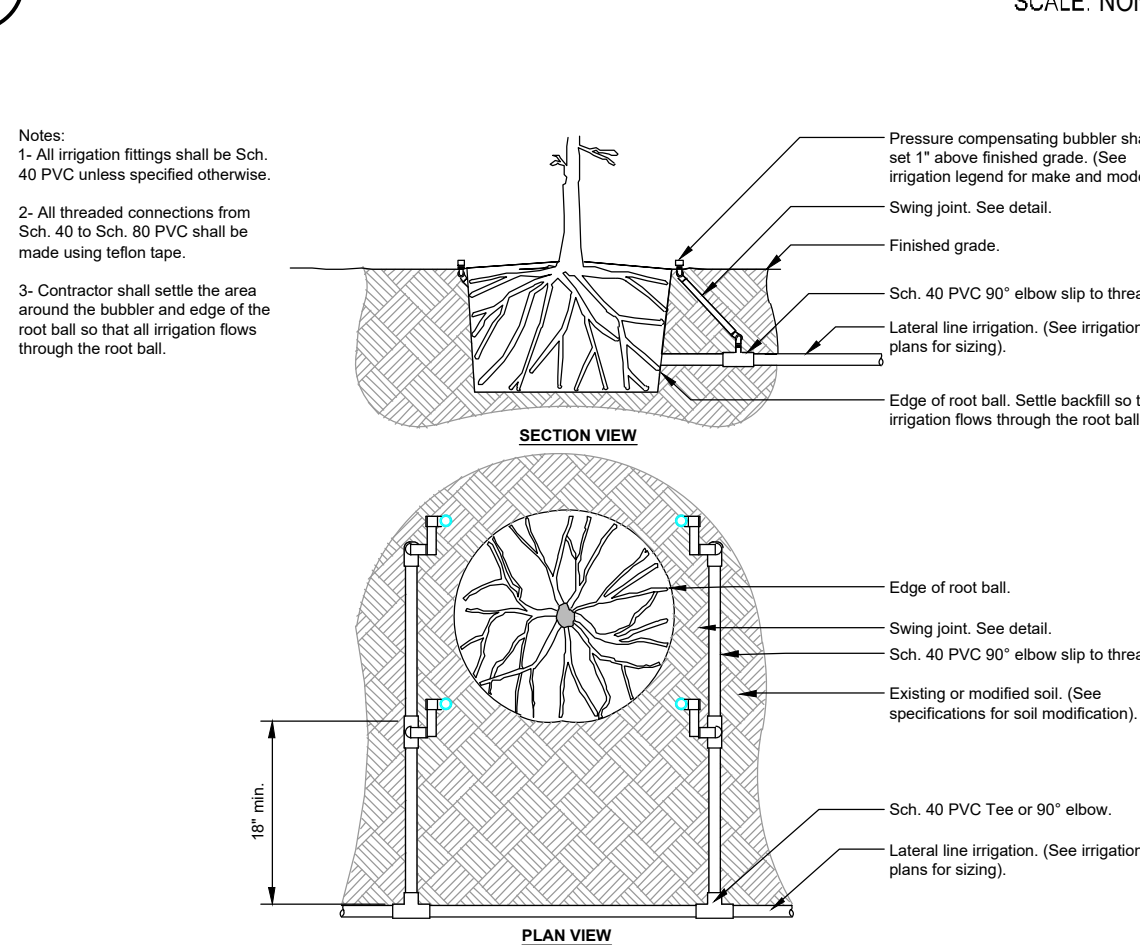
6 POP-UP SPRAY SPRINKLER

SCALE: NONE



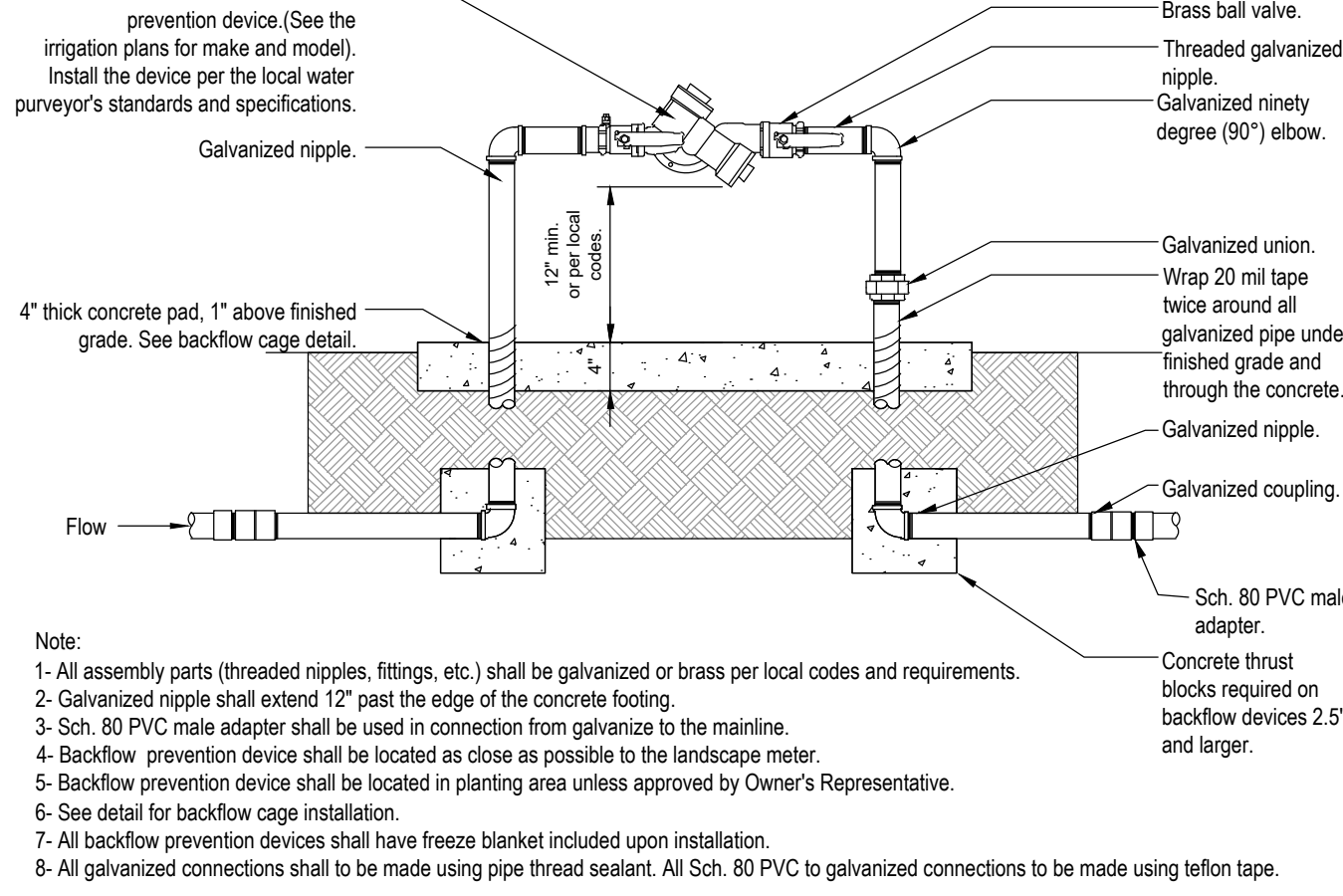
7 ROTOR POP-UP HEAD

SCALE: NONE



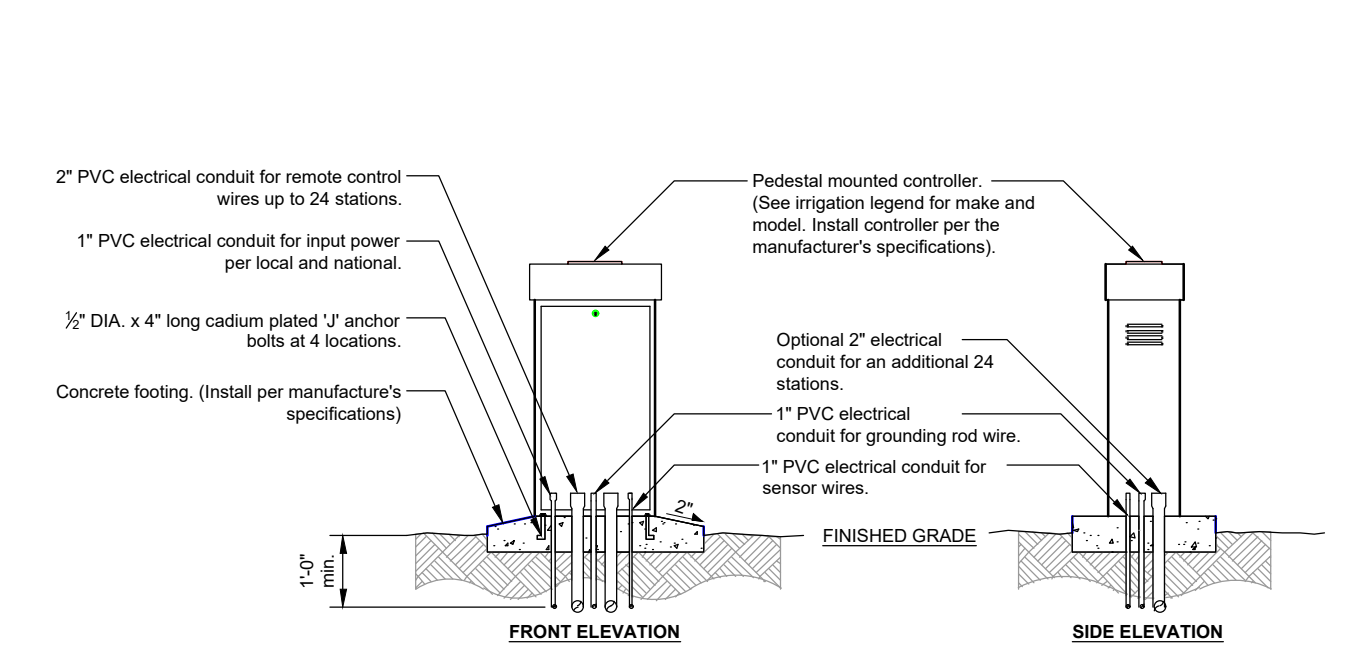
8 BUBBLER DETAIL

SCALE: NONE



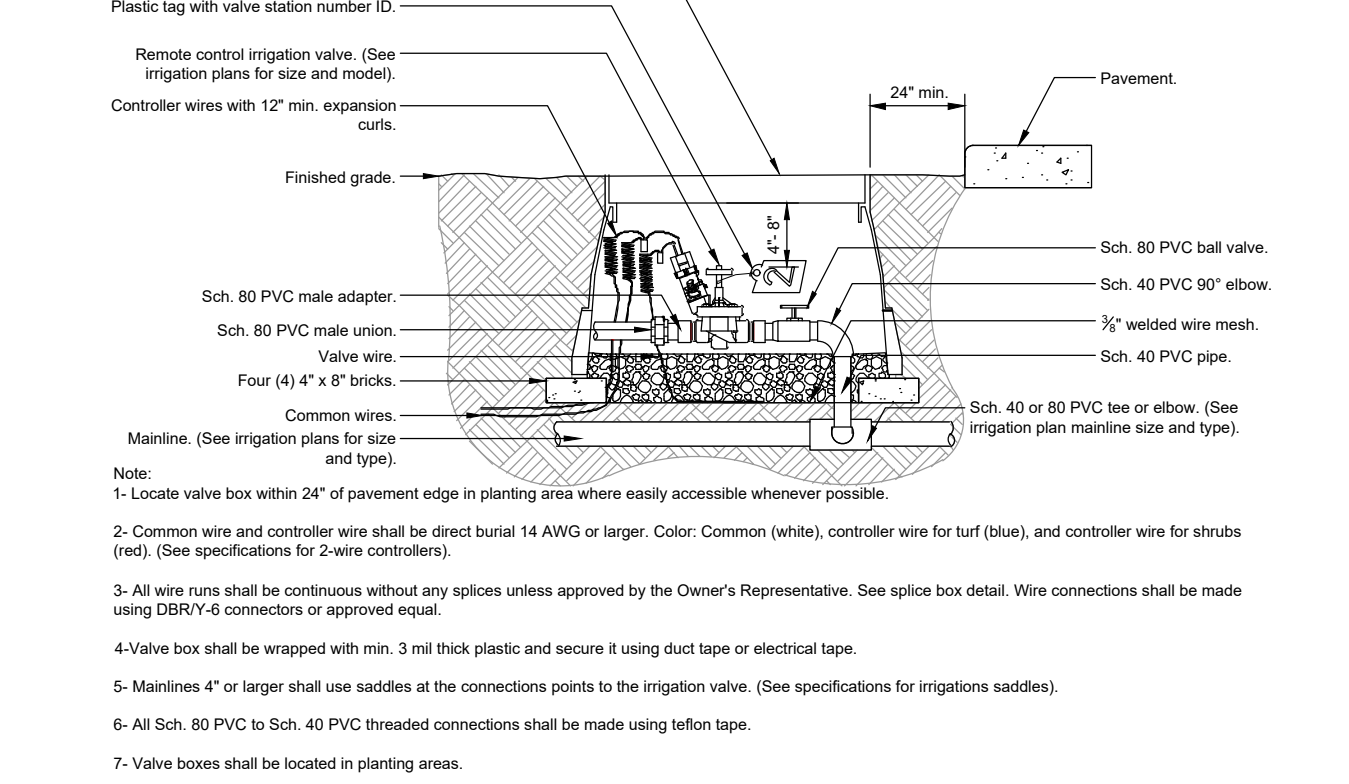
1 BACKFLOW PREVENTER

SCALE: NONE



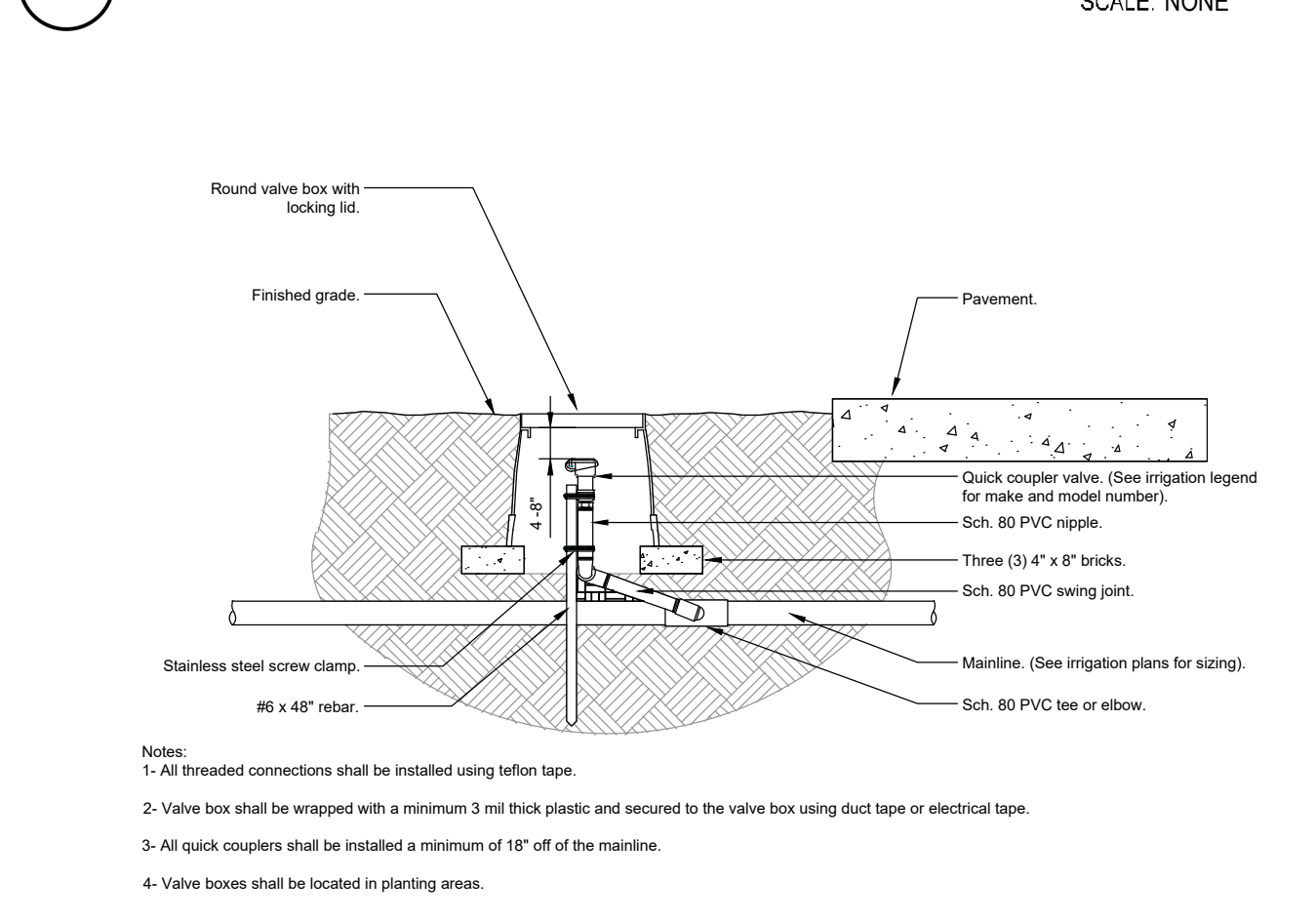
2 IRRIGATION CONTROLLER

SCALE: NONE



3 CONTROL VALVE

SCALE: NONE



4 QUICK-COUPLING VALVE

SCALE: NONE

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KIM WEBB  
PHONE: (801) 532-4422

**DILLMAN SQUARE  
BUILDING H AND I**  
751 EAST 12300 SOUTH  
DRAPER, UTAH 84020

NO.	DATE	DESCRIPTION	BY
1	12/16/2020	CITY REVIEW	T.M
2	01/30/2021	UPDATE ADDRESS	BCA
3			
4			
5			
6			
7			
8			

**LANDSCAPE AND IRRIGATION DETAILS**

PROJECT NUMBER 97207H	PRINT DATE 4/3/2021
DRAWN BY T. MAZEJY	CHECKED BY D. JENKINS
PROJECT MANAGER D. JENKINS	

**L-200**