

2016, a site plan application was approved by the Planning Commission for the construction of a charter high school on the campus. The location now under review is the property farthest west and south of the existing middle and high school building.

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Cultural/Institutional	Exhibit D
Current Zoning	R3	Exhibit E
Proposed Use	Charter School	
Adjacent Zoning		
East	CBP (Commercial Business Park)	
West	A5 (Agricultural)	
North	R3	
South	CSD-LP (Commercial Special District Lone Peak Business Park)	

The Cultural/Institutional designation is characterized as follows:

Cultural and Institutional

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Major entry points and features • Well-landscaped perimeter and public spaces • Limited traffic access to major streets • Uniform design standards and aesthetics • Common off-street traffic circulation and parking areas • Pedestrian-friendly design
LAND USE MIX	<ul style="list-style-type: none"> • Government and municipal buildings • Schools • Fire and police stations • Hospitals
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Public Facilities (PF) • Public Open Space (OS) • Public Institutional (PI)
OTHER CRITERIA	<ul style="list-style-type: none"> • Zoning for these uses should be based on a demonstration that the project can be successfully completed and has good transportation access • Such operations should be subject to City review and imposition of conditions deemed necessary to keep the land use compatible with its neighbors and with the community in general



According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the R3 zone is to *"permit medium density residential development without special mitigation requirements. This zone is intended to provide incentives to foster residential development with little impact on its surroundings and on municipal services, and to generally preserve the semirural character called for in the density element of the general plan."*

State Code. Per Title 10 of the Utah State Code, a municipality's purview in the establishment of a public school or Charter School is limited. Subsection 10-9a-305(b) states that *"notwithstanding subsection (3), a municipality may: subject a charter school to standards within each zone pertaining to setback, height, bulk and massing regulations, off-site parking, curb cut, traffic circulation, and construction staging; and impose regulations upon the location of a project that are necessary to avoid unreasonable risks to health or safety, as provided in subsection (3)(f)."* However, subsection 10-9a-305(3)(a) states: *"A municipality may not impose requirements for landscaping, fencing, aesthetic considerations, construction methods or materials, additional building inspections, municipal building codes, building use for educational purposes, or the placement or use of temporary classroom facilities on school property."* Most of this staff review, is therefore, informational only.

Site Plan Layout. Per Title 10 of the Utah State Code, a municipality's purview in the establishment of a public school or Charter School is limited. Setbacks, height, bulk and massing are items that are under the purview of Draper City. The site currently contains an 83,000 square foot building with associated landscaping, parking and a soccer field that is currently used for grades K-6. The middle school and high school building that is approximately 65,000 square feet in size was constructed in 2017. The proposed auditorium will not contain additional classroom space and will be used by all student groups on the campus (Exhibit F).

Standard	DCMC Requirements	Proposal	Notes
Setbacks			
Front	25 feet minimum	Approximately 1,600 feet from Lone Peak Parkway	
Side	10 feet minimum	Approximately 60 feet	
Rear	20 feet minimum	Approximately 111 feet	

Circulation. The applicant is not proposing to change the existing traffic circulation pattern for the charter school. Access will continue to be from the current access on Lone Peak Parkway. As a prior condition of approval student drop off and pick up times are staggered to reduce overall traffic impacts.



Landscaping and Lot Coverage. Landscaping is not an item that is under the purview of Draper City.

Parking. Parking for charter schools is based on the student capacity of the school. The proposed auditorium is an accessory use to the school that will be utilized by all grade levels that currently exist at the school. As no new classrooms are proposed the number of students will not increase due to the addition and additional parking is not required.

Architecture. The applicant is proposing a single-story auditorium (Exhibit F). The school is located in a residential zoning district which has a maximum height of 35 feet. The proposed building does have an integral architectural feature that is approximately 54 feet tall at its highest point. However, the applicant has provided an elevation drawing which show the building with an average height of just under 35 feet. The integral architectural feature will not be detrimental to public health, safety, or general welfare, and it does not create additional usable building floor space, and therefore complies with the DCMC. The bulk and massing are comparable to the existing school buildings and industrial buildings located on adjacent properties to the south. Per Title 10 of the Utah State Code, aesthetic considerations are not an item that is under the purview of Draper City and therefore the architectural style is not analyzed in this report.

Standard	DCMC Requirements	Proposal	Notes
Building Height	35 feet maximum	35 feet	See Exhibit G for an analysis of the average height

Lighting. Exterior lighting is not an item that is under the purview of Draper City per Title 10 of the Utah State Code.

Criteria For Approval.

The criteria for review and potential approval of a Site Plan Amendment request are found in Sections 9-5-090(E) of the DCMC. This section depicts the standard of review for such requests as:

- E. Standards for Approval: The following standards shall apply to the approval of a site plan:
 - 1. The entire site shall be developed at one time unless a phased development plan is approved.
 - 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.



3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

STAFF RECOMMENDATION

Staff recommends that the Zoning Administrator review the request and approve the Site Plan Amendment application based on the findings and conditions listed below and the criteria for approval as listed within the staff report.

If the Zoning Administrator approves the request, staff suggests that the following conditions be included:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That the applicant maintain compliance with the applicable conditions imposed with prior approvals for the site.

This recommendation is based on the following findings:

1. The proposed site development plan is an amendment to a previously approved development plan.
2. The site plan conforms to the applicable standards set forth in this title and State Code, including, building heights, setbacks, access points, and parking.
3. The charter school is a permitted use in the zone and the proposed development plans meet the applicable intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.



DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Department

Draper City Planning Division

Draper City Fire Department

Draper City Legal Counsel

Draper City Building Division

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments.

Building Division Review.

1. No additional comments.

Engineering and Public Works Divisions Review.

1. When onsite changes are made to a site plan, per DCMC 9-5-090(H)(4), onsite drainage and public improvements are required to be brought into compliance with current code.
2. The developer is to provide a drainage report per DCMC 9-5-090(D)(1)(f). The drainage report is to meet the requirement of the City of Draper Drainage Design Criteria available online. Implementation of LID (low-impact development) BMP's in the overall drainage design is required.
3. Provide service letter from South Valley Sewer District (SVSD) per DCMC 9-5-090(D)(1)(d)(3)(D).
4. Retaining walls are to comply with DCMC 9-27-085. Retaining walls are not reviewed or approved with this review and approval process.
5. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance.
6. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division.
7. Provide verification, through the drainage report, that the existing storm drainage system has capacity to add the additional impervious area.
8. Access to site, including ingress and egress at pick-up and drop off times, is impeded and is causing issues on the fronting public street. Additional traffic for proposed expansion will exacerbate the issue. Provide traffic impact study mitigating the site created issues where previously approved mitigation methods, i.e. staggered school start times, are no longer being used.

Fire Division Review.

1. Fire Department Access is required. An unobstructed minimum road width of 26 feet exclusive of the shoulders and a minimum height of 13'6" inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of 28'. There shall be a

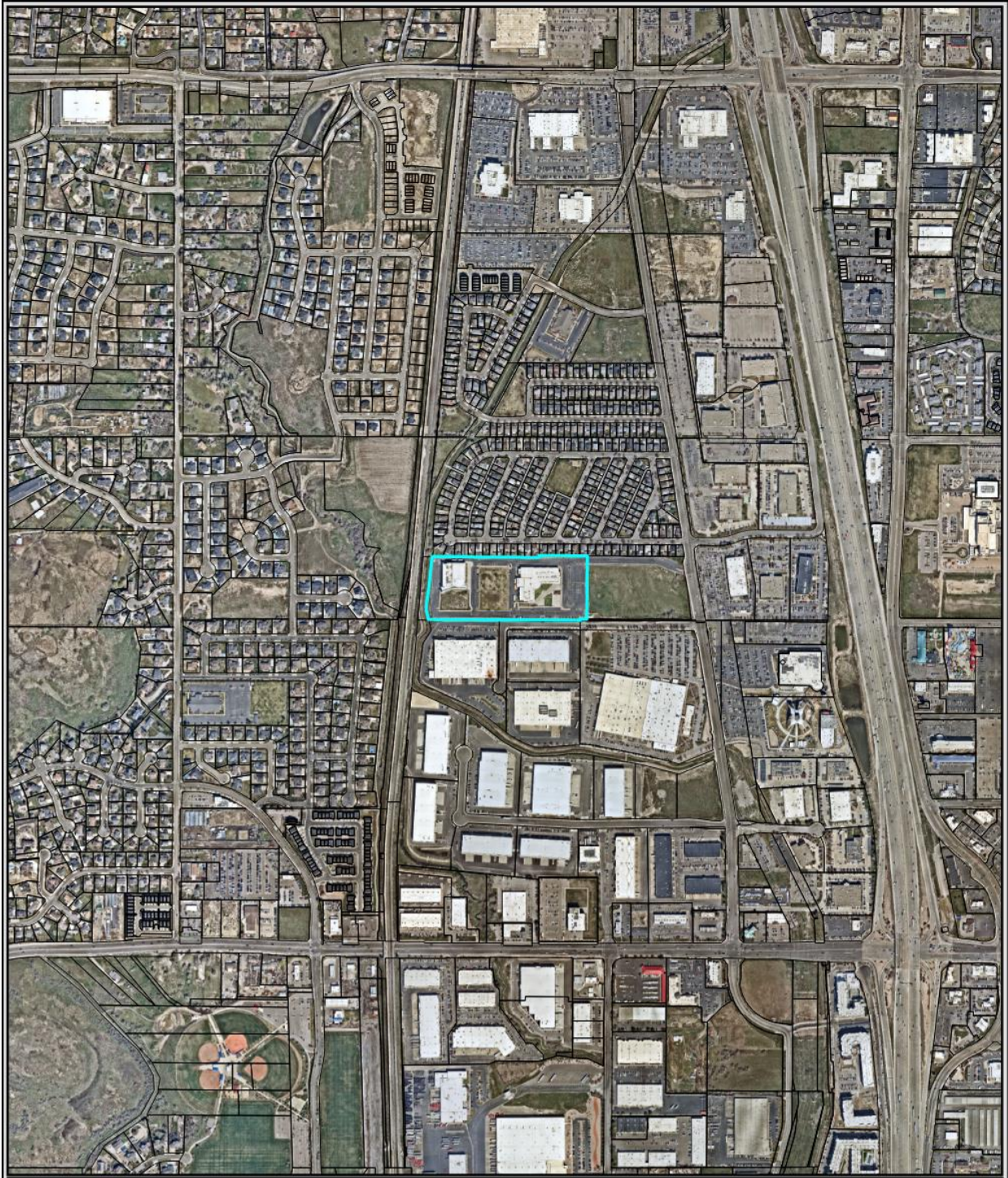
maximum grade of 10%. Grades may be checked prior to building permits being issued.

2. IFC SECTION 3310 ACCESS FOR FIRE FIGHTING DURING CONSTRUCTION
 - a. 3310.1.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100' of temporary or permanent fire department connections. Either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions, shall provide vehicle access. Vehicle access shall be maintained until permanent fire apparatus access roads are available.
 - b. Until permanent fire apparatus access roads are constructed, fire-fighting vehicle access is the means by which fire fighters gain access to the construction or demolition site and building for fire suppression and rescue operations. Such access is an integral component of the fire prevention program. The site superintendent or other person responsible for construction and demolition operations is responsible for maintaining and policing fire-fighter access routes, as provided in Section 3308. Fire apparatus must be able to get within 100' of any installed fire department connection supplying water to temporary or permanent fire protection systems. Access roads must support the weight of the heaviest vehicle that might respond. The weight requirements are available from the local fire department. All-weather sur-faces are required because the responding fire department should not waste time moving snow or trying to get out of mud.
3. IFC CHAPTER 33 FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. This section of fire will be enforced. Please make sure the project is maintaining all aspects of this chapter during construction.
4. Fire Hydrants are required. Hydrants are required for this project. They shall be protected with bollards if susceptible to vehicle damage.
5. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
6. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
7. Fire Sprinklers Required. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level III or better in Auto Sprinkler Layout. There needs to be a hydrant within 100' of the FDC.. FDC is required to have KNOX Locking Caps. ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.

8. Post Indicator Valve with Tamper May Be Required. If there is no designated fire riser room with a direct access door from the outside. There shall be either a wall mounted P.I.V (OS&Y) or a typical P.I.V placed a minimum distance of 40' from the building with a tamper switch. Any new or existing P.I.V will be required to be identified as to which riser or part of the system they shut off.
9. Fire Department Connection (FDC): The FDC is required as part of a water-based suppression system as the auxiliary water supply. The FDC will give the fire department the capability to supply additional pressure necessary to the automatic fire sprinkler system and the standpipe system. The FDC will be located at the entrance to the building and will be within 100' of the fire hydrant. The FDC will be located to ensure connected hoses which supply the system will not obstruct access to the buildings for other fire apparatus. The final location of FDC will be approved by the Fire Marshal.
10. Fire Alarm Required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level III or better in Fire Alarm Systems. ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
11. Emergency Responder Radio Coverage Required. Emergency responder radio coverage shall be provided in accordance with the IFC 510. Before a Fire Safety Codes Release (Certificate of Occupancy) is issued, compliance with International Fire Code Section 510 is required by means of an Emergency Responder Radio Coverage System (ERRCS) installed, tested, and accepted OR through field testing by an FCC licensed radio contractor to verify that an ERRCS is not warranted. A critical element to compliance with this standard is preliminary testing once the building is dried-in. This will need to be looked at in the existing building as well.
12. Knox Boxes Required. Fire Department "Knox Brand" lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room (at a height of 5' to the top of the box. Lock box purchase can be arranged by the General Contractor.
13. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75' of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than 5' above the floor.
14. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.
15. Plan approval or review shall not, be construed to relieve from or lessen the responsibility of any person designing, owning, operating or controlling any building. Damages to persons or property caused by defects, fire, improper

installation, or other emergency conditions that occur in or on the building property shall not hold the Draper City Fire Department as assuming any liability.

EXHIBIT B
VICINITY MAP



APA D3 Auditorium Site Plan Amendment
431 W. 11915 South

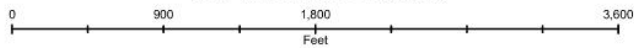


EXHIBIT C
AERIAL MAP



APA D3 Auditorium Site Plan Amendment
431 W. 11915 South

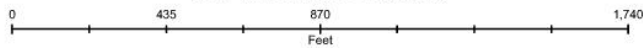
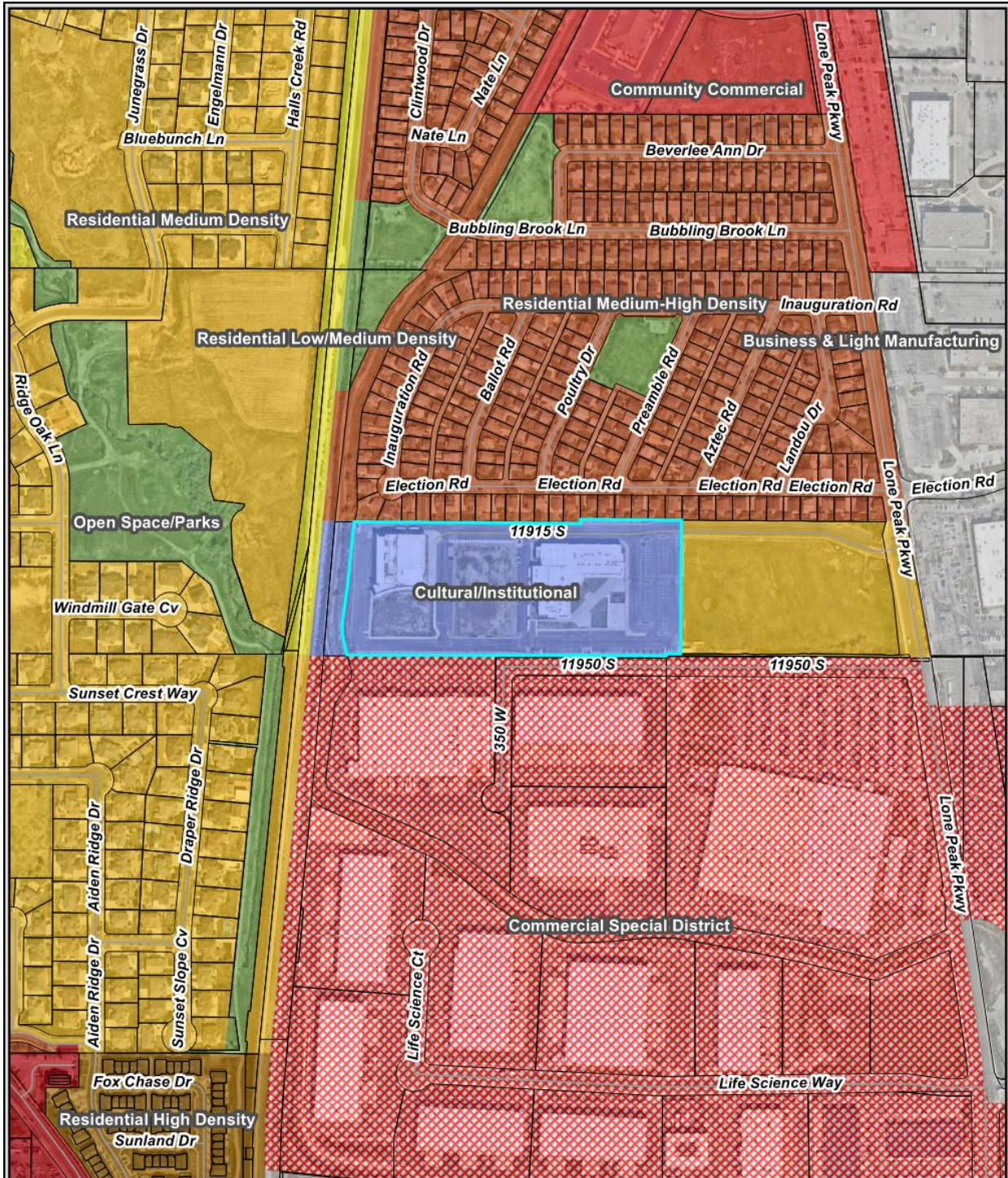


EXHIBIT D LAND USE MAP



APA D3 Auditorium Site Plan Amendment
431 W. 11915 South

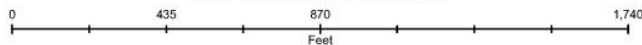
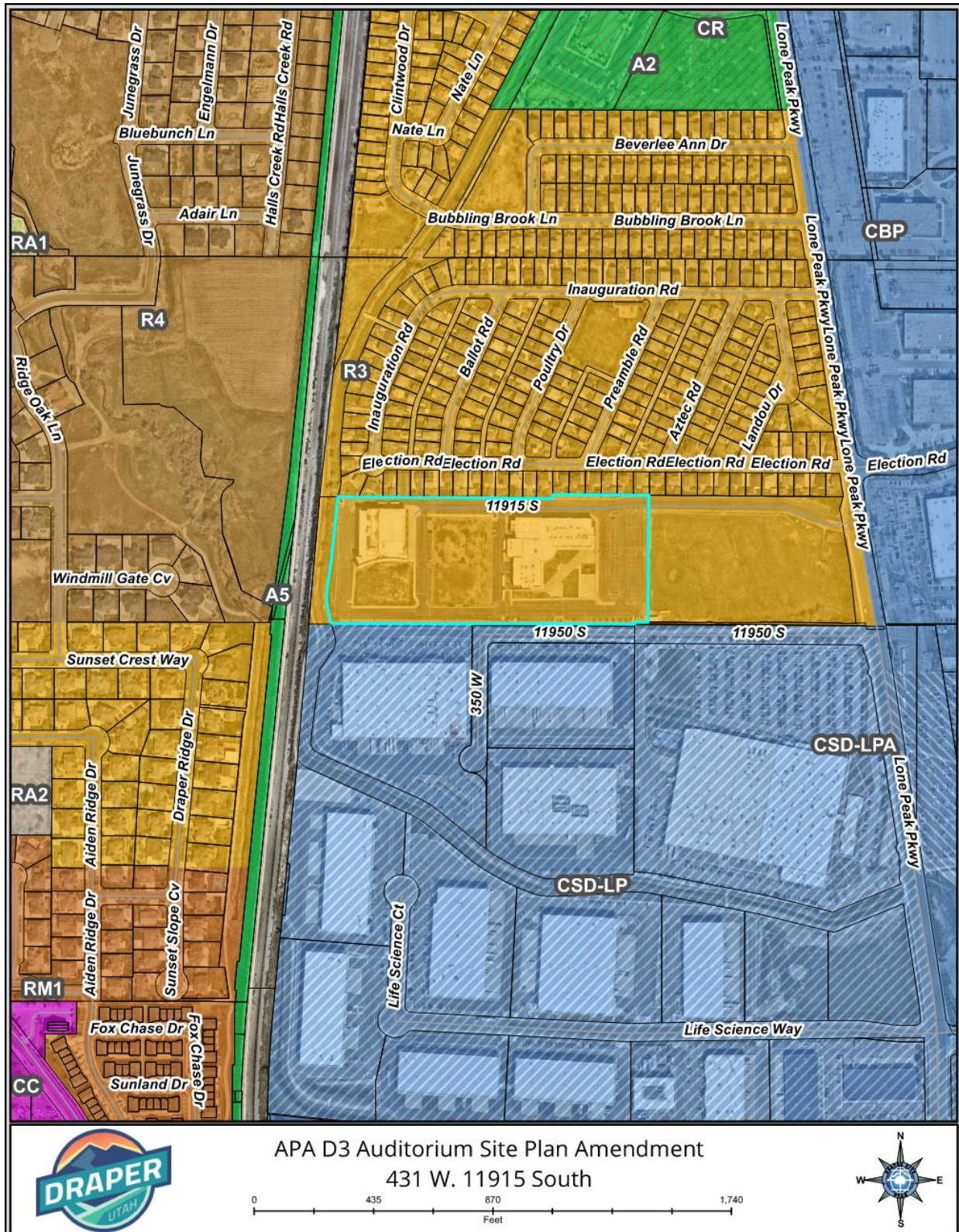


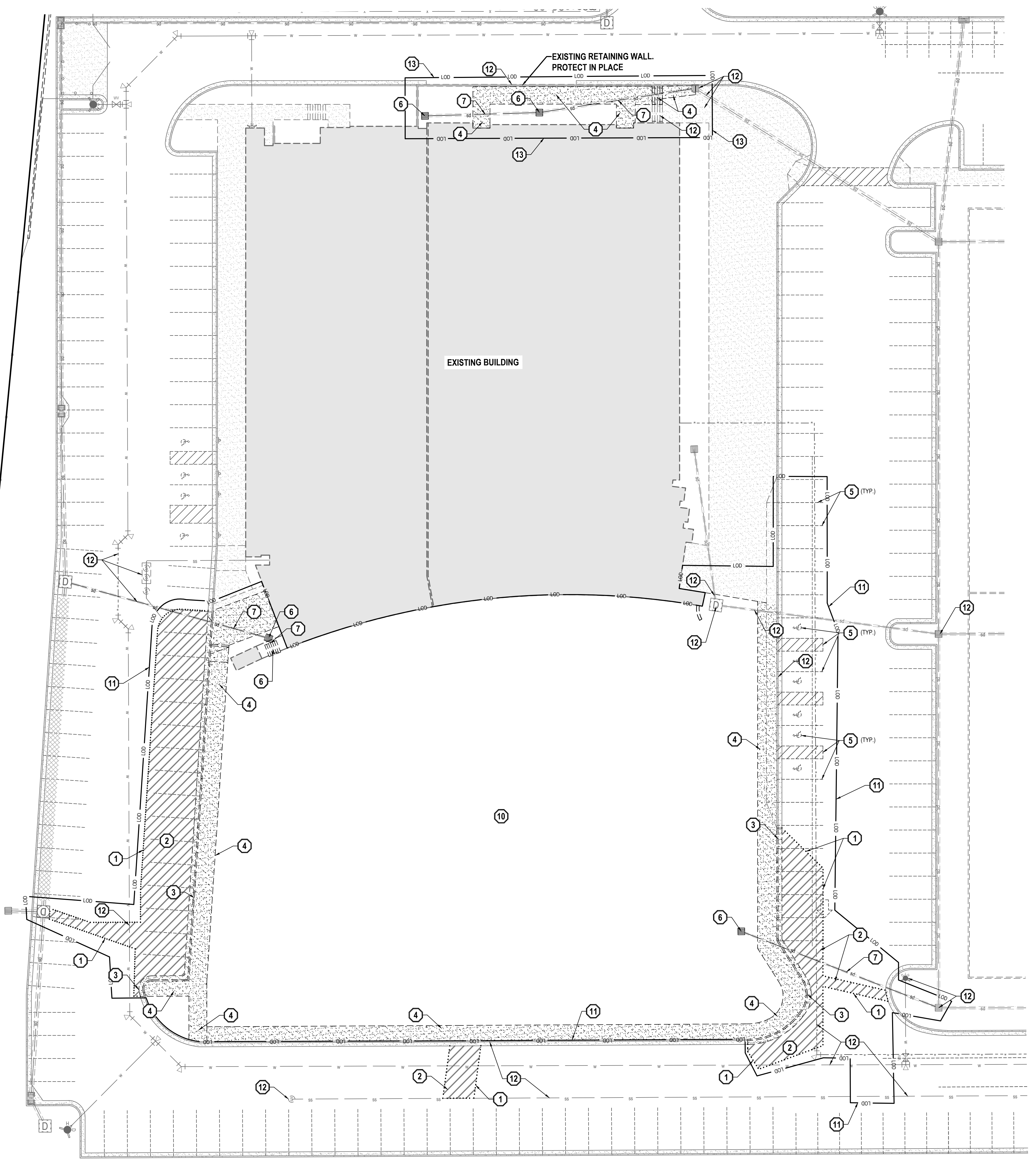
EXHIBIT E ZONING MAP



**EXHIBIT F
DEVELOPMENT PLANS**

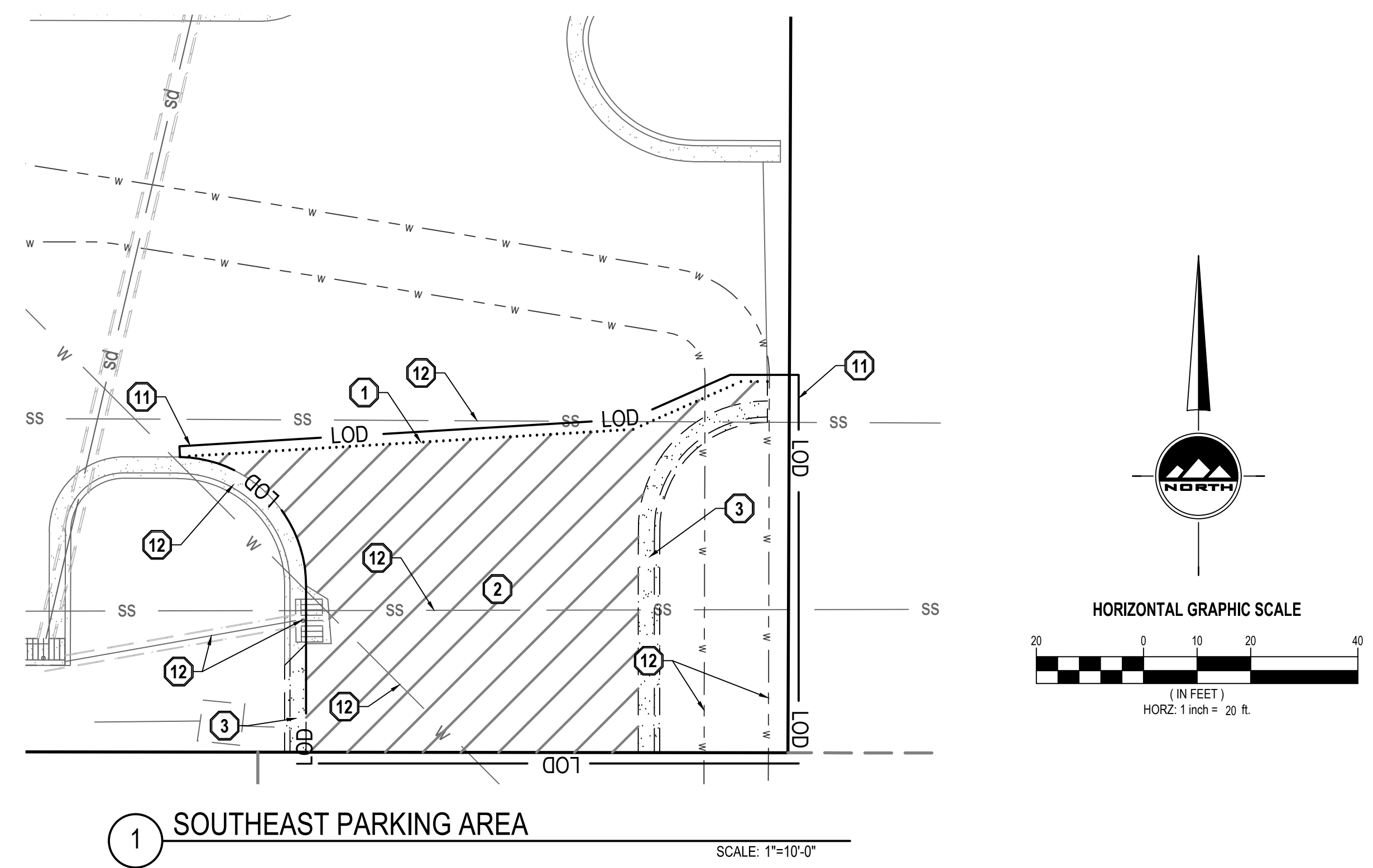
CALL BUESTAKES
@ 1800482-4111 AT LEAST 48
HOURS PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
NORTH QUARTER CORNER
SECTION 25
T8S, R1W
SLB&M
DRAPER, SALT LAKE COUNTY, UTAH
ELEVATION = 4433.81'



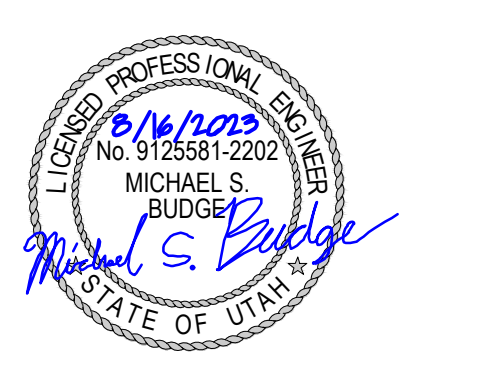
- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR OWNITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SO, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
 5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
 6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
 - 2 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
 - 3 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
 - 4 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK.
 - 5 REMOVE EXISTING PAVEMENT MARKINGS FROM EXISTING ASPHALT PAVEMENT BY GRINDING OR WATER BLASTING, OR APPROVED EQUAL, TO MINIMIZE SURFACE SCARRING.
 - 6 REMOVE AND PROPERLY DISPOSE OF EXISTING STORM DRAIN CATCH BASIN.
 - 7 REMOVE AND PROPERLY DISPOSE OF EXISTING STORM DRAIN PIPE.
 - 8 REMOVE AND PROPERLY DISPOSE OF EXISTING WATER LINE.
 - 9 REMOVE AND RELOCATE EXISTING FIRE HYDRANT.
 - 10 REMOVE EXISTING LANDSCAPING IN THIS AREA. RETROFIT AND REPAIR IRRIGATION SYSTEM AS NEEDED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - 11 LIMIT OF DISTURBANCE - NEW AUDITORIUM PROJECT.
 - 12 PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).
 - 13 LIMIT OF DISTURBANCE - GYM STORAGE ADDITION PROJECT (NOTE: ALL WORK WITHIN THIS LIMIT OF DISTURBANCE LINE IS UNDER SEPARATE CONTRACT).



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801.255.0529

AMERICAN PREPARATORY ACADEMY
D3 CAMPUS NEW AUDITORIUM

431 WEST 11915 SOUTH
DRAPER, UTAH 84020

NO.	DATE	DESCRIPTION
1	07/29/23	SITE PLAN AMENDMENT APPLICATION

ISSUED	NO.	DATE	DESCRIPTION
1	07/29/23	07/29/23	SITE PLAN AMENDMENT APPLICATION

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C-100

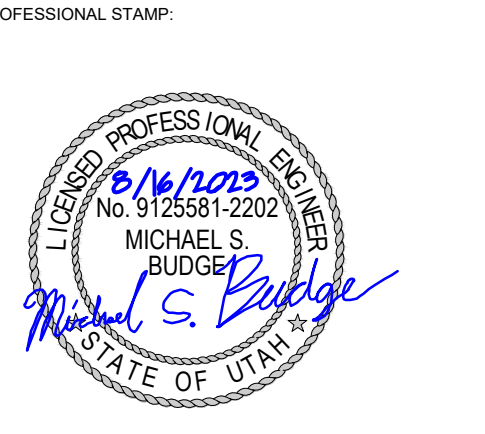
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BENCHMARK
 NORTH QUARTER CORNER
 SECTION 26
 T3S, R1W
 SLBAM
 DRAPER, SALT LAKE COUNTY, UTAH
 ELEVATION = 4433.81'

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 elm@elmgrouppinc.com



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 45 West 10000 South, Suite 500
 Sandy, UT 84070
 www.ensignutah.com
 801.255.0529

PROJECT NAME:

**AMERICAN PREPARATORY ACADEMY
 D3 CAMPUS NEW AUDITORIUM**
 431 WEST 11915 SOUTH
 DRAPER, UTAH 84020

REVISIONS

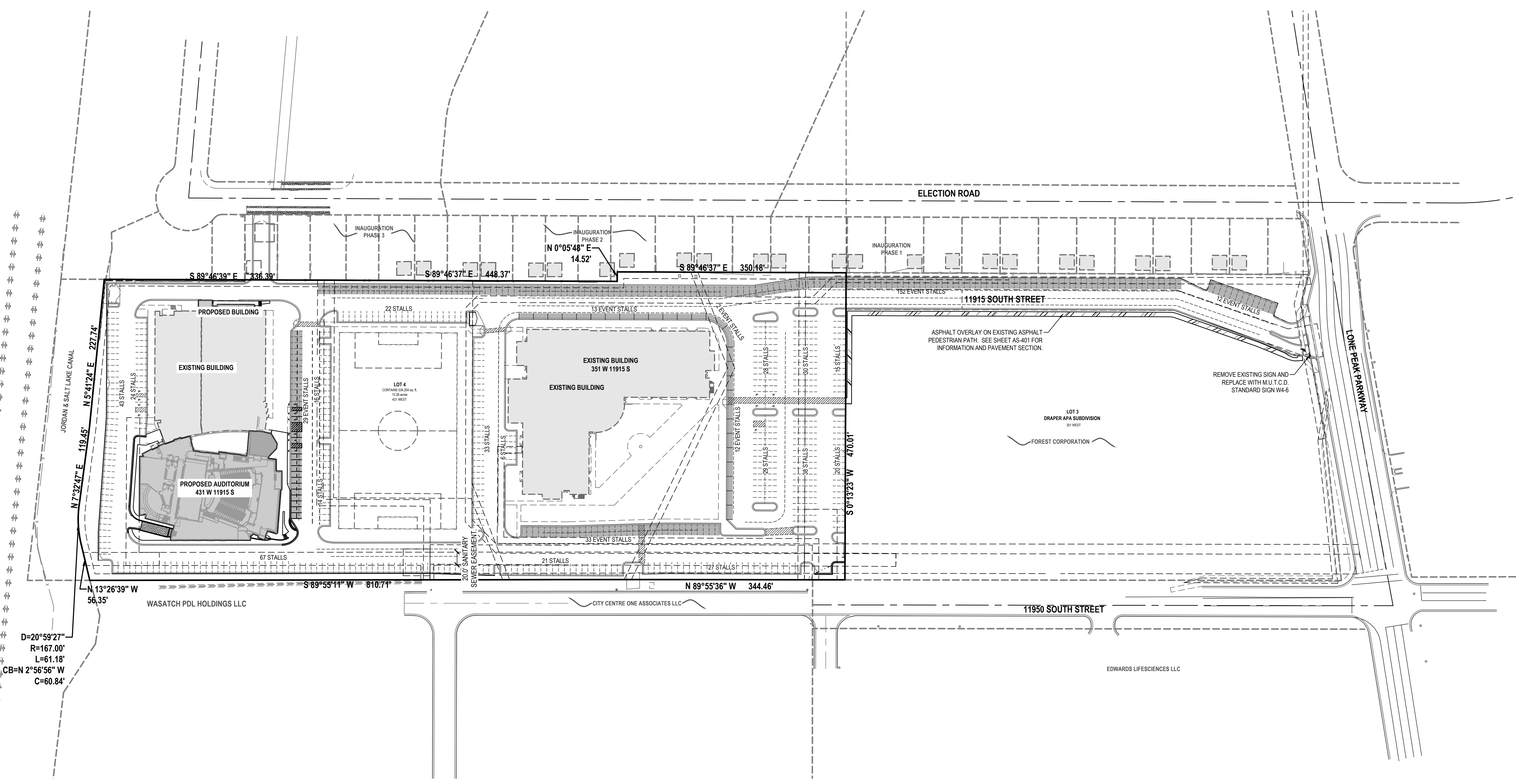
NO.	DATE	DESCRIPTION
1	07/29/23	SITE PLAN AMENDMENT APPLICATION

ISSUED:
 NO. DATE DESCRIPTION
 1 07/29/23 SITE PLAN AMENDMENT APPLICATION

SHEET TITLE:
OVERALL SITE PLAN
 SHEET NUMBER:
C-200

File Path

Last Plotted: 8/16/2023 2:09 PM



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 R=167.00'
 L=61.18'
 CB=N 2°56'56" W
 C=60.84'

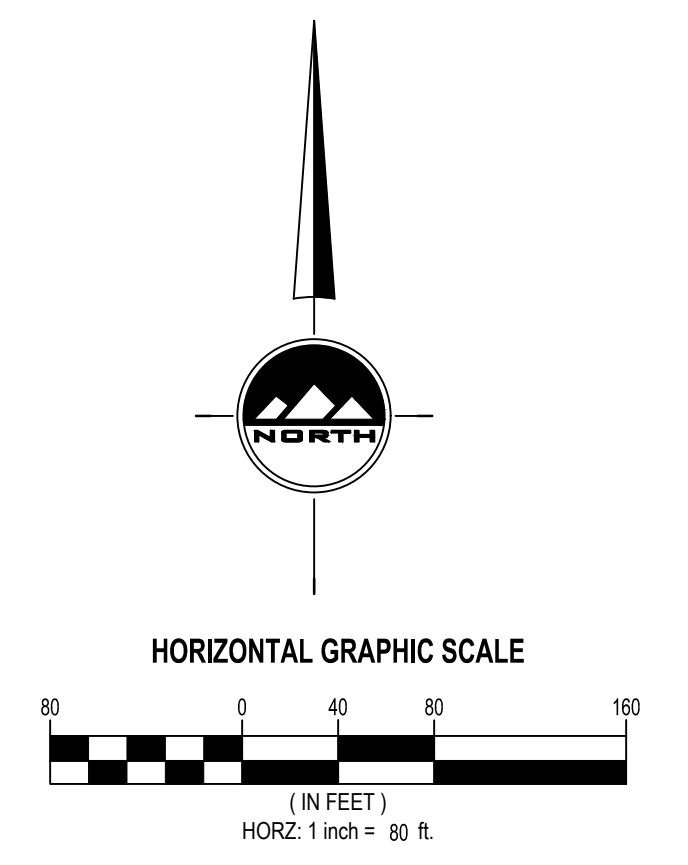
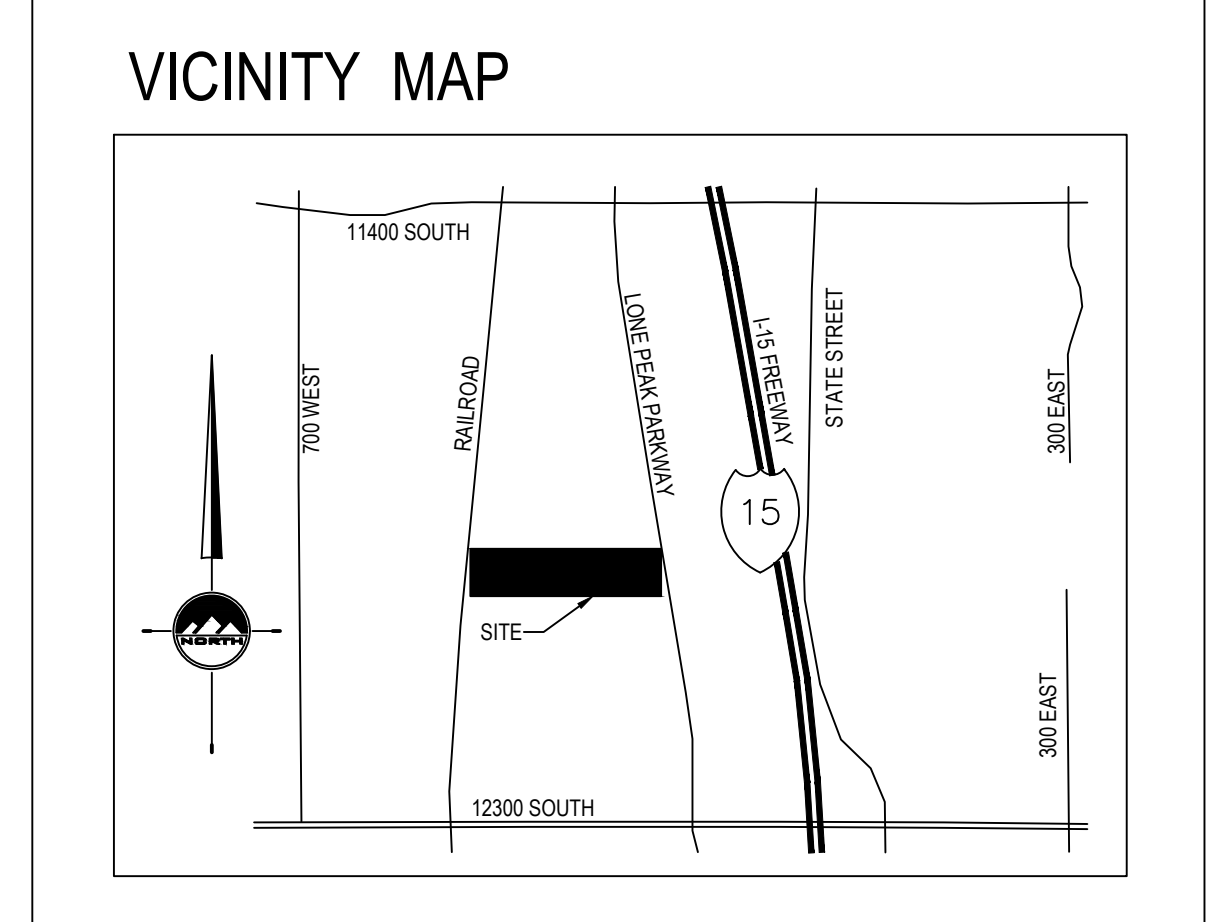
SITE SUMMARY TABLE

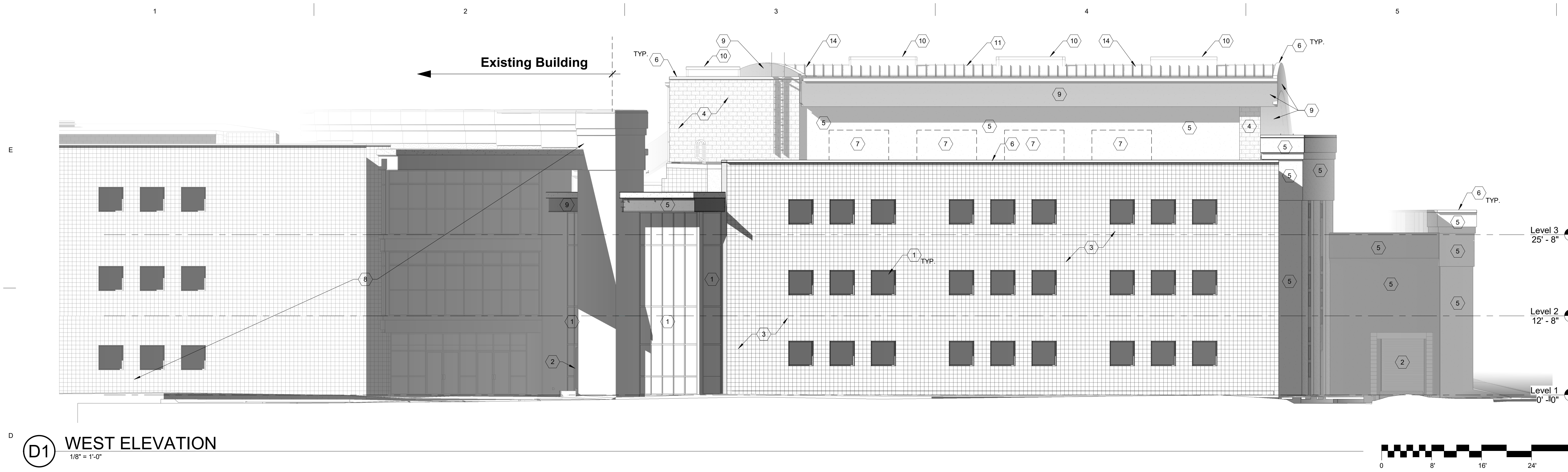
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	312,286	38%
ROOF	121,296	14%
LANDSCAPING	155,164	18%
UNDEVELOPED	287,177	33%
TOTAL SITE	875,923	100%

PARKING DATA TABLE

STANDARD NON-EVENT STALLS	430
EVENT STALLS	253
TOTAL STALLS	683

NOTE: 15 ADA COMPLIANT STALLS INCLUDED IN THE ABOVE





- ### KEYED NOTES
1. ALUMINUM FRAMED STOREFRONT / WINDOW SYSTEM / CURTAIN WALL - SEE WINDOW SCHEDULE AND SPECIFICATIONS.
 2. DOOR - SEE DOOR SCHEDULE.
 3. SEALED, COLORED, SINGLE KERF MASONRY (CMU) WALL - COORDINATE WITH BUILDING SECTIONS, WALL SECTIONS AND STRUCTURAL DRAWINGS.
 4. SEALED, COLORED, SPLIT FACE MASONRY (CMU) WALL - COORDINATE WITH BUILDING SECTIONS, WALL SECTIONS AND STRUCTURAL DRAWINGS.
 5. EIFS WALL SYSTEM - SEE BUILDING SECTIONS, WALL SECTIONS AND SPEC. NOTE THAT THERE WILL BE MULTIPLE COLORS - COLORS WILL BE DETERMINED DURING THE SUBMITTAL PROCESS.
 6. PREFINISHED METAL PARAPET CAP / COPING.
 7. ROOFTOP MECHANICAL UNIT / EQUIPMENT - APPROX. LOCATION - SEE MECHANICAL DRAWINGS.
 8. EXISTING BUILDING TO REMAIN - PROTECT FROM DAMAGE.
 9. EIFS FASCIA / SOFFIT - SEE WALL SECTIONS.
 10. ROOFTOP SMOKE VENTS - SEE MECHANICAL DRAWINGS.
 11. CONCRETE COLUMN - SEE DETAILS AND STRUCTURAL DRAWINGS.
 12. GUARD / HAND RAIL SYSTEM - SEE PLANS AND ENLARGED SECTIONS / DETAILS.
 13. CONCRETE "SHELVE/SEAT" - SEE SECTIONS, DETAILS, AND STRUCTURAL DRAWINGS.
 14. PREFINISHED METAL STANDING SEAM ROOF.
 15. FENCE - SEE SITE PLAN AND SPEC.
 16. CONCRETE RETAINING WALL WITH INTEGRAL COLOR - SEE SPEC.

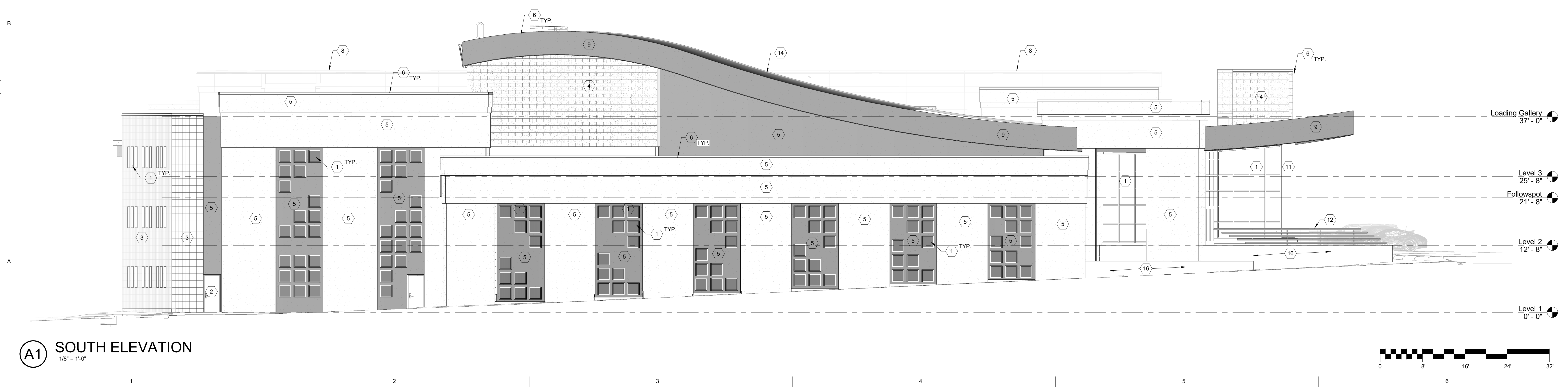
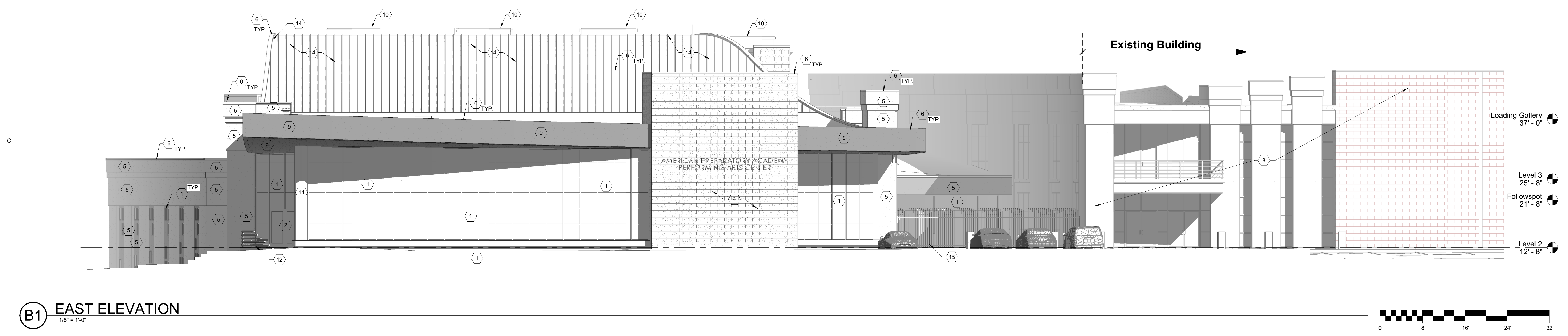
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PROFESSIONAL STAMP:
EDWARD L. MCDONALD
No. 5488157-0301
06/29/2023
LICENSED ARCHITECT

CONSULTANT INFORMATION:
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PROJECT NAME:
**AMERICAN PREPARATORY ACADEMY
D3 CAMPUS NEW AUDITORIUM**
431 WEST 11915 SOUTH
DRAPER, UTAH 84020



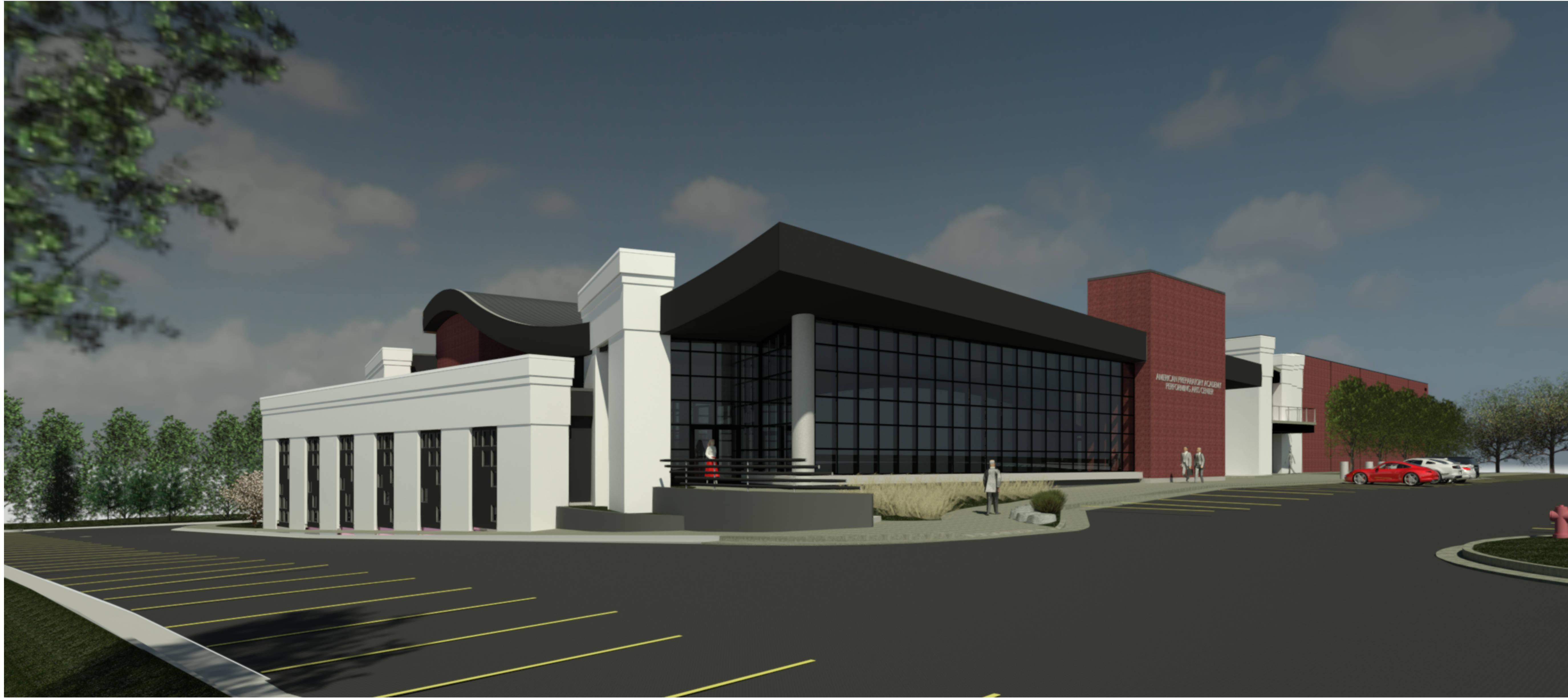
NO.	DATE	DESCRIPTION
1	08/24/23	SCHEMATIC DESIGN
2	08/29/23	SITE PLAN AMENDMENT APPLICATION

PROJECT #: 23-40
DRAWN BY: ELM / GTE
CHECKED BY: ELM
DESIGNED BY: ELM

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
AE-201

Autodesk Docs/23-40 APA D3 Auditorium/23-40 ARCH (R-23)/v1
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VIEW FROM SOUTH EAST



VIEW FROM SOUTH WEST

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REVISIONS:

NO.	DATE	DESCRIPTION

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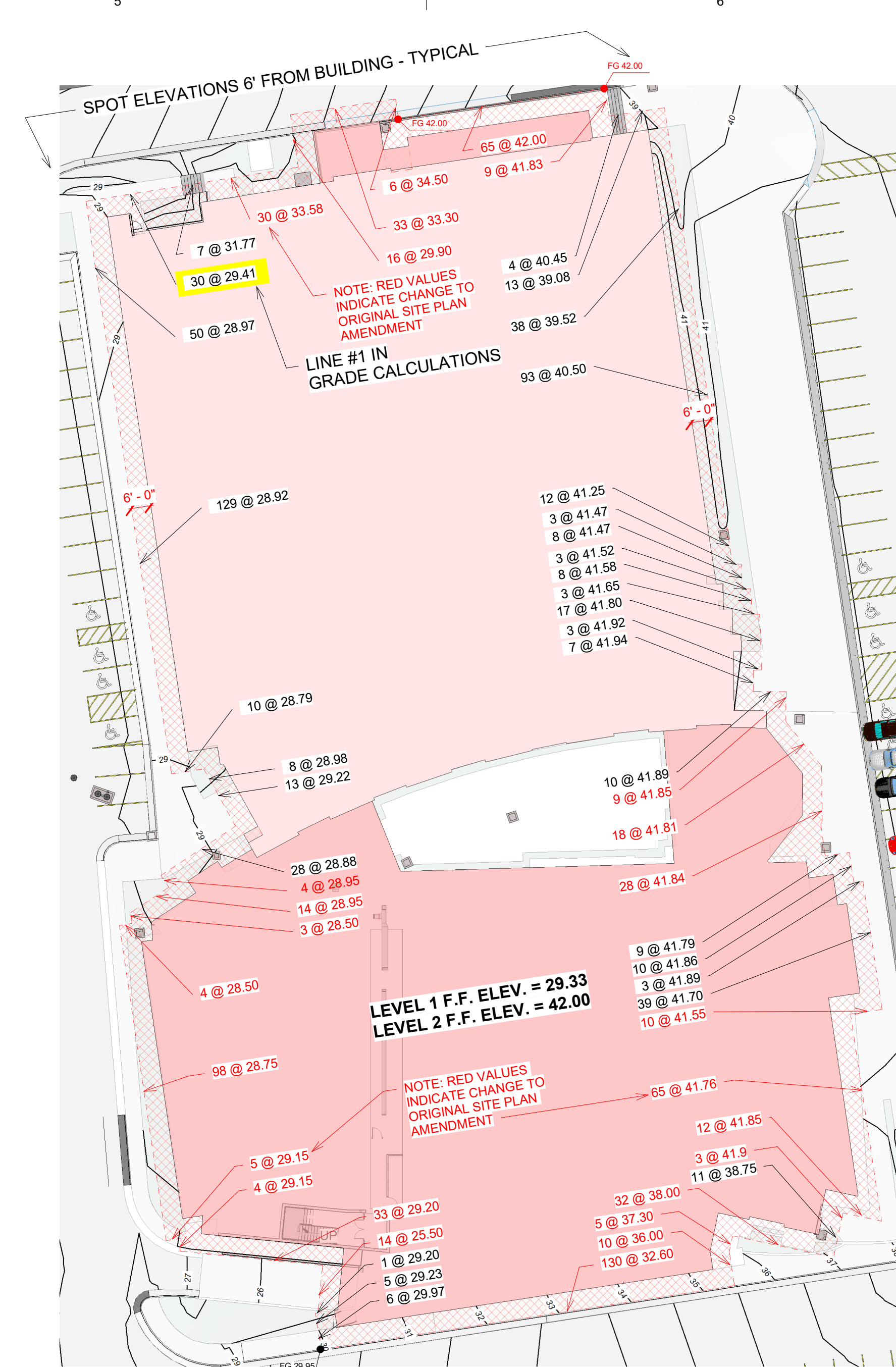
PROJECT #: 23-40
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DESIGNED BY: ELM

SHEET TITLE:
RENDERINGS

SHEET NUMBER:
AE-905

REVISIONS

NO.	DATE	DESCRIPTION
1	06/24/23	SCHEMATIC DESIGN
2	06/29/23	SITE PLAN AMENDMENT APPLICATION



ELEVATIONS 6 FEET FROM BLDG PERIMETER
NOTE: ELEVATIONS IN PLAN ABOVE, AND SPREADSHEETS BELOW, ARE TRUNCATED (e.g., MAX ELEVATION = 70.62 = 4,270.62 ON CIVIL DRAWINGS)

GRADE PLANE

LENGTH	ELEVATION	ELEVATION
30	29.41	882.30
7	31.77	222.39
30	33.58	1057.40
16	29.9	478.40
33	33.3	1098.90
6	34.5	207.00
65	42	2730.00
9	41.83	376.47
4	40.45	161.80
13	39.08	508.04
38	39.52	1501.76
93	40.5	3766.50
12	41.25	495.00
3	41.47	124.41
8	41.47	331.76
3	41.52	124.56
8	41.58	332.64
3	41.65	124.95
17	41.8	710.60
3	41.82	125.76
7	41.94	293.58
10	41.89	418.90
9	41.85	376.65
18	41.81	752.58
28	41.84	1171.52
9	41.79	376.11
10	41.86	418.60
3	41.89	125.67
39	41.7	1626.30
4	41.55	415.50
12	41.85	502.20
4	41.9	125.70
11	38.75	426.25
32	38	1216.00
37	37.3	185.50
10	36	360.00
130	32.6	4238.00
5	29.87	178.82
5	29.23	146.15
1	29.2	292.00
25	25.5	357.00
33	29.2	963.60
4	29.15	116.60
9	28.75	145.50
98	28.75	2817.50
4	28.5	114.00
10	28.5	85.50
14	28.95	405.30
4	28.85	115.80
28	28.8	805.64
13	29.22	379.86
8	28.98	231.84
129	28.92	3730.68
50	28.97	1448.50

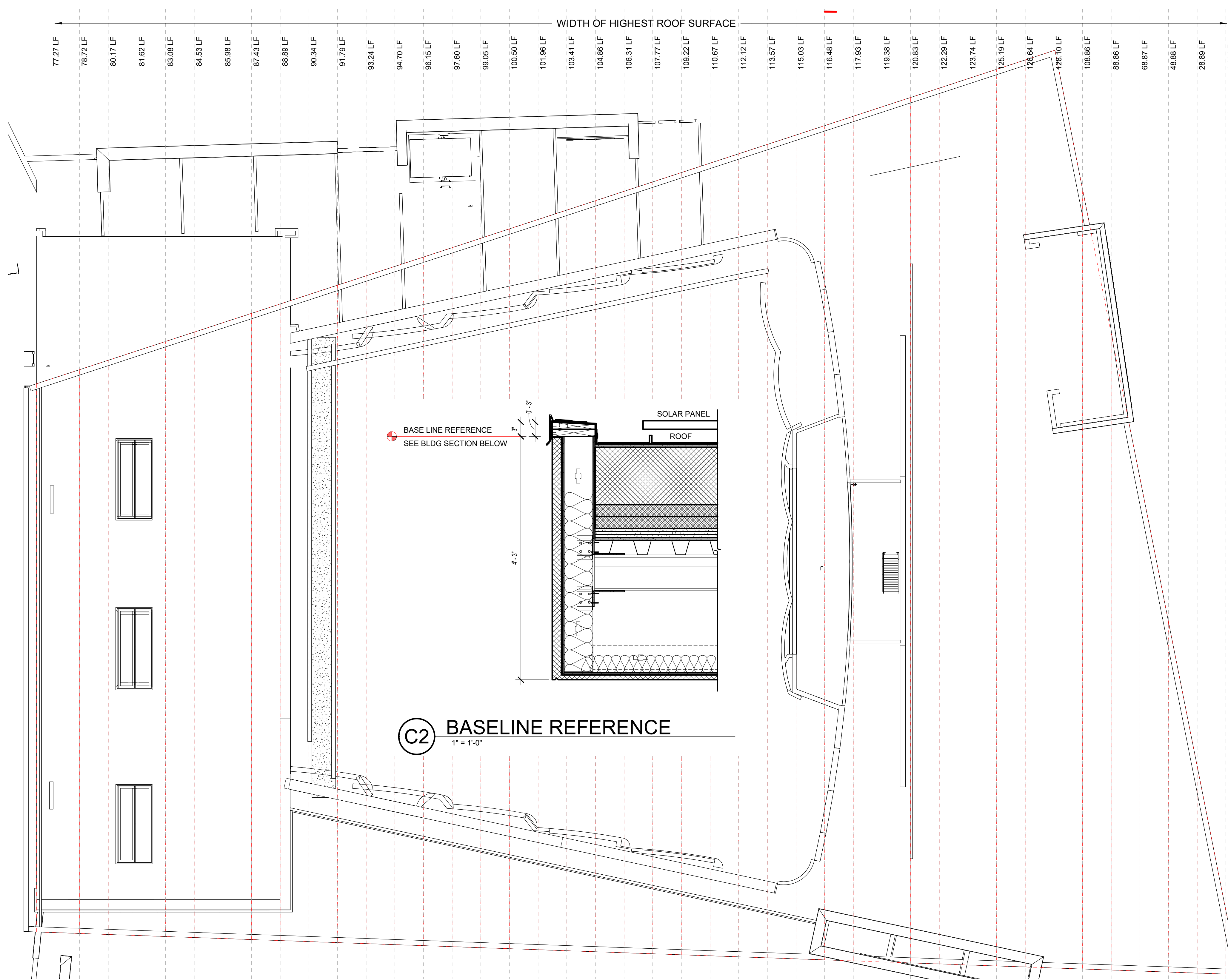
HIGHEST ROOF SURFACE

LENGTH	WIDTH	HEIGHT
38.86	77.27	3002.71 WEST WALL OF STAGE
39.52	78.72	3111.01
39.97	80.17	3204.39
40.21	81.62	3281.94
40.25	83.08	3343.97
40.09	84.53	3389.81
39.72	85.98	3415.13
39.14	87.43	3422.01
38.95	88.89	3408.93
37.35	90.34	3374.20
36.12	91.79	3315.45
34.76	93.24	3241.02
33.47	94.70	3169.61
32.25	96.15	3100.84
31.10	97.60	3035.36
30.03	99.05	2974.47
29.02	100.50	2916.51
28.08	101.96	2863.04
27.21	103.41	2813.79
26.41	104.86	2769.35
25.67	106.31	2728.38
25.00	107.77	2694.25
24.39	109.22	2663.88
23.85	110.67	2636.48
23.38	112.12	2621.37
22.96	113.57	2607.57
22.61	115.03	2600.83
22.33	116.48	2601.00
22.10	117.93	2606.25
21.94	119.38	2619.20
21.84	120.83	2638.93
21.83	122.29	2667.14
21.84	123.74	2702.48
21.93	125.19	2745.42
22.08	126.64	2796.21
22.30	128.10	2856.63
22.58	129.56	2926.06
22.92	131.01	2999.67
23.33	132.47	3076.74
23.80	133.92	3157.34
24.34	135.38	3240.18
24.94	136.83	3324.97

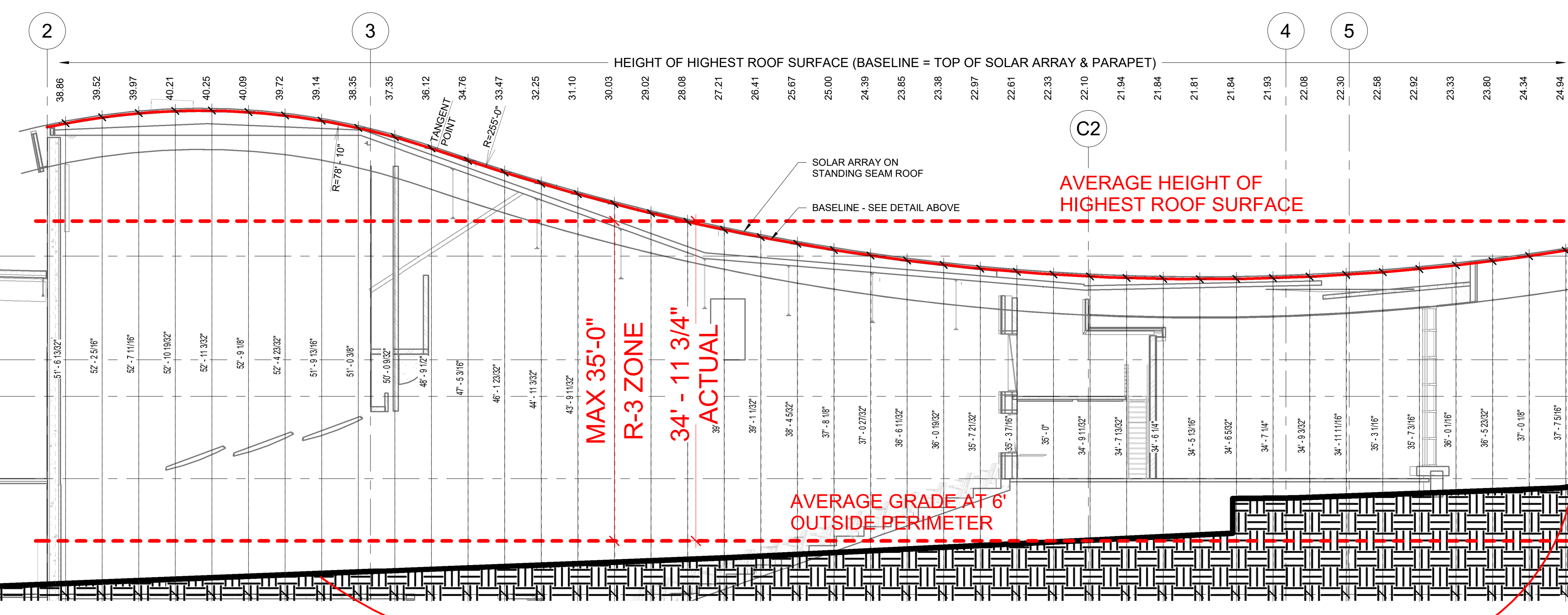
Table 9-10-3 Draper City Code
Max Building Height = 35 Feet
in the R-3 Zone

International Building Code 2018
Chapter 2 - Definitions
HEIGHT, BUILDING. The vertical distance from grade plane to the average height of the highest roof surface.

GRADE PLANE. A reference plane representing the average of finished ground level adjoining the building at exterior walls. Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line or, where the lot line is more than 6 feet (1829 mm) from the building, between the building and a point 6 feet (1829 mm) from the building.



C2 BASELINE REFERENCE
1" = 1'-0"



A1 AVERAGE HEIGHT OF HIGHEST ROOF
1/8" = 1'-0"

GRAPHIC INDICATION OF GRADE ALONG SOUTH SIDE 6' OUTSIDE OF BUILDING (NOTE: THIS SECTION CUT AT CENTER LINE OF AUDITORIUM)

LEVEL 2 (PER CIVIL DRAWINGS) =	42.00
AVERAGE GRADE ELEVATION 6' FROM BUILDING PERIMETER =	6.80
70.20 =	35.20