



---

**Development Review Committee**  
1020 East Pioneer Road  
Draper, UT 84020

---

**STAFF REPORT**  
July 12, 2019

**To:** Jennifer Jastremsky, AICP, Zoning Administrator

Approved 

7/11/19  
Date

**From:** Community Development Department  
Prepared by: Maryann Pickering, AICP, Planner III  
(801) 576-6391 or [maryann.pickering@draper.ut.us](mailto:maryann.pickering@draper.ut.us)

**Re:** **Youth Care Site Plan Amendment**

Application No.: SPR-455-2019  
Applicant: Perry Nielson of New Looking Siding  
Location: 12595 S. Minuteman Drive  
Current Zoning: CR (Regional Commercial)  
Parcel Size: 4.26 acres (approximately 185,565.6 square feet)  
Request: A site plan amendment to add a restroom expansion to enclose approximately 120 square feet. The area to be enclosed is currently an outdoor space/patio.

**BACKGROUND**

The property which is located on the east side of Minuteman Drive. The original conditional use permit was approved by the Planning Commission in November 2003 to operate a residential treatment facility for adolescents between the ages of 11 and 17. Two more amended conditional use permits have been approved by the Planning Commission for an expansion of the facility. This site plan amendment application is a request to expand the restrooms in one of the buildings by enclosing a small amount of patio/outdoor space. The amount to be enclosed with the restroom expansion is approximately 120 square feet.

**ANALYSIS**

*General Plan and Zoning.* The Land Use Map of the General Plan calls for the Community Commercial land use designation for the subject property. The designation anticipates commercial land uses that are destination-oriented. The text of the General Plan states that this land use designation “*may include large-scale, master-planned commercial centers, big-box stores and offices.*”

Additionally, the property has been assigned the CR zoning classification. The purpose of the CR zone is to “*provide areas where a combination of destination-oriented business, retail commercial, entertainment, and related uses may be established, maintained and protected to serve both residents and non-residents of the City.*” Typical uses in this zone include large-scale, master-planned commercial centers with outlying commercial pads, big-box stores, offices, and various types of high density residential uses.” The



CR zoning designation is identified by the General Plan as a preferred zoning classification for the Community Commercial land use designation.

Proposed Site Plan Modifications. Youth Care is proposing to enclose an area between two walls to enlarge some current restrooms in the buildings. The area to be enclosed is 10 feet by 12 feet (see attached site plan). The wall of the addition will be in line with the current wall plane on either side. The addition has been designed to fit in with the existing building.

The materials of the addition will match the materials of the existing structure. The siding will be the same color and the roof materials will match. There are no plans to change or alter landscaping on the site and no new lighting will be added.

Staff has reviewed the application against the standards in the Draper City Municipal Code (DCMC) and finds that it complies with the standards found therein.

Planning Division Review. The Draper City Planning Division has completed their review of the site plan amendment submission. Comments, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Public Works Division has completed their review of the site plan amendment submission. Comments, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the site plan amendment submission. Comments, if any, can be found in Exhibit A.

Draper City Fire Review. The Draper City Fire Department has completed their review of the site plan amendment submission. Comments, if any, can be found in Exhibit A.

Noticing. As a site plan amendment, this application will be reviewed and approved at staff level with no public hearing or noticing required.

### **STAFF RECOMMENDATION**

Staff recommends that the Zoning Administrator approve the Youth Care site plan amendment, application SPR-455-2019, with the following conditions:

1. That all requirements of the Draper City Fire, Building, and Engineering Departments are met throughout development of the site including permitting.
2. That, if required, a land disturbance permit is issued prior to construction.
3. That a building permit are obtained prior to construction of the addition as required by the Building division.
4. That any landscaping damaged by construction will be repaired and replaced as needed.

This recommendation is based on the following findings:

1. That the proposed site plan is consistent with the goals, objectives and policies of the City's General Plan.
2. That the proposed site plan will not adversely affect adjacent property.
3. That adequate facilities and services exist to serve the subject property, including but not limited to roadways, police and fire protection, storm water drainage systems, water supplies, and waste water and refuse collection.
4. That all site plan drawings were developed in accordance with the standards contained in Draper City's zoning ordinance.

**DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT**

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

  
\_\_\_\_\_  
Draper City Public Works

  
\_\_\_\_\_  
Draper City Building Division

  
\_\_\_\_\_  
Draper City Legal Counsel

  
\_\_\_\_\_  
Draper City Planning Division

  
\_\_\_\_\_  
Draper City Fire Department

**EXHIBIT A**  
**DEPARTMENT/DIVISION COMMENTS**

*Planning Division Review.*

No comments.

*Engineering and Public Works Divisions Review.*

No comments.

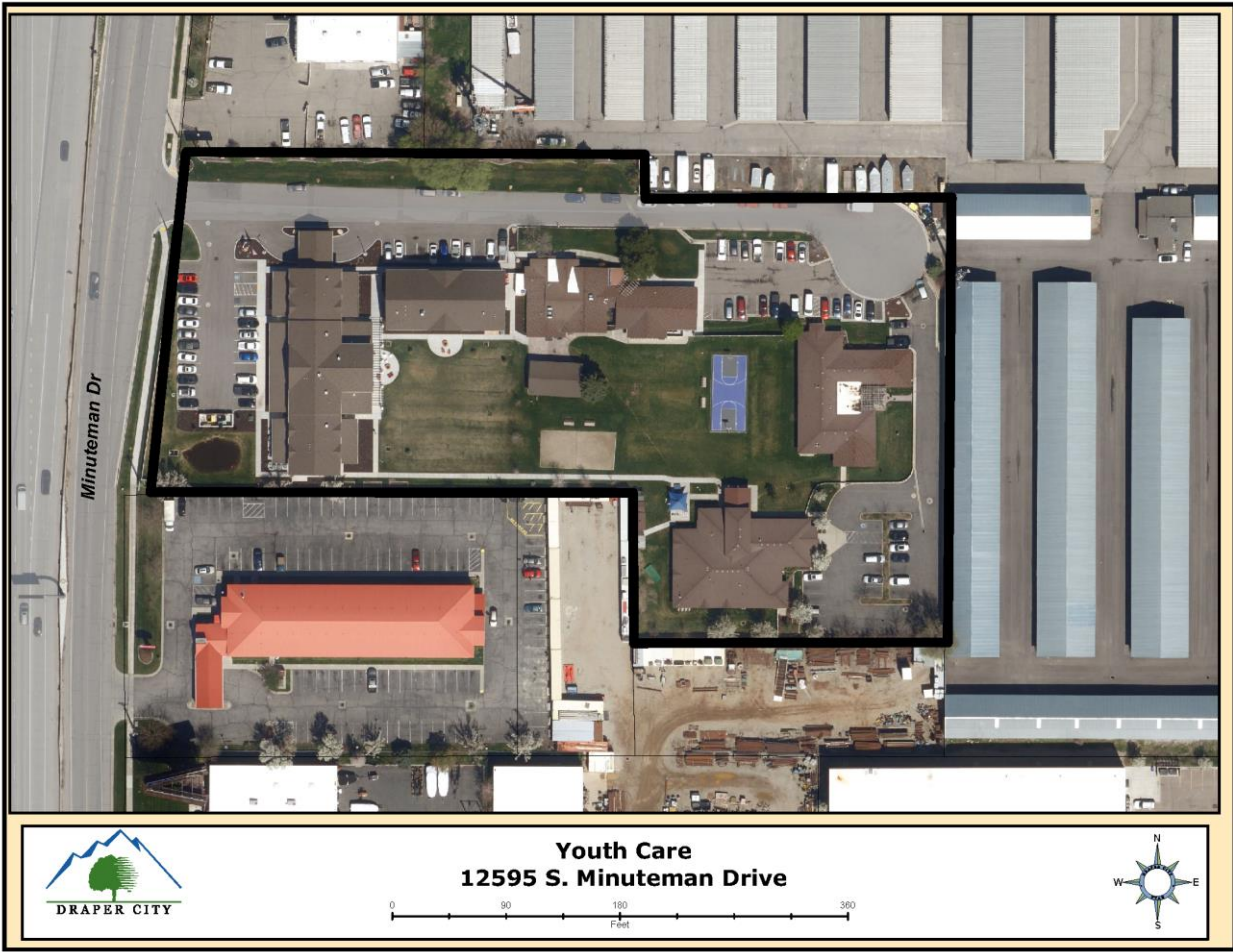
*Building Division Review.*

No comments.

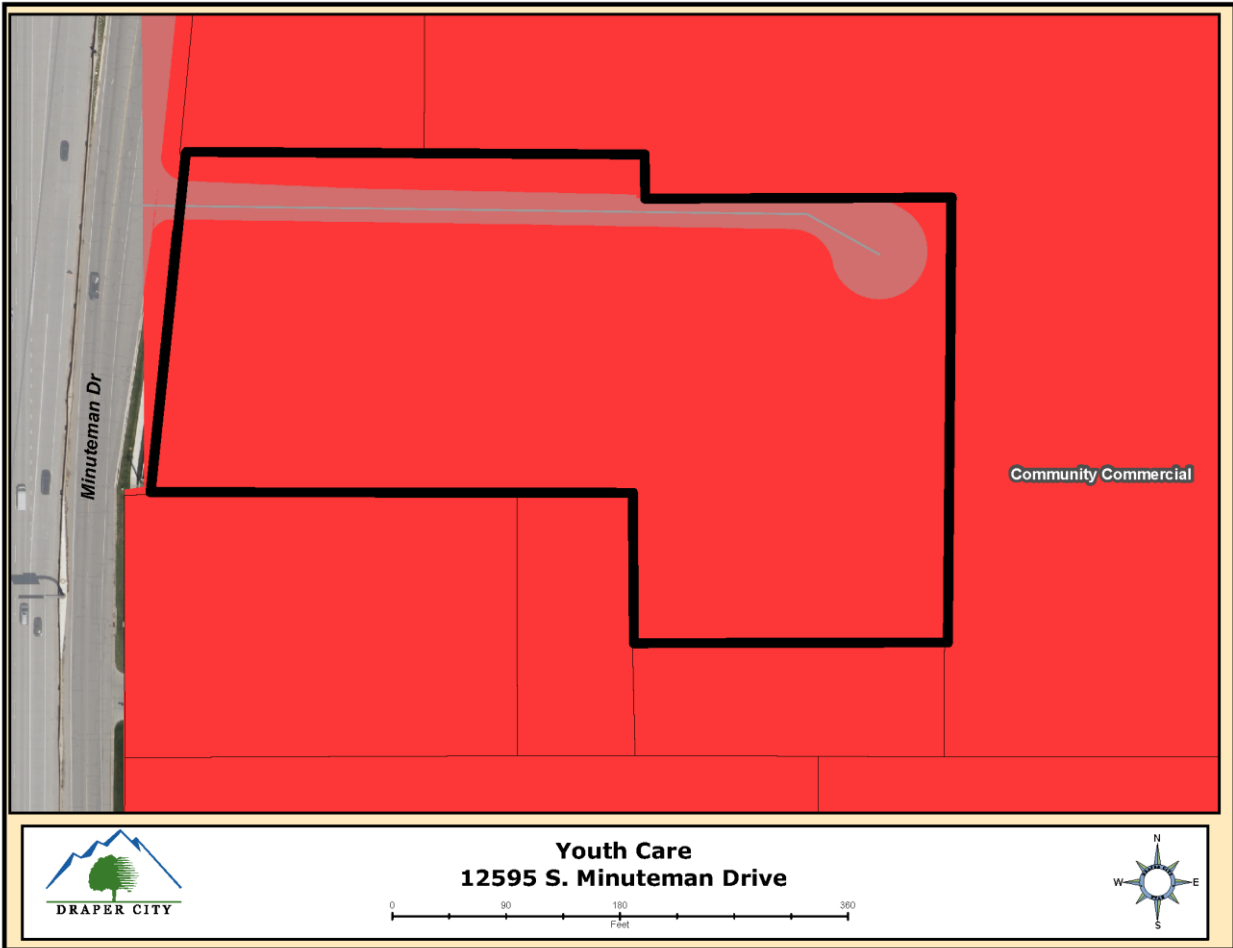
*Draper City Fire Review.*

No comments.

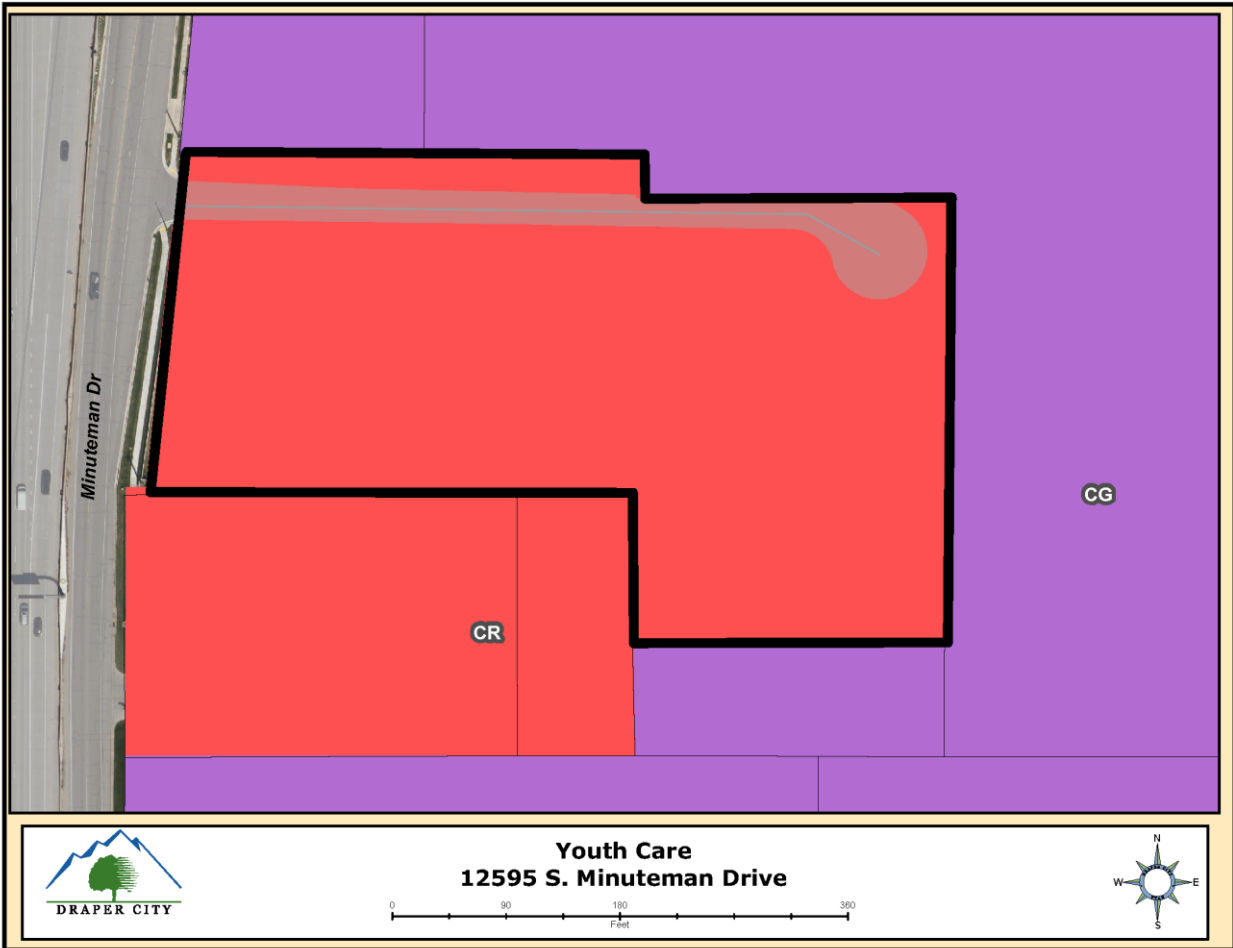
**EXHIBIT B  
AERIAL MAP**



**EXHIBIT C  
LAND USE MAP**



**EXHIBIT D  
ZONING MAP**







# EXHIBIT F ELEVATIONS

