

Development land use designation for the subject property (Exhibit D). This category is characterized as follows:

Transit Station District

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Development within this land use category – often referred to as Transit Oriented Development – provides an alternative to standard, segregated zoning strategies • New development and zoning will be required to mix uses to support the ridership of transit and create unique walkable and bicycle friendly successful urban centers • Residential development densities and commercial floor area ratios within this district will be higher than those allowed in other parts of Draper City, and in some cases, significantly higher
LAND USE MIX	<ul style="list-style-type: none"> • Commercial • Residential • Public Uses • Office
DENSITY	<ul style="list-style-type: none"> • Density range: minimum 5-35 dwelling units per acre
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Transit Station District (TSD)
LOCATION	<ul style="list-style-type: none"> • Adjacent to and near fixed guideway rail systems operated by the Utah Transit Authority
OTHER CRITERIA	<ul style="list-style-type: none"> • In order to mitigate the concerns of higher density and development intensity, more stringent design guidelines, architectural requirements, landscaping quality, and public space amenities will be required to be incorporated into new zoning categories and specific development proposals

The property has been assigned the TSD zoning classification, supporting a mix of commercial uses including office (Exhibit E). According to Draper City Municipal Code (DCMC) Section 9-14-010 the purpose of the TSD zone is to *“promote transit oriented and transit supportive development in areas that are generally located near a commuter rail transit or rapid transit station and to maximize the flexibility of the development approval process so as to permit such development in a manner that is responsive to market demands and consistent with the purposes and objectives of the TSD.”* The TSD zoning designation is identified by the General Plan as a preferred zoning classification for the TSD land use designation. The property abuts TSD zoning in the south and west. To the north is a small area of DC (Destination Commercial) and to the east is the CSD-DPMU (Draper Point Mixed Use Commercial Special District).

Master Area Plan. Being assigned the TSD zoning classification, this property is subject to the terms of Chapter 9-14 of the DCMC. DCMC Section 9-14-060(B) of the chapter specifies that a Master Area Plan (MAP) must be submitted to the City, reviewed, and approved prior



to the application for any development project within the TSD zone. DCMC Section 9-14-060(A) states that the intent of the MAP submission and approval is to *“provide an applicant of large or phased projects (MAP Area) with a mechanism to obtain the City’s approval of a conceptual framework for such projects within the TSD. Public use spaces, proposed land uses, and specific design and development standards within the MAP Area shall be identified and a conceptual plan describing those elements of the MAP Area shall be part of the MAP. An approved MAP constitutes approval of a master plan that will guide future development within the MAP Area.”* The original MAP was adopted in June, 2017. The updated MAP with the design standards were adopted by the City Council in March, 2018. On May 4, 2020, the Zoning Administrator approved a minor amendment of the MAP which revised architectural standards for non-residential buildings, such as the clubhouse. The TSD zone has three levels of intensity for development. The subject property is located in Area 3 or the lowest intensity zone.

Site Plan Layout. The site is located along the east side of 600 West. Access to the site will be from one access points along 600 West. The site will be developed with a total of 174 apartments located in three buildings shown as Buildings A, B and C (Exhibit F). The three buildings all share a common area with several amenities and parking has been provided along the perimeter of all three buildings. Amenities include a pool and spa, cabana, pickle ball court and a dog park. Site access will be from a central drive aisle running east-west from 600 West to the eastern property line. The subdivision plat included a cross access easement along the central drive aisle in favor of all the lots within the subdivision and the properties to the east.

Landscaping. The applicant has provided a landscape plan which complies with the standards of the TSD zone and the MAP. The landscape plan shows defined entrances, landscape throughout the project and a variety of tree, shrubs and groundcovers. The site contains a total of 115,434 square feet of landscaping providing a total of approximately 40.8% (Exhibit F). The landscaping proposed includes both open space for the development. The proposed project meets the minimum landscaping requirements.

Parking. According to the standards for the adopted MAP, parking for residential units shall be 1.68 stalls per dwelling unit, including guest parking. Based on the 174 units, the minimum amount of parking required is 292 parking stalls. The applicant has provided a total of 303 parking stalls with a mixture of covered and uncovered parking as well as some garage parking for some units. The adopted MAP encourages shared parking for different land uses such as office and residential. The site includes 23 parking spaces along the south side of the access road. These spaces will be shared with the future phases of office and retail uses. A cross access easement has been provided from 600 West to the residential and hotel development located to the east of this project on the approved minor subdivision plat. A shared parking easement is also included on the plat which guarantees the shared parking between the different uses. The subdivision plat will be recorded in the next couple weeks and the easements are a condition of approval on the

plat.

Architecture. The proposed apartment buildings are three stories of living units with the ground floor being private garages for the units located directly above them (Exhibit H). As noted, this site is located in Area 3 of the TSD zone and there no minimum height. The adopted MAP has 11 standards for residential buildings and the proposed project meets all of those guidelines. In addition, the minimum density for Area 3 of the TSD is five dwelling units per acre. The proposed project is approximately 26.9 dwelling units per acre and meets the minimum standards for the zone.

Lighting. The adopted MAP contains minimum standards for lighting of which there are six standards. The applicant has provided a lighting and photometric plan (Exhibit I) which has foot candle readings between .5 to 4.0 and light poles that do not exceed 30 feet in height. Low level bollard lighting has been provided for the internal pedestrian walkways.

Criteria for Approval. The criteria for review and potential approval of a Commercial Site Plan request is found in Sections 9-14-090(E) of the DCMC. This section depicts the standard of review for such requests as:

- E. City Approval Criteria: Site plan and conditional use applications shall be reviewed for consistency with this chapter and an approved MAP, and upon a determination of such consistency, which determination shall not be unreasonably withheld or delayed, shall be approved pursuant to subsection B of this section. Notwithstanding the foregoing, any such approval may be conditioned upon the applicant's providing reasonable evidence to the city that such on site or off site infrastructure improvements or facilities as the city reasonably determines are necessary to service the applicable portion of the MAP area have been installed or will be installed in connection with the development of the applicable portion of the MAP area.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan submission. Comments from the Division, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan submission. Comments from the Division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions has completed their review of the Site Plan submission. Comments from the Division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire has completed their review of the Site Plan

submission. Comments from the Fire Marshal, if any, can be found in Exhibit A.

Legal Review. The Draper City Attorney has completed their review of the Site Plan submission. Comments from the Division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff recommends that the Zoning Administrator review the request and make a decision based on the findings listed below and the criteria for approval as listed within the staff report.

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. Submit an update to the city's discharge permit to Corner Canyon Creek with development discharge with Salt Lake County Flood Control. The Salt Lake County Flood Control Permit shall be submitted prior to issuance of the Land Disturbance Permit.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development plans are consistent with DCMC Chapter 9-14 and the approved Master Area Plan.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Division

Draper City Building Division

Draper City Fire Department

Draper City Planning Division

Draper City Legal Counsel

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

No additional comments received.

Building Division Review.

No additional comments received.

Engineering and Public Works Divisions Review.

1. Stormwater Maintenance Plan and Agreement are now required for every private storm drainage system, per DCMC 16-2-170. The maintenance agreement is a condition of approval; it is required to be recorded and returned to the city prior to issuance of the Land Disturbance Permit for construction of the site. Stormwater maintenance plan received with the second submittal. No comments received on maintenance plan. This requirement is satisfied. Original executed agreement is required after site plan approval as part of the LDP.
2. Provide service letter from South Valley Sewer District (SVSD) per DCMC 9-5-090(D)(1)(d)(3)(E) and DCMC 17-3-030(I).
3. Complete construction drawings, addressing all redlines and comments, are required for Land Disturbance Permit issuance, per DCMC 9-5-090(D)(1)(d).
4. Retaining walls are to comply with DCMC 9-27-085. Retaining walls are not reviewed or approved with this review and approval process.
5. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance.
6. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division.
7. Drainage Plan (C-203) shows 24-inch diameter pipes from control structure where detail 10 on C-501 shows 18-inch diameter pipes. Clarify.
8. Move connection point to 16-inch waterline northward so the master meter is inline with the tap. The fire line can then bend to the private drive isles once across the sidewalk. The future meter vault and stub through the vault will be the only connect with a bend between the tap and the vault.
9. Fire line is extended east to adjacent development. Written permission is required for connection and construction to be completed on adjacent site. No adjacent owner written permission received with third submittal.

Fire Division Review.

1. Engineers Water Supply Analysis: Design team will provide to the Draper City Fire

Marshal an engineer's water supply analysis. The engineer's water supply analysis will identify the characteristics of the water supply for this area and will identify the existing and proposed water main size and location that will supply this site, and identify any dead-end pipe runs and the distance to the nearest circulating main. The engineer's water supply analysis will also identify the water supply capacity for fire flow and duration and reliability of the water supply system for this area. The design team will also identify the available fire flow at this site, measured at a residual pressure of 20 p.s.i. The engineer's water supply analysis will include all flow test data, including date and time of test, who conducted the test or supplied information, test elevation, static gauge pressure at no flow, flow rate with residual gauge pressure, hydrant butt coefficient, and location of test in relation to the hydraulic reference point of service to this facility.

2. Fire Department Access is required. An unobstructed minimum road width of 26' exclusive of the shoulders and a minimum height of 13'6" shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of 28'. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.
 - a. D103.6.1 Roads 20 to 26 feet in width. Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20 to 26 feet wide (6096 to 7925 mm).
 - (1) This section requires that parking be prohibited on both sides of narrower fire apparatus access roads. 20' (6096 mm) is the appropriate width needed for two average-size fire trucks to pass one another. If that width is reduced by parking even on one side, it will be potentially difficult for a fire department to undertake emergency operations in that area.
 - b. D103.6.2 Roads more than 26' in width. Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26' wide (7925 mm) and less than 32' wide (9754 mm).
 - (1) Because this width is more than sufficient for maneuvering at least two fire department vehicles by one another, parking would be allowed on one side.
3. D103.6 Signs. Where required by the fire code official, fire apparatus access roads shall be marked with permanent NO PARKING—FIRE LANE signs complying with Figure D103.6. Signs shall have a minimum dimension of 12" (305mm) wide by 18" (457mm) high and have red letters on a white reflective background. Signs shall be posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2. NO PARKING FIRE LANE signs shall be placed every 250 feet.
4. IFC SECTION 3310 ACCESS FOR FIRE FIGHTING DURING CONSTRUCTION
 - a. 3310.1.1 Required access. Approved vehicle access for firefighting shall be provided to all construction or demolition sites. Vehicle access shall be provided to within 100' (30 480 mm) of temporary or permanent fire

department connections. Either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions, shall provide vehicle access. Vehicle access shall be maintained until permanent fire apparatus access roads are available.

(1) Until permanent fire apparatus access roads are constructed, fire-fighting vehicle access is the means by which fire fighters gain access to the construction or demolition site and building for fire suppression and rescue operations. Such access is an integral component of the fire prevention program. The site superintendent or other person responsible for construction and demolition operations is responsible for maintaining and policing fire-fighter access routes, as provided in Section 3308. Fire apparatus must be able to get within 100' (30 480 mm) of any installed fire department connection supplying water to temporary or permanent fire protection systems. Access roads must support the weight of the heaviest vehicle that might respond. The weight requirements are available from the local fire department. All-weather surfaces are required because the responding fire department should not waste time moving snow or trying to get out of mud.

5. Fire Hydrants are required. Hydrants are required for this project. They shall be, protected with bollards if susceptible to vehicle damage. Fire Flow for each of the buildings shall be a minimum of 4,000 GPM @ 20 p.s.i. residual pressure, and this will require a minimum of four fire hydrants for each building within this project to deliver the calculated fire flow. With a full NFPA 13 fire sprinkler system the fire flow could be reduced by 50% which would be 2000gpm @ 20p.s.i. residual pressure which would allow a reduction of hydrants to require a minimum of two hydrants per building spaced at 350' spacing. The hydrants shown on the plans will need to be, adjusted to meet this requirement.
6. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
7. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
8. Fire Sprinklers Required. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, including manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level III or better in Auto Sprinkler Layout. There needs to be a hydrant within 100' of the FDC. FDC is required to have KNOX Locking Caps. ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.

9. Fire Department Connection (FDC): The FDC is required as part of a water-based suppression system as the auxiliary water supply. The FDC will give the fire department the capability to supply additional pressure necessary to the automatic fire sprinkler system and the standpipe system. The FDC will be located at the entrance to the building and will be within 100' of the fire hydrant. The FDC will be located to ensure connected hoses which supply the system will not obstruct access to the buildings for other fire apparatus. The final location of FDC will be approved by the Fire Marshal.
10. Standpipes May Be Required. These buildings will be required to have standpipes. This standpipe will be required to be pressure tested and a Contractor Certificate of Completion will be required to be filled out.
11. Fire Alarm Required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, including manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level III or better in Fire Alarm Systems. ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
12. Emergency Responder Radio Coverage Required. Emergency responder radio coverage shall be provided in accordance with the IFC 510. Before a Fire Safety Codes Release (Certificate of Occupancy) is issued, compliance with International Fire Code Section 510 is required by means of an Emergency Responder Radio Coverage System (ERRCS) installed, tested, and accepted OR through field testing by a FCC licensed radio contractor to verify that an ERRCS is not warranted. A critical element to compliance with this standard is preliminary testing once the building is dried-in.
13. Two-way communication will be Required. As per Section 1009.8 in the 2018 IFC.
14. Knox Boxes Required. Fire Department "Knox Brand" lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room, at a height of 5' feet to the top of the box. Lock box purchase can be arranged by the General Contractor.
15. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75' of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five feet above the floor.
16. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.
17. Plan approval or review shall not, be construed to relieve from or lessen the responsibility of any person designing, owning, operating or controlling any building. Damages to persons or property caused by defects, fire, improper installation, or other emergency conditions that occur in or on the building property

shall not hold the Draper City Fire Department as assuming any liability.

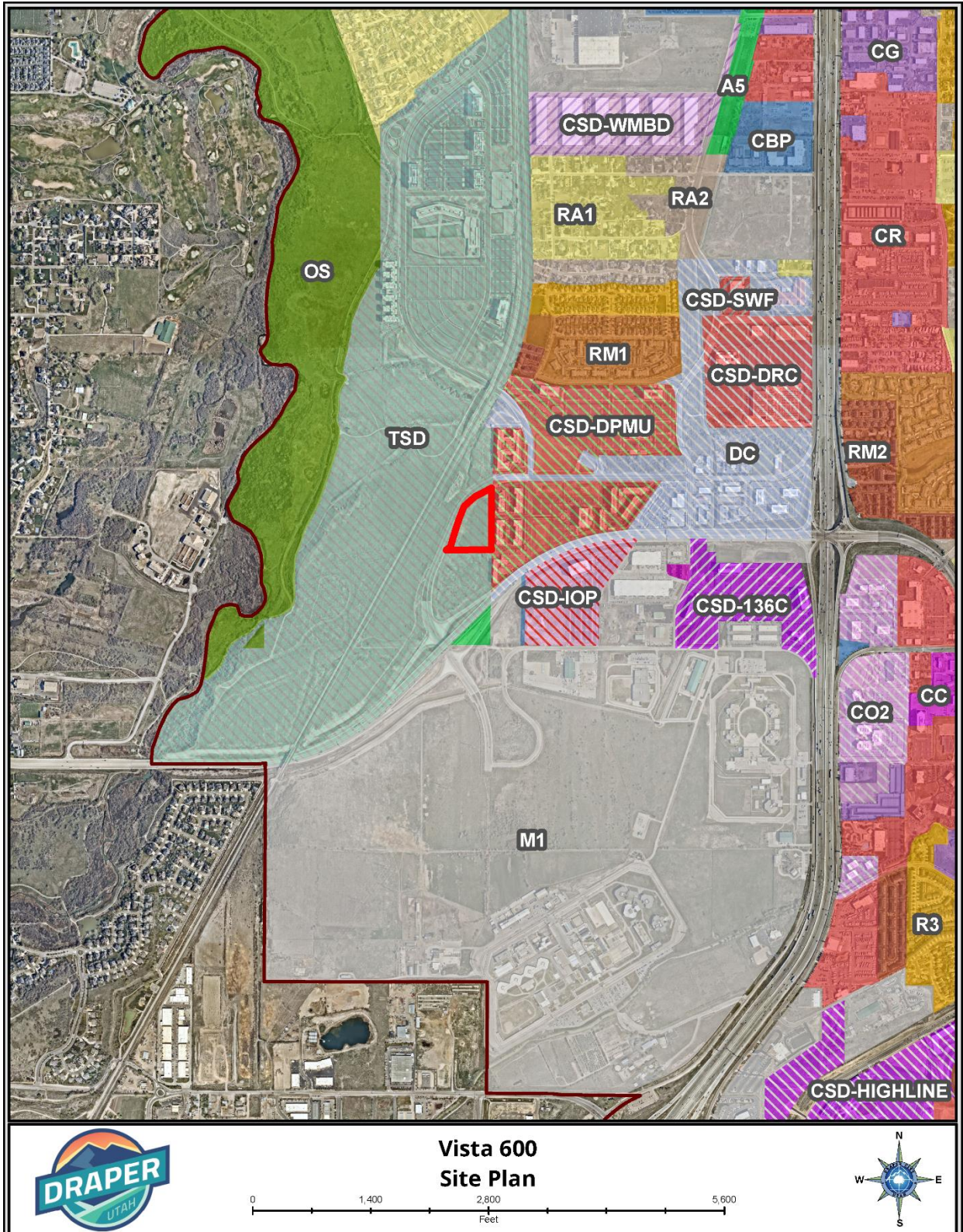
Geologic and Geohazard Review.

1. All organics, topsoil, undocumented fill and other deleterious material should be removed from below proposed building and pavement areas.
2. Footings for the buildings may be supported on suitable natural soils or on compacted structural fill extended to suitable natural soils.
3. Spot footings for columns should be supported on 1 foot of compacted structural fill if column loads are more than 180 kips, 2 feet of compacted structural fill if column loads are more than 300 kips, 3 feet of compacted structural fill if column loads are more than 400 kips, and 4 feet of compacted structural fill if column loads are more than 580 kips. Strip footings should be supported on 1.5 feet of compacted structural fill if wall loads exceed 10 kips per linear foot.
4. Footings for the structures may be designed using an allowable bearing capacity of 2,500 psf.
5. Footings should have a minimum width of 18 inches for strip footings and 24 inches for spot footings.
6. Footings susceptible to frost should be located a minimum depth of 30 inches. Minimum embedment of footings not susceptible to frost is 15 inches.
7. Seismic analysis of proposed structures at the site should be based on the following design spectral response accelerations:
 - a. 0.2 sec (short period) $S_{DS} = 1.167g$, and;
 - b. 1.0 sec (long period) $S_{D1} = 0.833g$.The spectral response acceleration values were factored based on Site Class = D-Default.
8. Floor slabs may be supported on suitable undisturbed natural soils or compacted structural fill extending to suitable undisturbed natural soils.
9. Floor slabs should be underlain by at least 4-inches of free draining gravel.
10. Type I or IA cement may be used for concrete placed in contact with natural soil.
11. Prior to the placement of concrete for footings, a letter from the geotechnical engineer should be obtained that indicates subgrade for footing and floor slab support was prepared in accordance with the geotechnical report and ready for the placement of concrete.
12. Gutters should discharge beyond the limits of backfill.
13. Surface drainage should slope away from the structure in all directions with a 5 percent grade for the first 10 feet in landscape areas and 2 percent in the first 10 feet for pavement or concrete flatwork adjacent to the structures.
14. All import materials should be approved by the Geotechnical Engineer.
15. All compaction for interior and exterior backfill adjacent to the building should be verified by the geotechnical engineer.

Legal Review.

No additional comments provided.

**EXHIBIT B
VICINITY MAP**



**Vista 600
Site Plan**

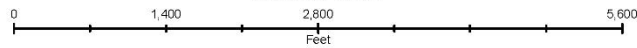


EXHIBIT C
AERIAL MAP



Vista 600
Site Plan

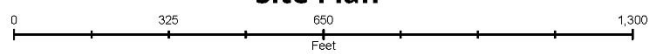


EXHIBIT D LAND USE MAP

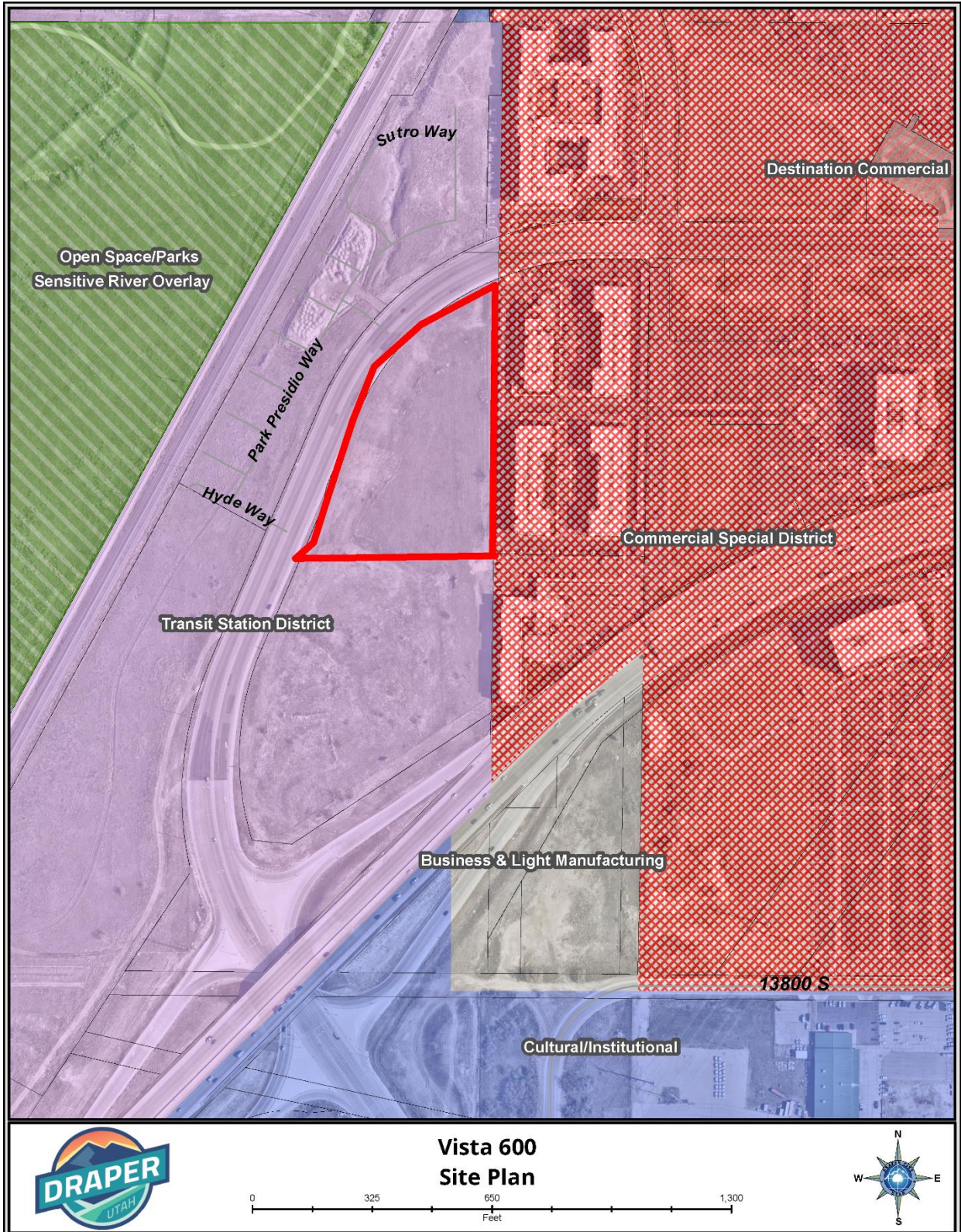
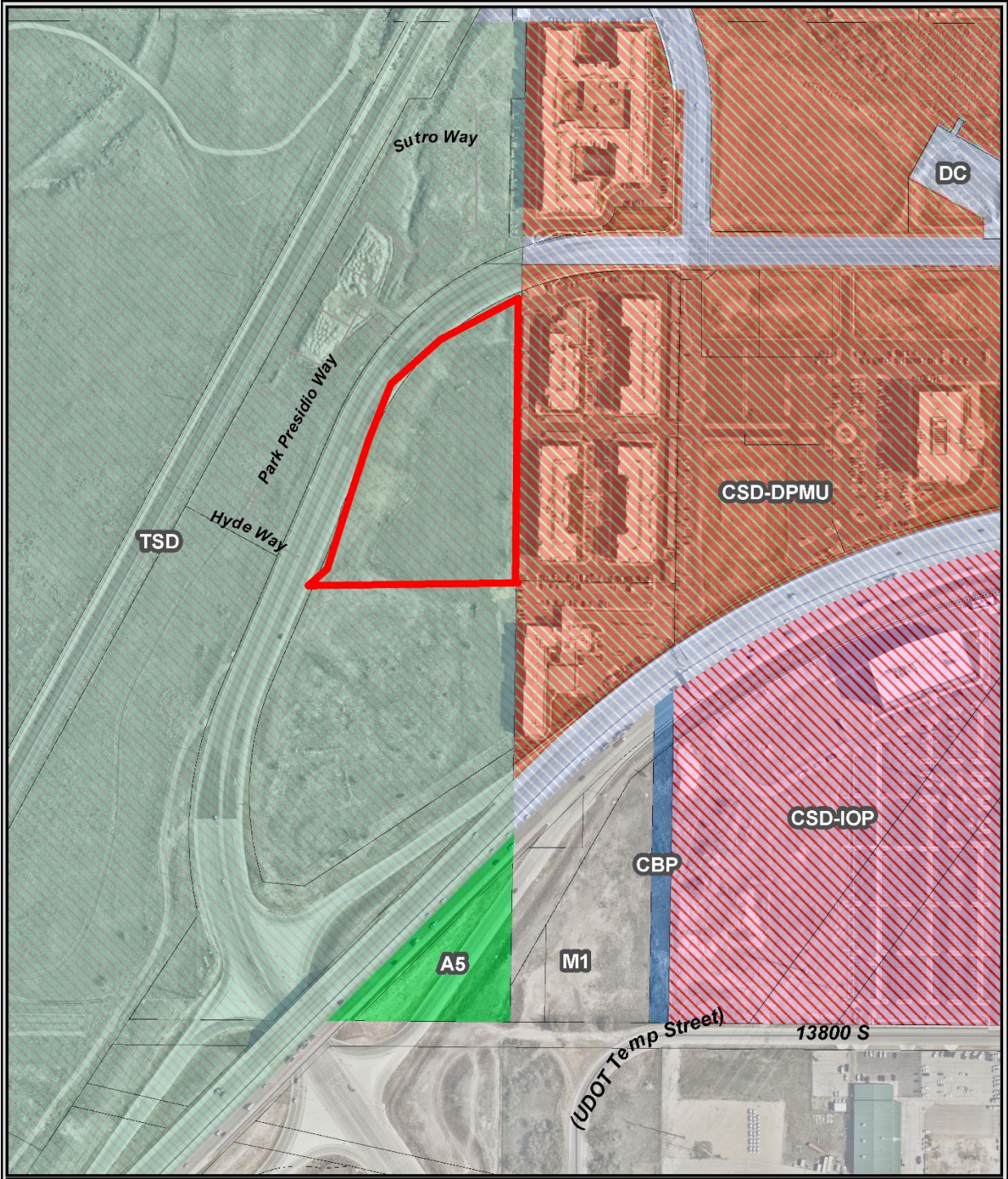
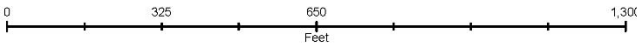


EXHIBIT E ZONING MAP



Vista 600
Site Plan



**EXHIBIT F
SITE PLAN**

811
Know what's below.
Call before you dig.

BENCHMARK
NORTHWEST CORNER OF SECTION 1,
TOWNSHIP 4 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4364.92

ENSIGN
THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

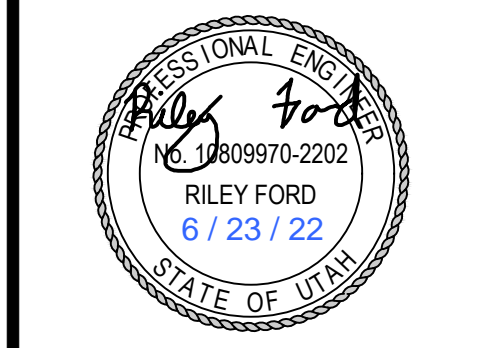
RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
WASATCH RESIDENTIAL GROUP
820 SOUTH STATE STREET
SALT LAKE CITY, UTAH 84111

CONTACT:
ADAM LANFORD
PHONE: 801-961-1184

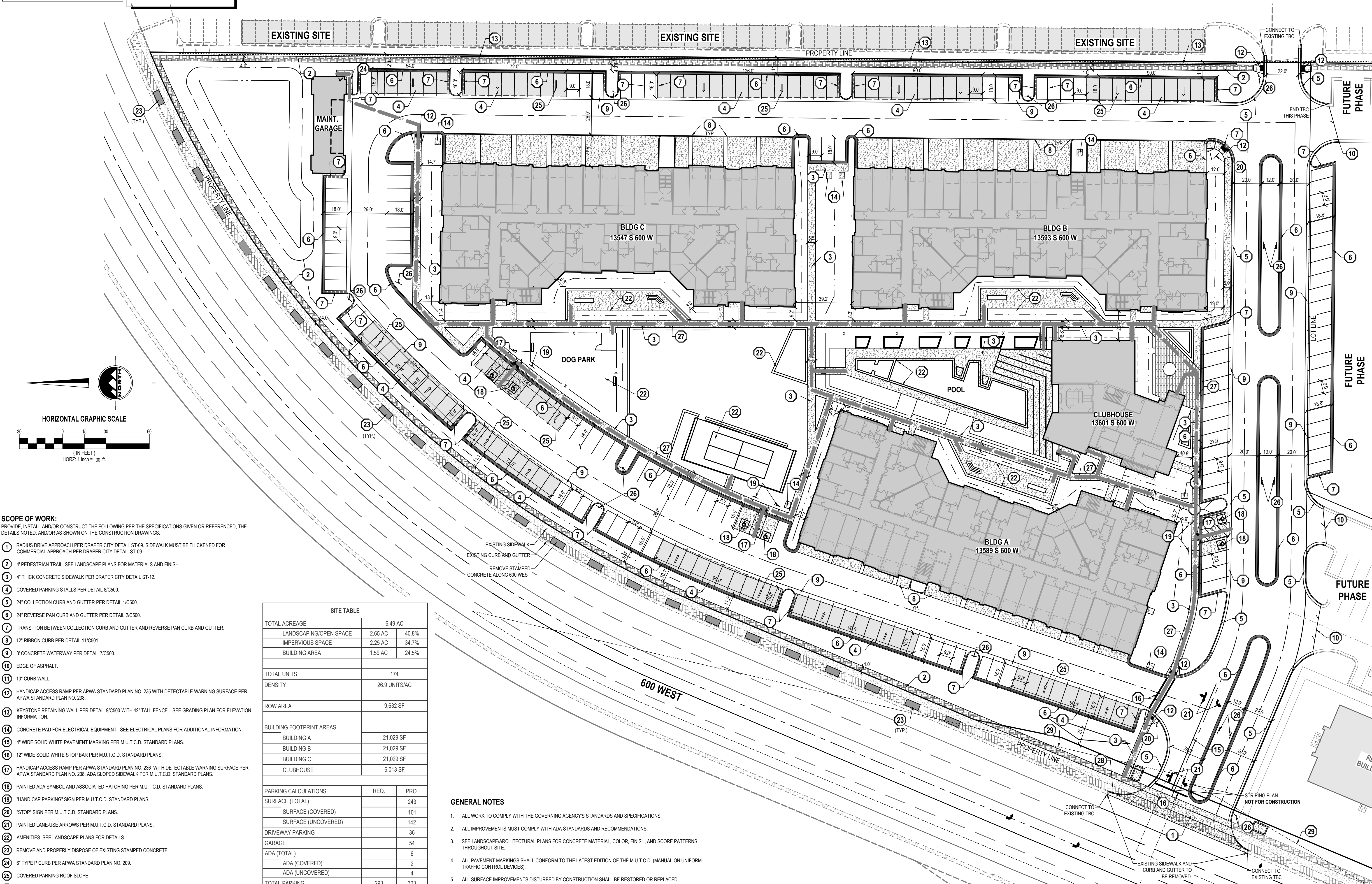
VISTA 600 WEST
13645 SOUTH 600 WEST
DRAPER, UTAH



SITE PLAN

PROJECT NUMBER: 7928A
PRINT DATE: 6/22/22
DRAWN BY: JWJ
CHECKED BY: RWF
PROJECT MANAGER: RWF

C-101



- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- RADIUS DRIVE APPROACH PER DRAPER CITY DETAIL ST-09. SIDEWALK MUST BE THICKENED FOR COMMERCIAL APPROACH PER DRAPER CITY DETAIL ST-09.
 - 4" PEDESTRIAN TRAIL. SEE LANDSCAPE PLANS FOR MATERIALS AND FINISH.
 - 4" THICK CONCRETE SIDEWALK PER DRAPER CITY DETAIL ST-12.
 - COVERED PARKING STALLS PER DETAIL 8/C500.
 - 24" COLLECTION CURB AND GUTTER PER DETAIL 1/C500.
 - 24" REVERSE PAN CURB AND GUTTER PER DETAIL 2/C500.
 - TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
 - 12" RIBBON CURB PER DETAIL 11/C501.
 - 3" CONCRETE WATERWAY PER DETAIL 7/C500.
 - EDGE OF ASPHALT.
 - 10" CURB WALL.
 - HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
 - KEYSTONE RETAINING WALL PER DETAIL 9/C500 WITH 42" TALL FENCE. SEE GRADING PLAN FOR ELEVATION INFORMATION.
 - CONCRETE PAD FOR ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
 - 12" WIDE SOLID WHITE STOP BAR PER M.U.T.C.D. STANDARD PLANS.
 - HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 236 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238. ADA SLOPED SIDEWALK PER M.U.T.C.D. STANDARD PLANS.
 - PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
 - "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
 - "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
 - PAINTED LANE-USE ARROWS PER M.U.T.C.D. STANDARD PLANS.
 - AMENITIES. SEE LANDSCAPE PLANS FOR DETAILS.
 - REMOVE AND PROPERLY DISPOSE OF EXISTING STAMPED CONCRETE.
 - 6" TYP. P CURB PER APWA STANDARD PLAN NO. 209.
 - COVERED PARKING ROOF SLOPE.
 - "NO PARKING - FIRE LANE" SIGN PER M.U.T.C.D. STANDARD PLANS.
 - ADA ROUTE.
 - HANDICAP ACCESS RAMP PER DRAPER CITY DETAIL ST-05.
 - SITE TRIANGLE.

SITE TABLE		
TOTAL ACREAGE	6.49 AC	
LANDSCAPING/OPEN SPACE	2.65 AC	40.8%
IMPERVIOUS SPACE	2.25 AC	34.7%
BUILDING AREA	1.59 AC	24.5%
TOTAL UNITS	174	
DENSITY	26.9 UNITS/AC	
ROW AREA	9,632 SF	
BUILDING FOOTPRINT AREAS		
BUILDING A	21,029 SF	
BUILDING B	21,029 SF	
BUILDING C	21,029 SF	
CLUBHOUSE	6,013 SF	
PARKING CALCULATIONS		
	REQ.	PRO.
SURFACE (TOTAL)	243	
SURFACE (COVERED)	101	
SURFACE (UNCOVERED)	142	
DRIVEWAY PARKING	36	
GARAGE	54	
ADA (TOTAL)	6	
ADA (COVERED)	2	
ADA (UNCOVERED)	4	
TOTAL PARKING	293	303

- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

EXHIBIT G
LANDSCAPE PLAN



STK :a

TEL: (405) 444-6869
EMAIL: skm@stkarizona.com
WEB: www.stkarizona.com

SEAL:

CONSULTANT:



VISTA 600 WEST

13645 S. 600 W.
DRAPER, UTAH 84020

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ISSUE DATES:	
Permit Set	Date: 02-15-2022
Bid Set	
Construct. Set	

REVISIONS:		
No.	Date	Description

DESCRIPTION:
PLANTING PLAN

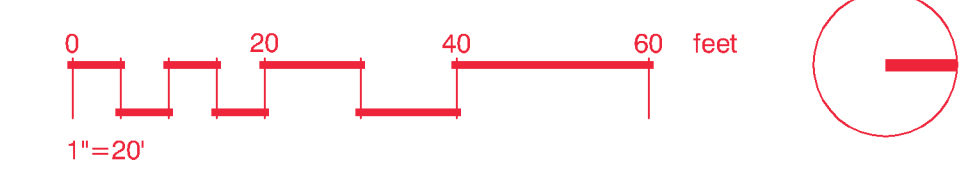
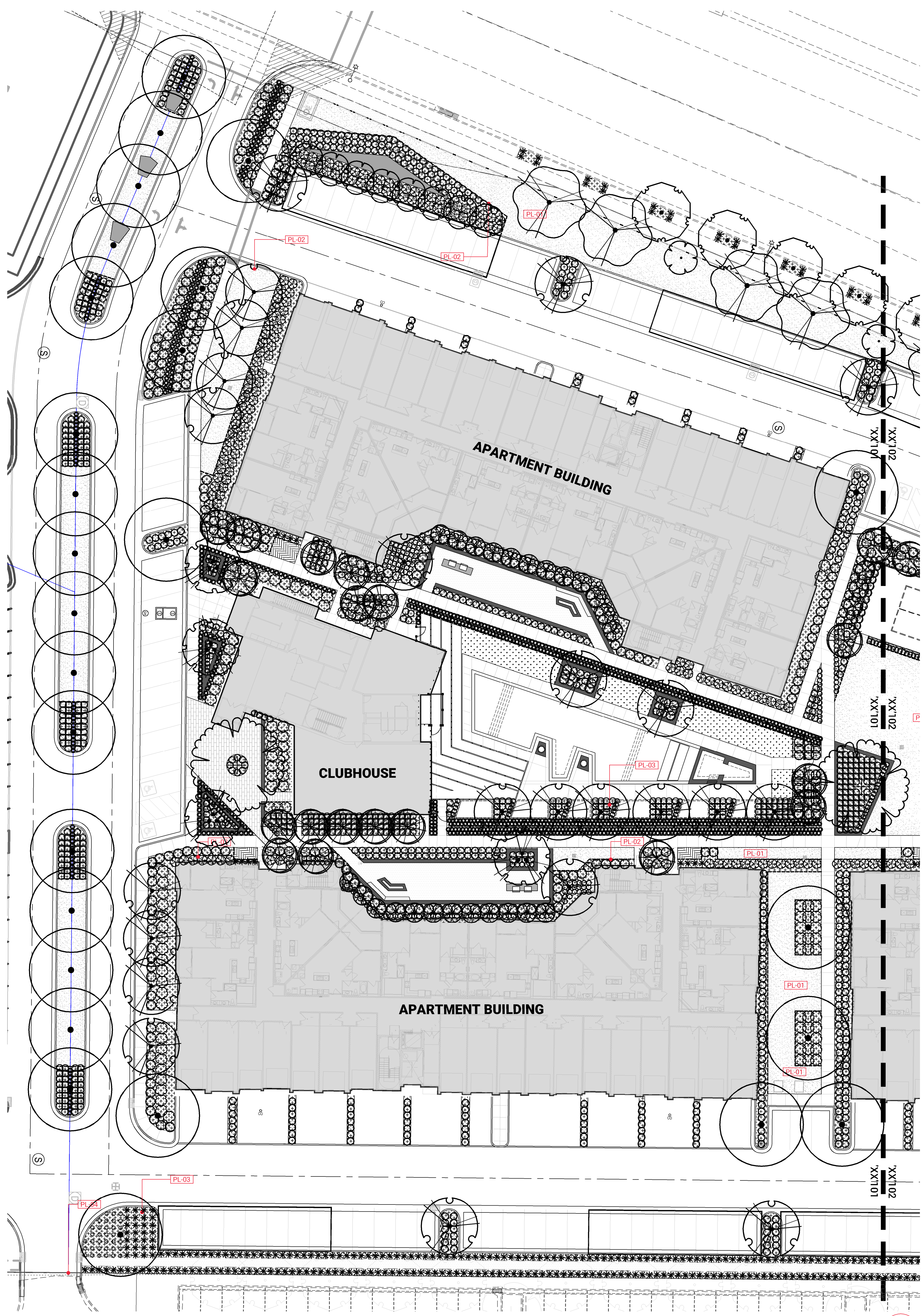
SHEET:
LP101

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE
	ACER FREEMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE	2" CAL.
	ACER PSEUDOPLATANUS / SYCAMORE MAPLE	2" CAL.
	CARPINUS BETULUS 'FRANZ FONTAINE' / FRANZ FONTAINE HORNBEAM -KEEP TRIMMED REGULARLY	2" CAL.
	CERCIS CANADENSIS / MULTISTEM EASTERN REDBUD	2" CAL.
	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST	2" CAL.
	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SLENDER SILHOUETTE SWEET GUM	2" CAL.
	MALUS FLORIBUNDA 'PRAIRIEFIRE' / PRAIRIEFIRE CRABAPPLE	2" CAL.
	MALUS X 'SCHMIDT CUTLEAF' TM / GOLDEN RAINDROPS CRABAPPLE	2" CAL.
EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE
	PICEA ABIES 'CUPRESSINA' / COLUMNAR NORWAY SPRUCE	1" CAL.
FOCAL TREES	BOTANICAL / COMMON NAME	SIZE
	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST	4" CAL.
SHRUBS	BOTANICAL / COMMON NAME	SIZE
	ARONIA MELANOCARPA 'UCONNAM166' TM / DWARF CHOKEBERRY	5 GAL.
	BERBERIS THUNBERGII 'BAILANNA' TM / MOSCATO JAPANESE BARBERRY	5 GAL.
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL.
	EUONYMUS FORTUNEI 'EMERALD GAIETY' / EMERALD GAIETY WINTERCREEPER	5 GAL.
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	SIZE
	CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER' / KARL FORESTER GRASS	1 GAL.
	FESTUCA MAIREI / ATLAS FESCUE	1 GAL.
	NASSELLA TENUISSIMA 'PONY TAILS' / PONY TAILS MEXICAN FEATHERGRASS	1 GAL.
	PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH RED SWITCH GRASS	1 GAL.
PERENNIALS	BOTANICAL / COMMON NAME	SIZE
	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL.
GROUND COVERS	BOTANICAL / COMMON NAME	CONT.
	SYNTHETIC TURF - DOG PEE PAD	N/A
	TURF SOD	SOD
ROCK MULCH	BOTANICAL / COMMON NAME	CONT.
	ROCK MULCH	SOIL
	WASATCH GRAY CRUSHER FINES (CHAT)	ROCK MULCH
SYNTHETIC TURF	BOTANICAL / COMMON NAME	CONT.
	SYNTHETIC TURF LEISURE TURF 50 - 100SW - PILE HEIGHT: 1.625 - COLOR: (310) FIELD GREEN/LIME - PER SOUTHWEST GREENS OR APPROVED EQUAL	N/A

PLANTING SCHEDULE

SYMBOL	DESCRIPTION
	TURF AREA (TYP.)
	1/4" THICK STEEL EDGING BETWEEN ALL PLANTING AND TURF AREAS (TYP.)
	PLANTING AREA (TYP.)
	PROPERTY LINE (TYP.)





SIK :a

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SEAL:

CONSULTANT:



VISTA 600 WEST
13645 S. 600 W.
DRAPER, UTAH 84020

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ISSUE DATES:	
Permit Set	Date:
PERMIT SET	02-15-2022
BID SET	
CONSTRUCT. SET	

REVISIONS:		
No.	Date	Description

DESCRIPTION:
PLANTING PLAN

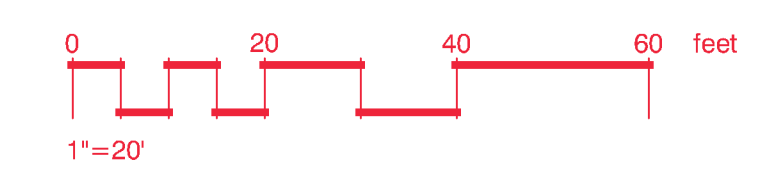
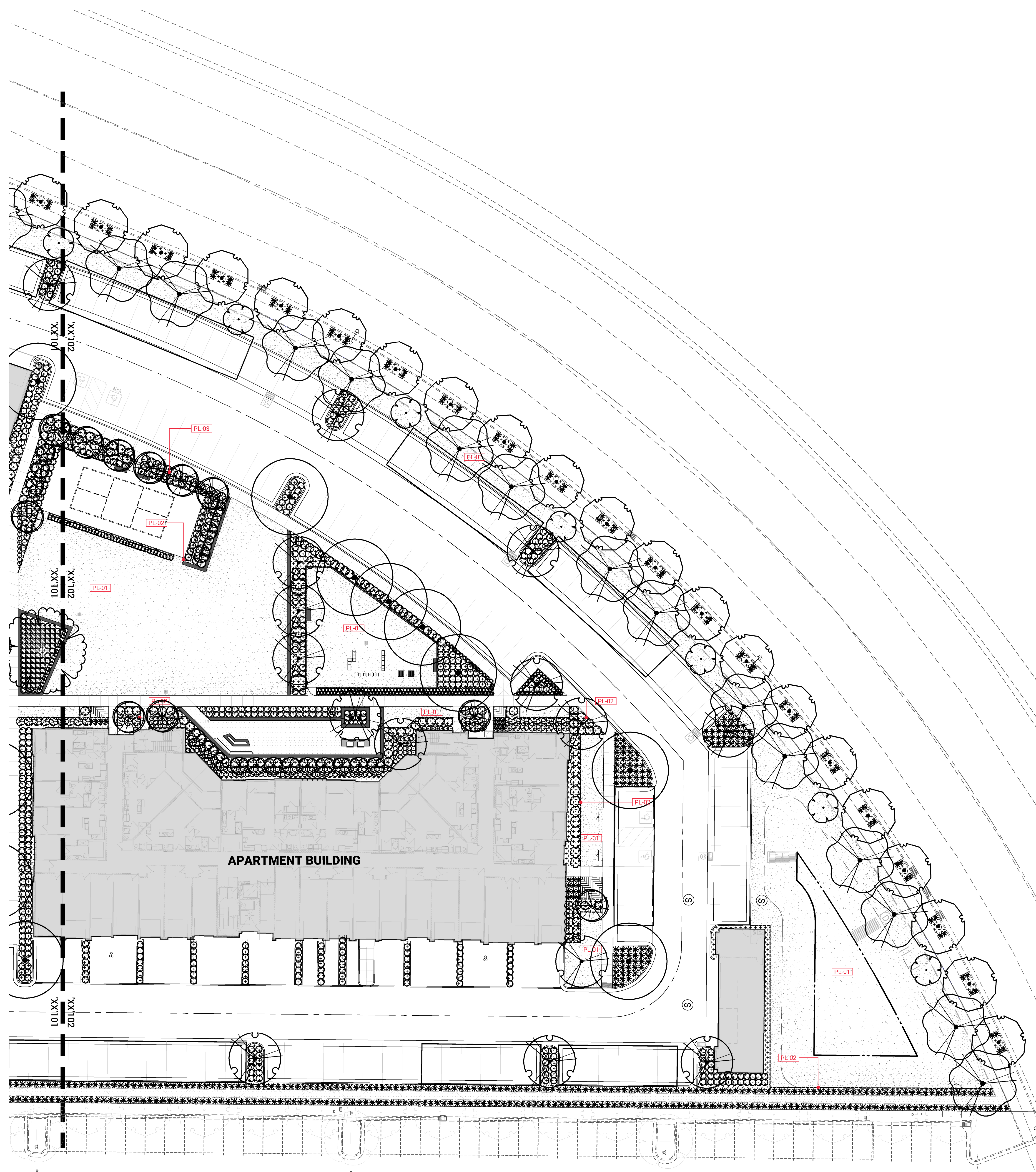
SHEET:
LP102

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE
	ACER FREEMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE	2" CAL.
	ACER PSEUDOPLATANUS / SYCAMORE MAPLE	2" CAL.
	CARPINUS BETULUS 'FRANZ FONTAINE' / FRANZ FONTAINE HORNBEAM -KEEP TRIMMED REGULARLY	2" CAL.
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EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE
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	FESTUCA MAIREI / ATLAS FESCUE	1 GAL.
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	PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH RED SWITCH GRASS	1 GAL.
PERENNIALS	BOTANICAL / COMMON NAME	SIZE
	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL.
GROUND COVERS	BOTANICAL / COMMON NAME	CONT.
	SYNTHETIC TURF - DOG PEE PAD	N/A
	TURF SOD	SOD
ROCK MULCH	BOTANICAL / COMMON NAME	CONT.
	ROCK MULCH	SOIL
	WASATCH GRAY CRUSHER FINES (CHAT)	ROCK MULCH
SYNTHETIC TURF	BOTANICAL / COMMON NAME	CONT.
	SYNTHETIC TURF LEISURE TURF 50 - 100SW - PILE HEIGHT: 1.625 - COLOR: (310) FIELD GREEN/LIME - PER SOUTHWEST GREENS OR APPROVED EQUAL	N/A

PLANTING SCHEDULE

SYMBOL	DESCRIPTION
	TURF AREA (TYP.)
	1/4" THICK STEEL EDGING BETWEEN ALL PLANTING AND TURF AREAS (TYP.)
	PLANTING AREA (TYP.)
	PROPERTY LINE (TYP.)

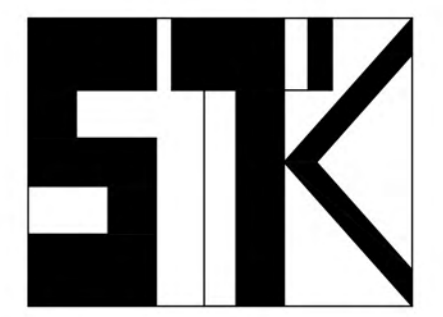
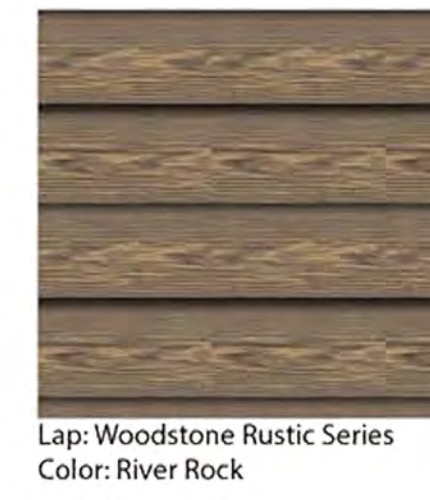
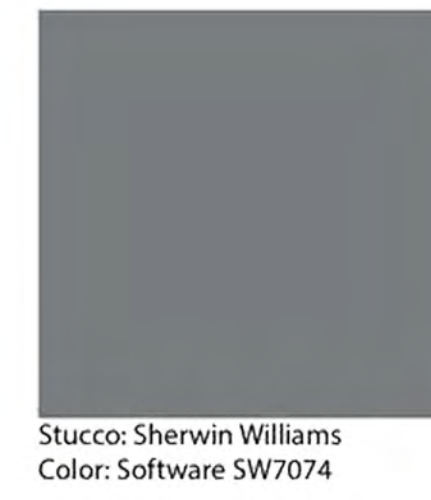
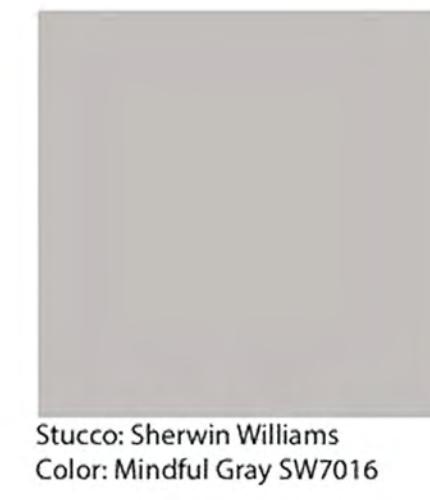
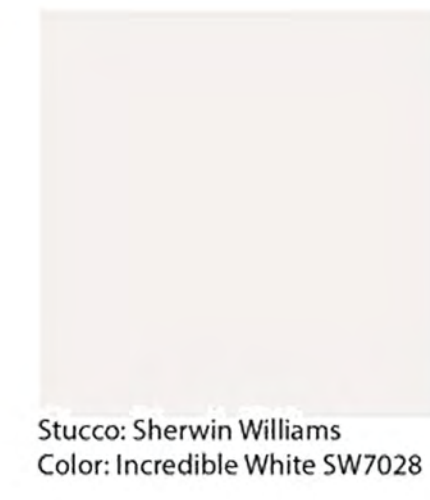


**EXHIBIT H
ELEVATIONS**

1. PROVIDE DRIP CAP FLASHING AT ALL WINDOW & DOOR HEADS.
2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS.
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER INTO THE EXTERIOR SHELL OF THE BUILDING.
4. NOT USED
5. SEE SPECIFICATIONS AND DETAILS FOR MORE INFORMATION.
6. WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING AS REQUIRED PER SECTION 2406 OF THE 2015 IBC.
7. ALL PAINTS, PRIMERS, AND ANTI-CORROSIVE COATINGS APPLIED ON SITE TO THE BUILDING EXTERIOR AND INTERIOR MUST NOT EXCEED THE VOLATILE ORGANIC COMPOUND (VOC) LIMIT OF THE STATE OF IDAHO.
8. NOT USED

- 1 ONE-COAT INSULATING STUCCO SYSTEM
- 2 FIBER CEMENT V-GROOVE HORIZONTAL SIDING - 6" EXPOSURE
- 3 THIN BRICK VENEER
- 4 CONCRETE, PAINT FINISH
- 5 COMPOSITE TRIM
- 6 STUCCO TRIM
- 7 ANODIZED FINISH STOREFRONT W/ DLB GLAZING
- 8 BALCONY RAILING SYSTEM
- 9 PRE-FAB METAL SUNSHADE CANOPY - SEE DETAILS

- 10 NOT USED
- 11 STUCCO CONTROL JOINT - SEE DETAILS
- 12 DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL PLANS
- 13 BUILDING SIGN - BY OWNER
- 14 OVERHEAD GARAGE DOOR
- 15 METAL VEHICLE GUARD BOLLARD
- 16 PRE-FINISHED ALUMINUM COPING
- 17 RESIDENTIAL VINYL WINDOWS, SEE SCHEDULES



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GENERAL NOTES

ELEVATION KEYNOTES

SEAL:

CONSULTANT:



FRONT ELEVATION

SCALE : 3/32" = 1'-0"

3



REAR ELEVATION

SCALE : 3/32" = 1'-0"

2



LEFT ELEVATION

SCALE : 3/32" = 1'-0"

4



RIGHT ELEVATION

SCALE : 3/32" = 1'-0"

1

VISTA 11
RESIDENTIAL BUILDING
DRAPER CITY, UTAH

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ISSUE DATES:

PERMIT SET	Date:
BID SET	
CONSTRUCT. SET	

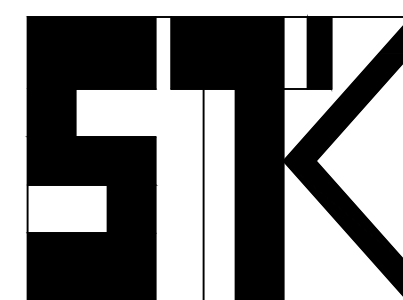
REVISIONS:

No.	Date	Description

DESCRIPTION:
EXTERIOR ELEVATIONS

SHEET:
A-4.01

**EXHIBIT I
LIGHTING PLAN**



SKK
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EMAIL: skk@skk.com
WEB: www.skk.com

SEAL:



3/21/2022

CONSULTANT:



1001 N. 2000 WEST SALT LAKE CITY UT 84119
TEL: 801-353-1158 WWW.PVE-UT.COM

VISTA 11 APARTMENTS
RESIDENTIAL BUILDING
13645 S 600 W DRAPER, UTAH 84020



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ISSUE DATES:	
PERMIT SET	Date: 3-21-2022
BID SET	3-21-2022
CONSTRUCT. SET	

REVISIONS:		
No.	Date	Description

DESCRIPTION:
ELECTRICAL SITE PLAN

SHEET:
E1.1

KEYED NOTES ():#

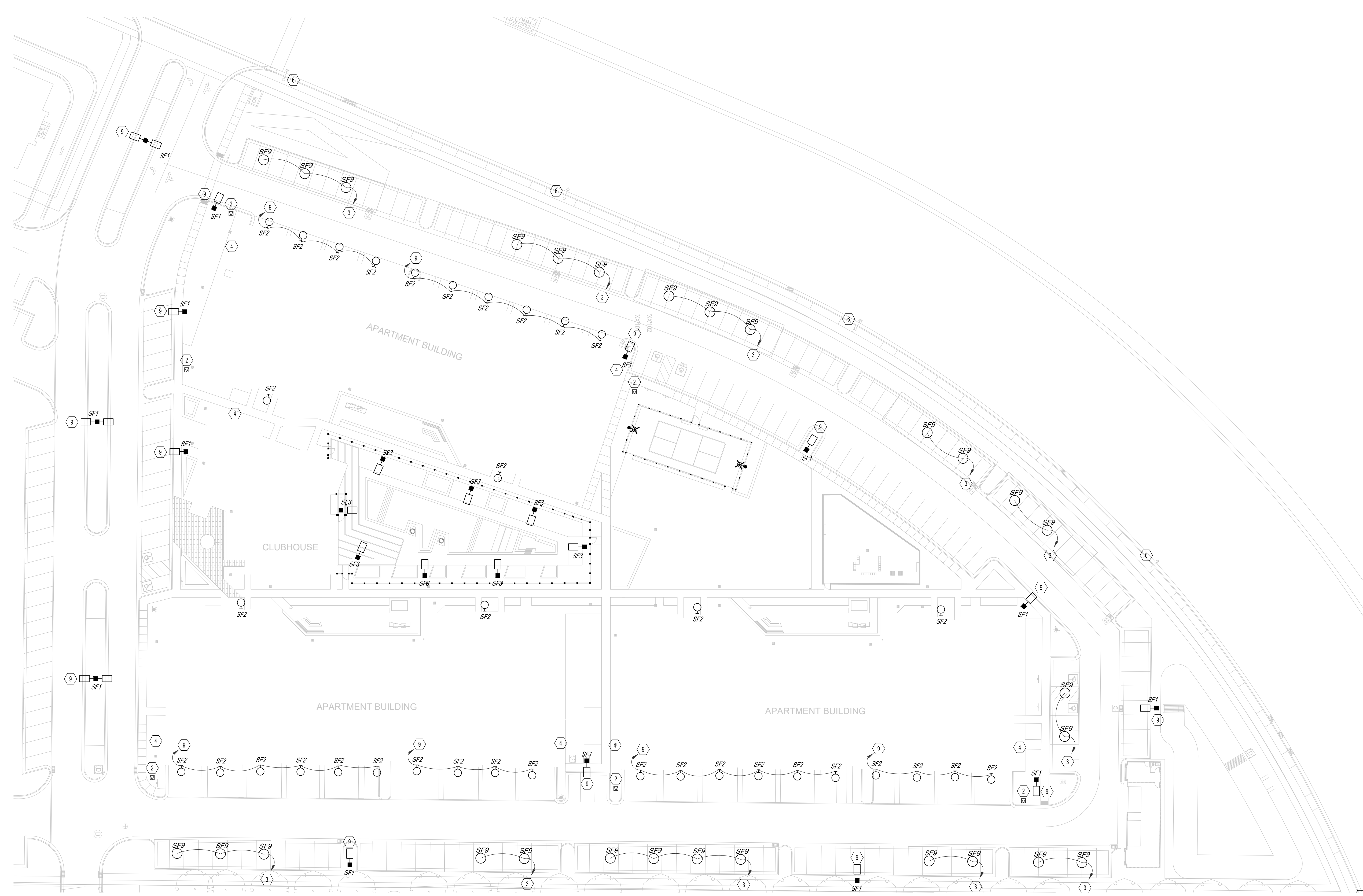
- JUNCTION BOX AND CIRCUIT TO NEAREST BUILDINGS HOUSE PANEL. CIRCUIT TO BE RAN THROUGH BUILDINGS PHOTOCELL FOR LANDSCAPE LIGHTING.
- PROPOSED TRANSFORMER LOCATION.
- ROUTE CIRCUIT THROUGH PHOTOCELL MOUNTED ON NORTH SIDE OF EACH CANOPY. CIRCUIT LIGHT FIXTURES TO NEAREST HOUSE PANEL.
- PROPOSED METER CENTER LOCATION WITH HOUSE PANEL. SEE BUILDING ELECTRICAL SET SHEET E4.1 FOR MORE INFORMATION.
- NEW TELEPHONE/DATA COMPANY PEDESTAL. COORDINATE EXACT LOCATION WITH SERVICE PROVIDER. PROVIDE (1) 4" CONDUIT BETWEEN ALL NEW TELEPHONE PEDESTALS.
- CITY ROADWAY LIGHTING TO BE COORDINATED WITH CIVIL FOR EXACT LOCATION. FINAL SPECIFICATION TO BE DETERMINED AND PROVIDED BY CITY PRIOR TO BID. STREET LIGHT LOCATION NOT TO BE IN PARK STRIP LANDSCAPE BUT IN CONCRETE PARK STRIP.
- PROVIDE JUNCTION BOX WITH DEDICATED CIRCUIT TO HOUSE PANEL PROVIDED WITH AUTO OFF TIME FOR BBQ.
- PROVIDE JUNCTION BOX WITH DEDICATED CIRCUIT TO HOUSE PANEL PROVIDED WITH AUTO OFF TIME FOR FIRE PIT.
- ROUTE CIRCUIT THROUGH TO NEAREST HOUSE PANEL. CIRCUIT TO BE RAN AND CONTROLLED THROUGH PHOTOCELL.
- COURT LIGHTS TO BE ON A AUTO OFF TIMER VERIFY LOCATION WITH OWNER PRIOR TO ROUGH-IN.

GENERAL NOTES:

- ELECTRICAL CONTRACTOR TO REFER TO THE CIVIL ENGINEER'S DRAWING AND COORDINATE ELECTRICAL INSTALLATION WITH ALL UTILITIES.
- ELECTRICAL CONTRACTOR SHALL COORDINATE ALL SITE WORK WITH POWER COMPANY UTILITIES CONTRACTOR FOR PROPER PLACEMENT AND CONNECTION OF ALL SITE CONDUIT AND TRANSFORMER VAULTS. ANY DISCREPANCIES SHALL BE BROUGHT UP TO THE ARCHITECT AND ENGINEER IN WRITING BEFORE PROCEEDING WITH INSTALLATION.
- ELECTRICAL CONTRACTOR TO VERIFY ALL THE UTILITY COMPANY SERVICE (POWER, TELEPHONE, ETC.) TERMINATION POINTS DURING THE BIDDING PROCESS. PROVIDE CONDUIT AS REQUIRED TO THE BUILDING TO ACCOMMODATE ALL UTILITY COMPANY SERVICES. REPORT ANY CONFLICTING CONDITIONS TO THE ARCHITECT.
- ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS FOR TELEPHONE AND DATA TO EACH BUILDING. COORDINATE THE ROUTING, SIZE, AND LOCATIONS OF EACH TELEPHONE/CATV CONDUIT WITH THE PROVIDERS OF EACH SERVICE.
- ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUITS FROM EACH BUILDING TO THE CLUBHOUSE FIRE ALARM CONTROL PANEL. COORDINATE CONDUIT SIZE AND ROUTING WITH EIDE AT 404 IN METAL 1 CONDUIT REQUIRED.

LUMINAIRE SCHEDULE										
LUMINAIRE NUMBER	LUMINAIRE MANUFACTURER	LUMINAIRE CATALOG #	DESCRIPTION	LUMINAIRE TYPE	QTY.	LUMINAIRE			REMARKS	
						VOLTS	WATTS	MOUNTING		
SF1	LITHONIA	DSX1 LED P1 50K TSVS MVOLT	LED POLE LIGHT (SINGLE HEAD) 20'	LED 9,100 LUMENS 3000K	/	120	100	POLE	VERIFY COLOR, SPECIFICATION AND TRIM WITH OWNER PRIOR TO PURCHASE	
SF2	AFX	SEW5121500L30MVBZ	LED WALLPACK	LED 2300 LUMENS 3000K	/	120	24	WALL	VERIFY COLOR, SPECIFICATION AND TRIM WITH OWNER PRIOR TO PURCHASE	
SF3	LITHONIA	DSX1 LED P1 50K TSVS MVOLT	LED POLE LIGHT FOR POOL 15'	LED 7,300 LUMENS 5000K	/	MVOLT	54	POLE	VERIFY COLOR AND TRIM WITH OWNER PRIOR TO PURCHASE. ORDER FIXTURE WITH HOUSE SIDE SHIELD	
SF4	NLS	NWP-1-S2-2B-T3-20L-35-30K-UNV	DECORATIVE STREETLIGHT	LED 4,300 LUMENS 5000K	/	MVOLT	54	POLE	VERIFY COLOR AND TRIM WITH OWNER PRIOR TO PURCHASE. ORDER FIXTURE WITH HOUSE SIDE SHIELD	
SF5	LITHONIA	DSXW1-LED-20C-530-40K-T2M-120	LED WALLPACK	LED 7,300 LUMENS 5000K	/	MVOLT	54	POLE	VERIFY COLOR AND TRIM WITH OWNER PRIOR TO PURCHASE. ORDER FIXTURE WITH HOUSE SIDE SHIELD	
SF6	FX-LUMINAIRE	2LED-4.2W	LED WALL LIGHT	LED	/	MVOLT	4.2	WALL	VERIFY FINAL FIXTURE SPECIFICATION WITH LANDSCAPE DESIGNER PRIOR TO BID	
SF9	RAB	VANLED10	LED CANOPY FIXTURE	LED	1	MVOLT	20	WALL	VERIFY COLOR, SPECIFICATION AND TRIM WITH OWNER PRIOR TO PURCHASE	

NOTE:
ELECTRICAL CONTRACTOR SHALL PROVIDE A 'QUICK DISCONNECT HARNESS' FOR EACH FLUORESCENT LIGHTING FIXTURE TO SERVE AS A MEANS OF DISCONNECT TO ALLOW THE FIXTURE BALLAST TO BE SERVICED IN PLACE, AS PER THE NATIONAL ELECTRICAL CODE 2008, ARTICLE 410.130 (G).



A ELECTRICAL SITE PLAN
E1.1 SCALE: 1/32" = 1'-0"

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LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	2021-10-25 11:20 QTY
▽	FX LUMINAIRE NP - LED UPLIGHT - OR APPROVED EQUAL 103 LARGE DIRECTIONAL UP LIGHT IDEAL FOR LARGE LANDSCAPE FEATURES. 8.38" H X 2.66" DIA. ORDER CODE: NP, ALUMINUM ALLOY, (FW) FLAT WHITE, 3-PRONG SPIKE LAMP: NP-1LED, 2W/2.4VA, 2700K, BEAMSPREAD: NARROW FLOOD	
▽	FX LUMINAIRE FC-CW - LED WELL LIGHT - OR APPROVED 10 EQUAL LARGE SCALE IN GRADE FIXTURE. 4" DIA X 6.8" H. ORDER CODE: FC-CW, BRASS, (FB) FLAT BLACK, DIRECT MOUNT LAMP: FC-CW-1LED, 2W/2.4VA, 2700K, BEAMSPREAD: SPOT	
▽	FX LUMINAIRE LM - LED WALL LIGHT - OR APPROVED 59 EQUAL BEST UTILIZED IN WALLS AND ADJACENT TO STAIRWAYS. 9" W X 3.5" H X 2.375" D. ORDER CODE: LM, COPPER, (FB) FLAT BLACK, DIRECT MOUNT LAMP: LM-2LED, 4.2W/4.5VA, 2700K, BEAMSPREAD: VERY WIDE FLOOD	
●	LARGE POLE/COURT LIGHTS - LED - OR APPROVED EQUAL 2 15-20 FT TALL	

SITE LIGHTING SCHEDULE

SYMBOL	DESCRIPTION	2021-10-14 15:53 QTY
LI-01	STAKE LOCATION OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION	
LI-02	PROPOSED DIAGRAMMATIC ELECTRICAL CONDUIT ROUTING - FINAL WIRING LOCATION PER ELECTRICAL ENGINEER AND OR LIGHTING DESIGNER	
LI-03	SPACE LIGHTS EQUALLY AS SHOWN	
LI-04	CENTER LIGHT ON WALL (TYP.)	
LI-05	BISTRO LIGHTS	814 LF



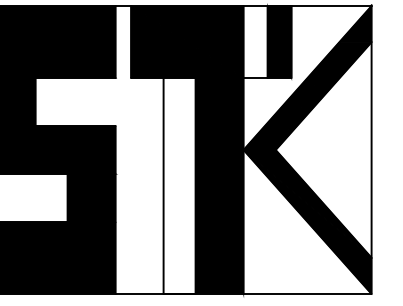
A SITE LANDSCAPE LIGHTING PLAN
E1.2 SCALE: 1/32" = 1'-0"

KEYED NOTES ():#

- JUNCTION BOX AND CIRCUIT TO NEAREST BUILDINGS HOUSE PANEL. CIRCUIT TO BE RAN THROUGH BUILDINGS PHOTOCELL FOR LANDSCAPE LIGHTING.
- PROPOSED TRANSFORMER LOCATION.
- ROUTE CIRCUIT THROUGH PHOTOCELL MOUNTED ON NORTH SIDE OF EACH CANOPY. CIRCUIT LIGHT FIXTURES TO NEAREST HOUSE PANEL.
- PROPOSED METER CENTER LOCATION WITH HOUSE PANEL. SEE BUILDING ELECTRICAL SET SHEET E4.1 FOR MORE INFORMATION.
- NEW TELEPHONE/DATA COMPANY PEDESTAL. COORDINATE EXACT LOCATION WITH SERVICE PROVIDER. PROVIDE (1) 4" CONDUIT BETWEEN ALL NEW TELEPHONE PEDESTALS.
- CITY ROADWAY LIGHTING TO BE COORDINATED WITH CIVIL FOR EXACT LOCATION. FINAL SPECIFICATION TO BE DETERMINED AND PROVIDED BY CITY PRIOR TO BID. STREET LIGHT LOCATION NOT TO BE IN PARK STRIP LANDSCAPE BUT IN CONCRETE PARK STRIP.
- PROVIDE JUNCTION BOX WITH DEDICATED CIRCUIT TO HOUSE PANEL PROVIDED WITH AUTO OFF TIME FOR BBQ.
- PROVIDE JUNCTION BOX WITH DEDICATED CIRCUIT TO HOUSE PANEL PROVIDED WITH AUTO OFF TIME FOR FIRE PIT.
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GENERAL NOTES:

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SKK.a
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EMAIL: skk@skkarch.com
WEB: www.skkarch.com

SEAL:



3/21/2022

CONSULTANT:



1040 N. 2000 WEST SALT LAKE CITY UTAH
7801-3593158 WWW.PVE-UT.COM

VISTA 11 APARTMENTS
RESIDENTIAL BUILDING
13645 S 600 W DRAPER, UTAH 84020



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	Date:
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BID SET	3-21-2022
CONSTRUCT. SET	

REVISIONS:

No.	Date	Description

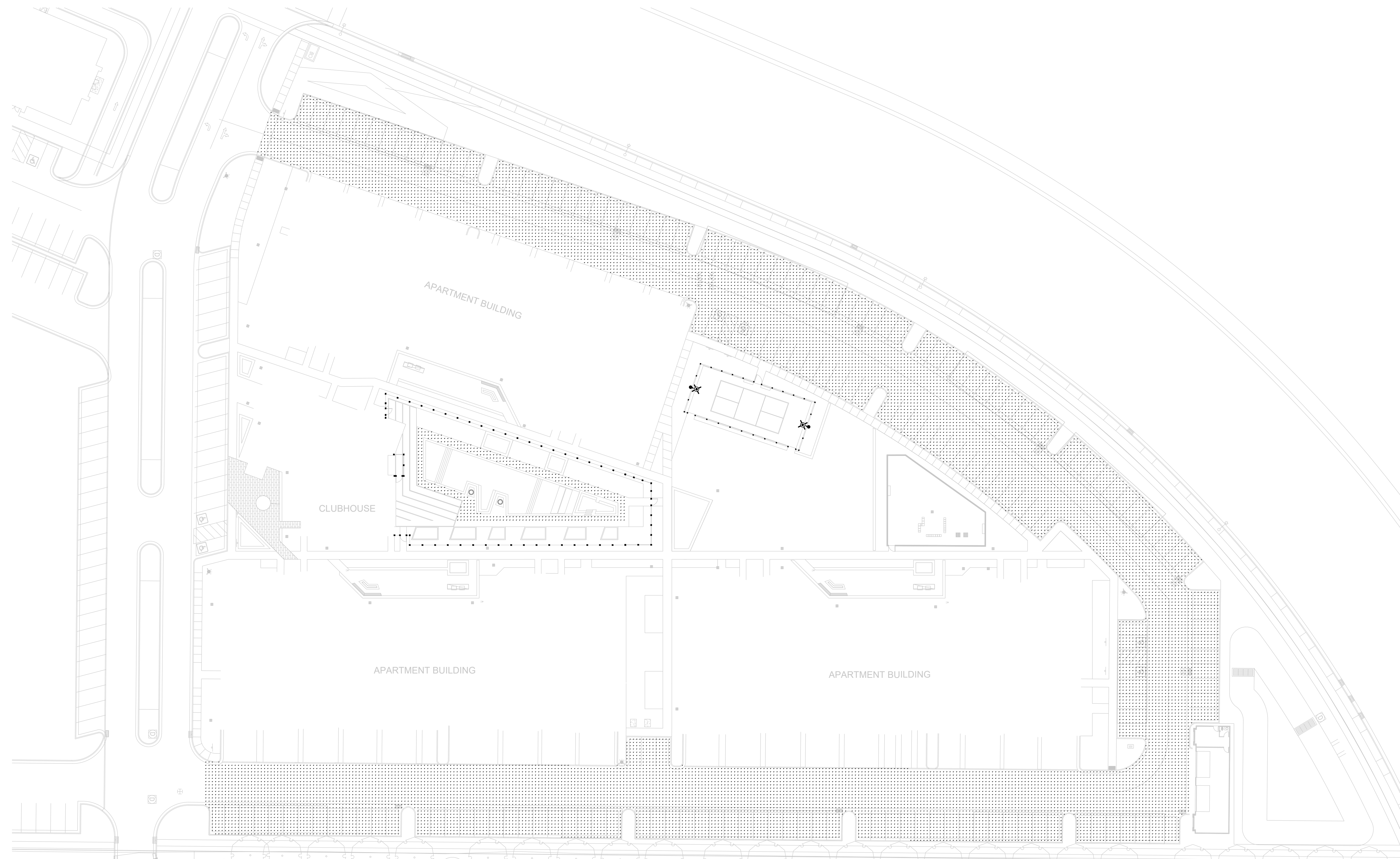
DESCRIPTION:
SITE LANDSCAPE LIGHTING PLAN

SHEET:
E1.2

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	2.4 fc	16.3 fc	0.1 fc	163.0:1	24.0:1
POOL AREA	+	6.6 fc	8.9 fc	5.01 fc	1.8:1	1.3:1

LUMINAIRE SCHEDULE									
LUMINAIRE NUMBER	LUMINAIRE MANUFACTURER	LUMINAIRE CATALOG #	DESCRIPTION	LUMINAIRE					REMARKS
				LUMINER TYPE	QTY.	VOLTS	WATTS	MOUNTING	
SF1	LITHONIA	DSX1 LED P1 50K T5VS MVOLT	LED POLE LIGHT (SINGLE HEAD) 20'	LED 9,100 LUMENS 3000K	/	120	100	POLE	VERIFY COLOR, SPECIFICATION AND TRIM WITH OWNER PRIOR TO PURCHASE
SF2	AFX	SEW5121500L30MVZ	LED WALLPACK	LED 2300 LUMENS 3000K	/	120	24	WALL	VERIFY COLOR, SPECIFICATION AND TRIM WITH OWNER PRIOR TO PURCHASE
SF3	LITHONIA	DSX1 LED P1 50K T5VS MVOLT	LED POLE LIGHT FOR POOL 15'	LED 7,300 LUMENS 5000K	/	MVOLT	54	POLE	VERIFY COLOR AND TRIM WITH OWNER PRIOR TO PURCHASE ORDER FIXTURE WITH HOUSE SIDE SHIELD
SF4	NLS	NWP-1-S2-2B-T3-20L-35-30K-UNV	DECORATIVE STREETLIGHT	LED 4,300 LUMENS 5000K	/	MVOLT	54	POLE	VERIFY COLOR AND TRIM WITH OWNER PRIOR TO PURCHASE ORDER FIXTURE WITH HOUSE SIDE SHIELD
SF5	LITHONIA	DSXW1-LED-20C-530-40K-T2M-120	LED WALLPACK	LED 7,300 LUMENS 5000K	/	MVOLT	54	POLE	VERIFY COLOR AND TRIM WITH OWNER PRIOR TO PURCHASE ORDER FIXTURE WITH HOUSE SIDE SHIELD
SF6	FX-LUMINAIRE	2LED-4.2W	LED WALL LIGHT	LED	/	MVOLT	4.2	WALL	VERIFY FINAL FIXTURE SPECIFICATION WITH LANDSCAPE DESIGNER PRIOR TO BID
SF9	RAB	VANLED10	LED CANOPY FIXTURE	LED	1	MVOLT	20	WALL	VERIFY COLOR, SPECIFICATION AND TRIM WITH OWNER PRIOR TO PURCHASE

NOTE:
ELECTRICAL CONTRACTOR SHALL PROVIDE A 'QUICK DISCONNECT HARNESS' FOR EACH FLUORESCENT LIGHTING FIXTURE TO SERVE AS A MEANS OF DISCONNECT TO ALLOW THE FIXTURE BALLAST TO BE SERVICED IN PLACE, AS PER THE NATIONAL ELECTRICAL CODE 2008, ARTICLE 410.130 (G).



A SITE PHOTOMETRIC
E1.3 SCALE: 1/32" = 1'-0"



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3/21/2022

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ISSUE DATES:

	Date:
PERMIT SET	3-21-2022
BID SET	3-21-2022
CONSTRUCT. SET	

REVISIONS:

No.	Date	Description

DESCRIPTION:
SITE PHOTOMETRIC

SHEET:
E1.3

