



Development Review Committee

1020 East Pioneer Road

Draper, UT 84020

STAFF REPORT

May 17, 2022

To: Jennifer Jastremsky, Zoning Administrator

Approved Date

From: Jennifer Jastremsky, AICP, Planning Manager
801-576-6328, jennifer.jastremsky@draperutah.gov

Re: Starbucks #6924 – Amended Site Plan Request

Application No.: SPR-59-2022
Applicant: Roland Solinski, representing NewGround
Project Location: Approximately 1293 E Draper Parkway
Current Zoning: CC (Community Commercial) Zone
Acreage: Approximately 0.89 Acres (Approximately 38,768 ft²)
Request: Request for approval of an Amended Site Plan in the CC zone regarding the remodeling of an existing building.

SUMMARY AND BACKGROUND

This application is a request for approval of an Amended Site Plan for approximately 0.89 acres located at approximately 1293 East Draper Parkway (Exhibit B & C). The property is currently zoned CC. The applicant is requesting that an Amended Site Plan be approved to allow the relocation of a Starbuck within the Hidden Valley Shopping Center.

The Hidden Valley Shopping Center was built in the mid-1990's, with the subject building built in 1996. It was originally built as a Boston Market restaurant, but has for a number of years housed a Wendy's restaurant. Wendy's closed last year. Starbucks currently operates in the building directly west of the subject property. They are relocating to the old Wendy's building as it has more room and a larger drive thru. Hidden Valley Shopping Center has approved Design Guidelines, which the application was reviewed against.



ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Neighborhood Commercial land use designation for the subject property (Exhibit D. This category is characterized as follows:

Neighborhood Commercial

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Small-scale commercial land uses that serve local residents in adjacent neighborhoods • Minimal impact in predominantly residential areas • Well-landscaped street frontages • Limited traffic access points and pedestrian access from surrounding residential areas • Don't overcrowd commercial lots; i.e., require adequate setback and landscape buffers • Screened parking and adequate ingress and egress to parking areas • Adequate drainage • Low noise standards
LAND USE MIX	<ul style="list-style-type: none"> • Small-scale commercial • Planned retail • Office
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Neighborhood Commercial (CN) • Institutional Care (IC) • Commercial Services (CS)
LOCATION	<ul style="list-style-type: none"> • Adjacent to neighborhood • Along local roads

The property has been assigned the CC zoning classification (Exhibit E). According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CC zone is to *“provide areas where commercial uses may be established which are generally oriented toward local residents rather than out of town patrons. Uses typical of this zone include planned retail and office development.”* The CC zone abuts the property on the west, east, and south sides. To the north is Sandy City, and the R-1-8 zone, which allows single family lots on 8,000 square foot lots.

Site Plan and Landscaping Layout. The overall layout of the property will not change (Exhibit F). The applicant will be removing a large cooler that is on the north side of the building and replacing it with landscaping. They will also be adding landscaping and new fencing around the perimeter of the existing outdoor patio (Exhibit G).

Parking. Parking will not be impacted by the changes (Exhibit F). The site was developed as a restaurant, and will remain a restaurant. The site has 23 parking stalls. Hidden Valley Shopping Center was approved with a total number of parking based on the overall square footage of uses. The Hidden Valley Shopping Center Design Guidelines called this area of



the development Area 3 (1300 E to Pineridge Rd and north of Draper Parkway). This area was required to have a total of 352 parking spaces.

The Site has enough drive-thru stacking space for eight vehicles without impacting the parking lot drive aisles. The current Starbucks location has room for six cars to stack, and any overflow creates traffic restrictions with the drive aisles in the parking lot and main development drive aisle. The extra stacking spaces should help with the traffic flow in the parking lot. The sites' overall layout will be less impacted if there is any cars that overflow into parking lot drive aisles given its configuration compared to the existing Starbucks site.

Architecture. The exterior of the façade will be modernized (Exhibit H). The applicant is proposing to remove the decorative gabled roof lines at the entry ways and replace them with extended storefronts. The Storefront areas will contain glass windows, doors, and a taller roof line than the rest of the building. They will also provide projections from the façade wall plane on the existing building. Building materials will include EIFS, CMU, and Fiber Cement Siding. A new 2.5-foot tall board formed concrete wall will be installed around the outdoor patio. While the current code does not allow for the amount of EIFS that is proposed on the building, 49% proposed vs 25% allowed, the Hidden Valley Shopping Center Design Standards call for a unified architectural theme. Stucco and EIFS are a primary material that is used through the development. The modifications will actually reduce the amount of stucco that is currently on the building and add additional materials allowed in the current code.

Criteria For Approval. The criteria for review and potential approval of an Amended Site Plan request is found in Sections 9-5-060(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

- E. Standards For Approval: The following standards shall apply to the approval of a site plan:*
- 1. The entire site shall be developed at one time unless a phased development plan is approved.*
 - 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.*
 - 3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.*
 - 4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.*
 - 5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.*

H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:

- 1. Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:
 - a. The proposed use is consistent with uses permitted on the site;*
 - b. Existing uses were permitted when the site plan was approved, or have received a conditional use permit;*
 - c. The proposed use and site will conform to applicable requirements of this Code;*
 - d. The proposed expansion meets the approval standards of subsection E of this section;*
 - e. The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and**
- 2. If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.*
- 3. If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*
- 4. Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Amended Site Plan submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. Obtain a building permit for the proposed building improvements.

The findings for approval as are follows:

1. The proposed use is consistent with uses permitted on the site.
2. The proposed use is permitted.
3. The proposed use and site will conform to applicable requirements of this Code.
4. The proposed expansion meets the approval standards of subsection E of this section.
5. The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Department

Draper City Planning Division

Draper City Fire Department

Draper City Legal Counsel

Draper City Building Division



EXHIBIT A
DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

None provided.

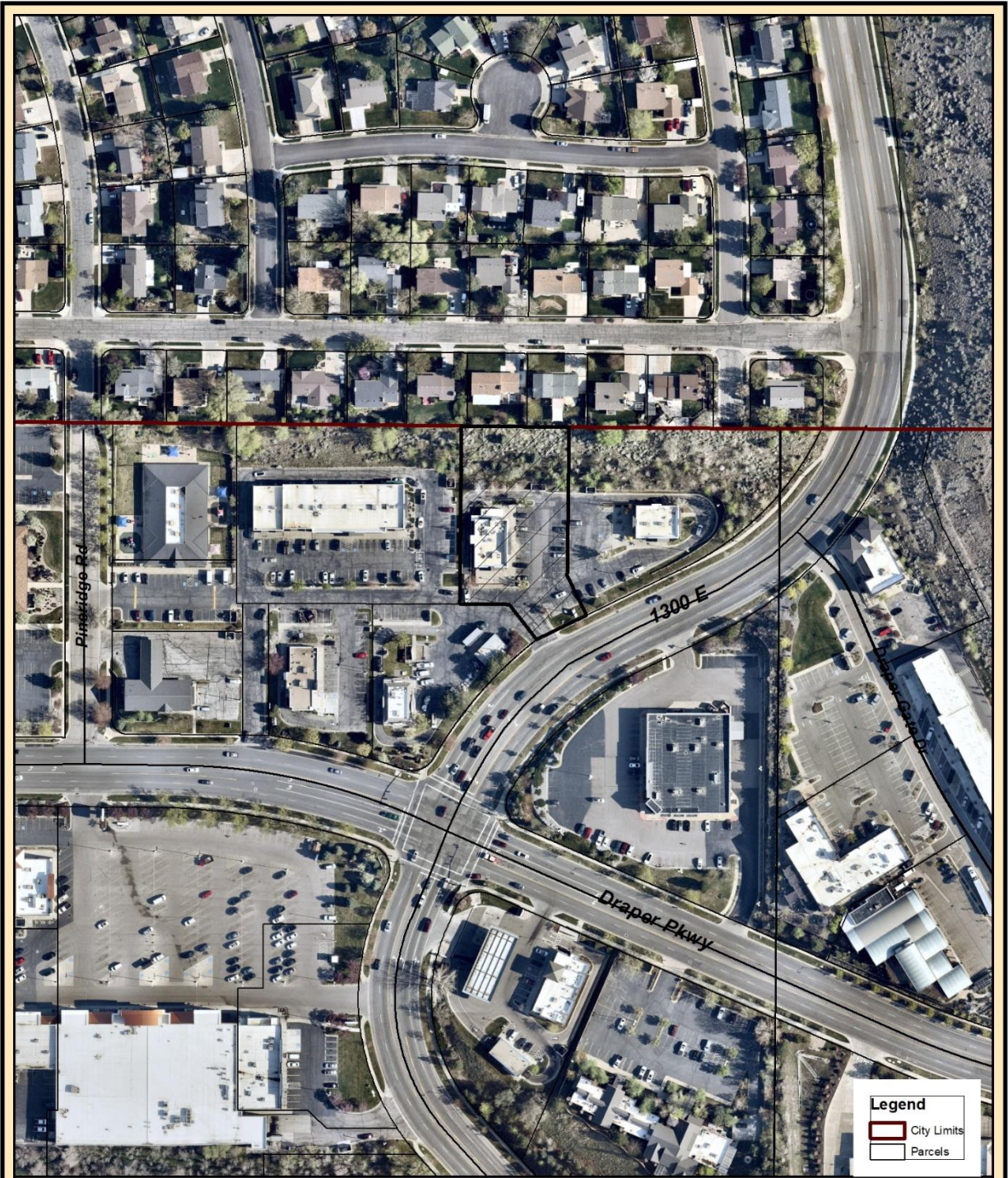
EXHIBIT B VICINITY MAP



**Starbucks
Site Plan Amendment
Vicinity Map**

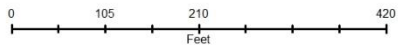


EXHIBIT C AERIAL MAP



Legend

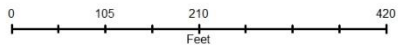
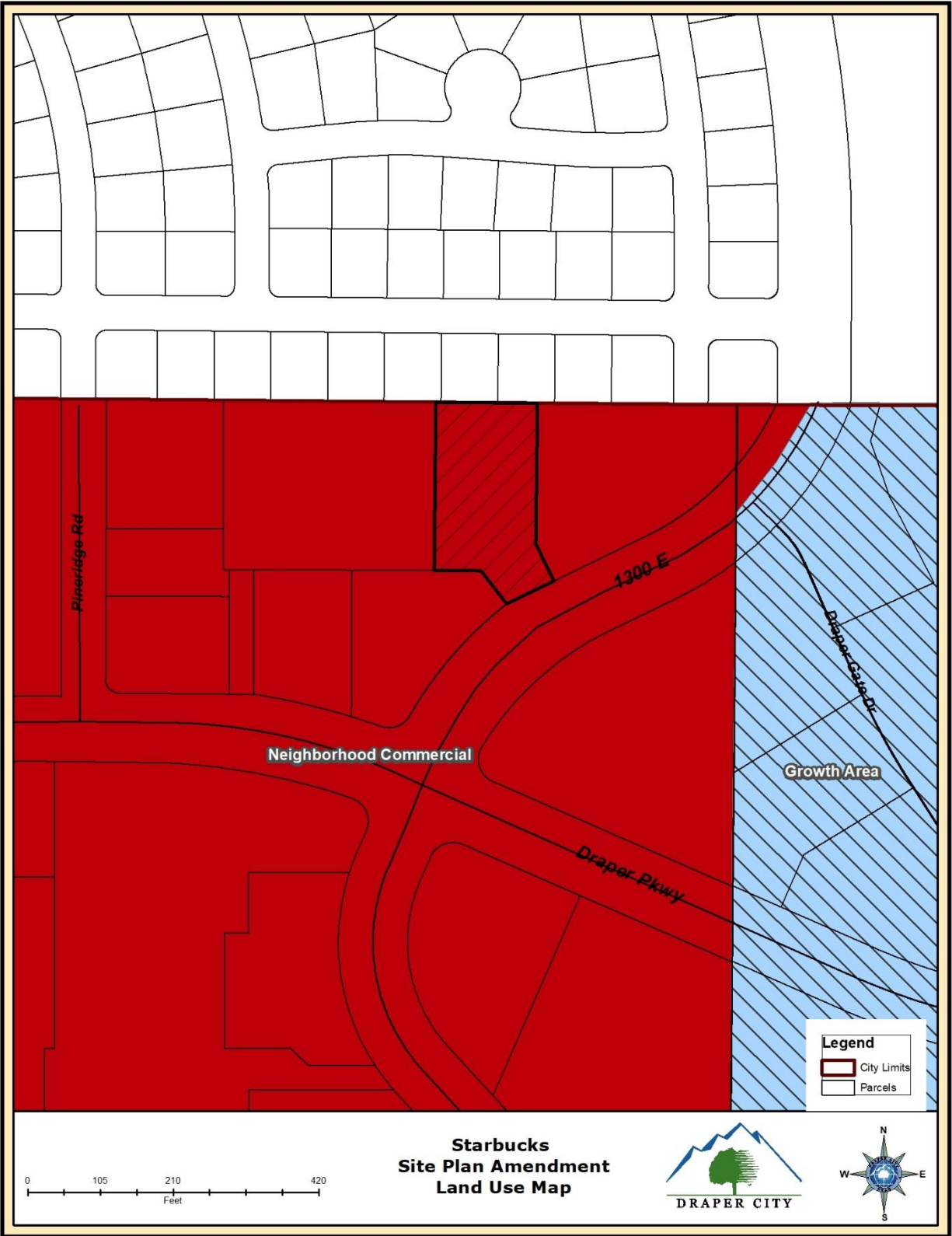
-  City Limits
-  Parcels



**Starbucks
Site Plan Amendment
Aerial Map**



EXHIBIT D LAND USE MAP



**Starbucks
Site Plan Amendment
Land Use Map**

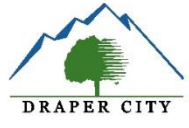
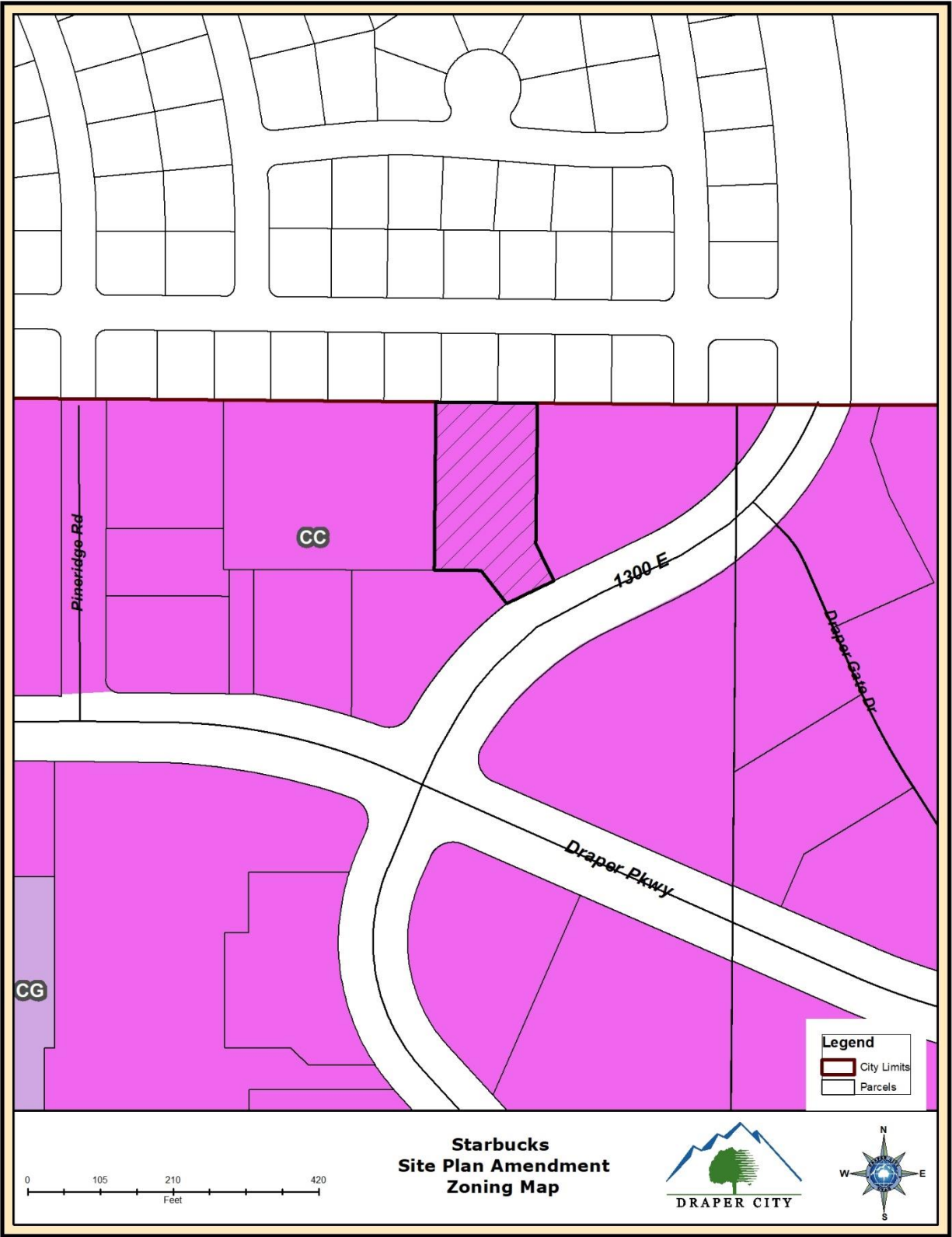


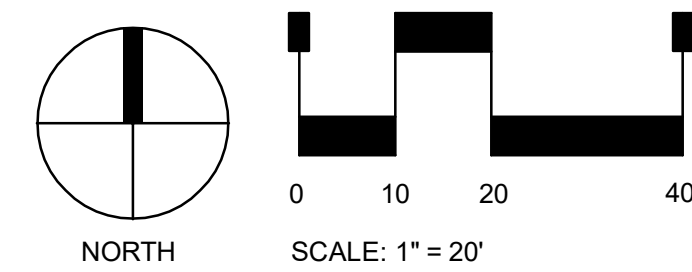
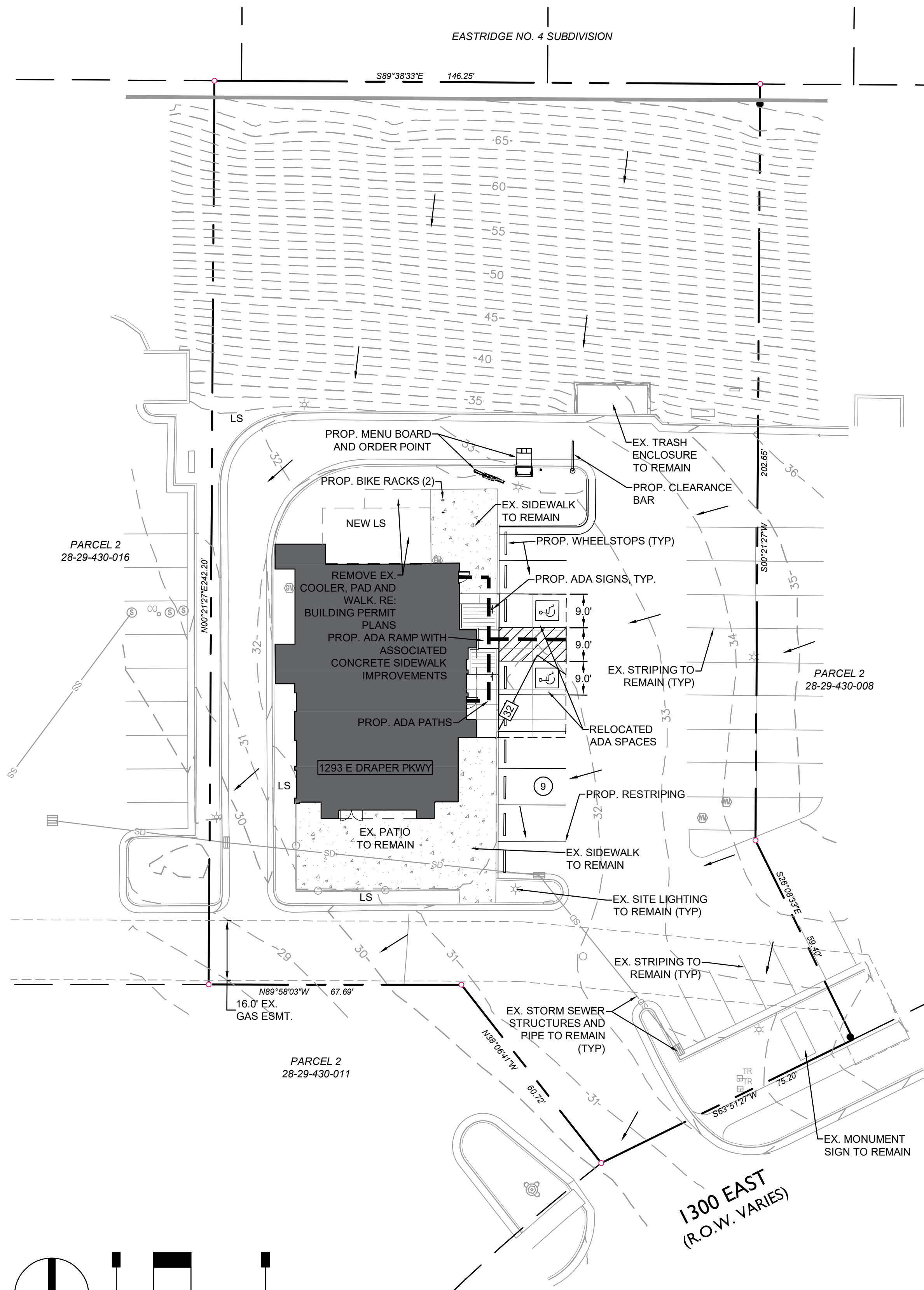
EXHIBIT E ZONING MAP



**Starbucks
Site Plan Amendment
Zoning Map**



**EXHIBIT F
SITE PLAN**



LEGEND

	PROPERTY LINE
	ADJACENT LOT LINE
	EXISTING EASEMENT
	EXISTING CONCRETE
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING PARKING STRIPING
	CONCRETE PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED CURB
	EXISTING PATIO RAILING
	SAWCUT LINE
	PARKING COUNT
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING STORM SEWER
	LANDSCAPE AREA
	SLOPE DIRECTION
	EXISTING FIRE HYDRANT
	EXISTING SANITARY MANHOLE
	EXISTING WATER METER
	EXISTING GAS METER

GENERAL NOTES

- EXISTING UTILITIES TO REMAIN AND BE PROTECTED.

SITE DATA

TOTAL SITE AREA:	38,682 SF (0.89 ACRES)
PROPOSED USE:	COFFEE SHOP WITH DRIVE-THRU
STREET RIGHTS-OF-WAY AREA:	0 SF (0.0%)
BUILDING FOOTPRINT AREA:	3,103 SF (8.0%)
PARKING LOT AREA:	20,044 SF (51.8%)
LANDSCAPE AREA:	15,535 SF (40.2%)
TOTAL IMPERVIOUS AREA:	23,147 SF (59.8%)
PARKING SPACES PROVIDED ON-SITE:	23 (INCLUDING 2 ADA SPACES)
BICYCLE PARKING ADDED:	4 SPACES IN TWO RACKS



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SITE PLAN / ENTITLEMENT SET

PROJECT NAME:
DRAPER PKWY & 1300 E (HIDDEN VALLEY)

PROJECT ADDRESS:
**1293 E. DRAPER PKWY
 DRAPER, UT 84020**

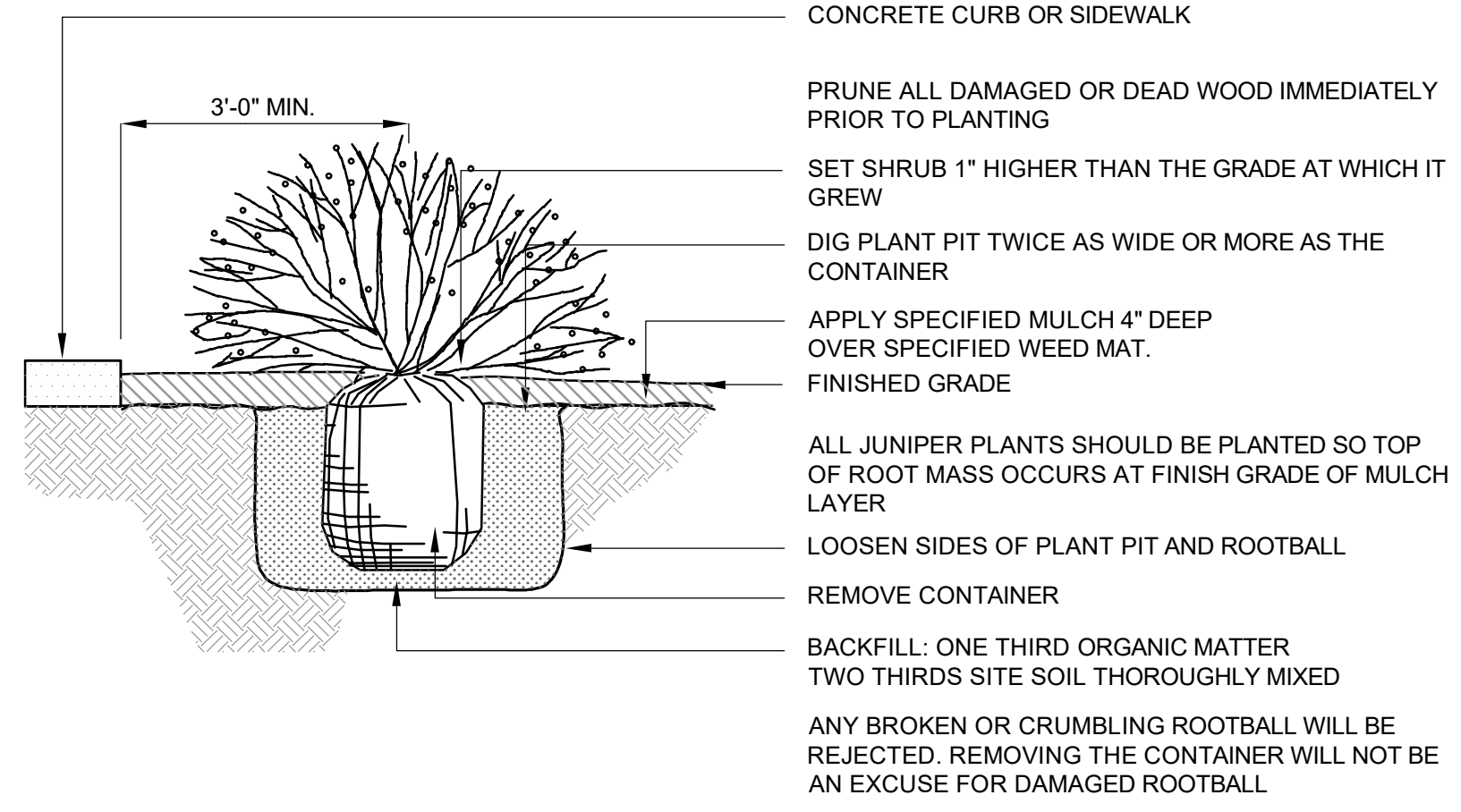
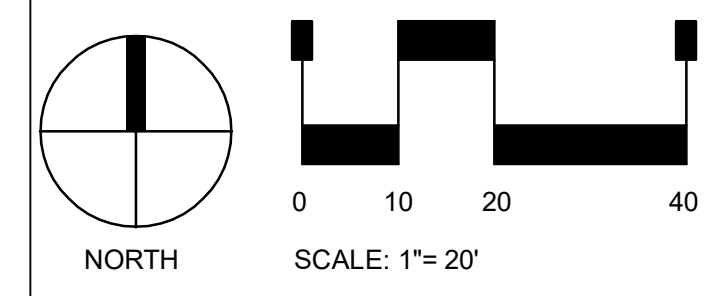
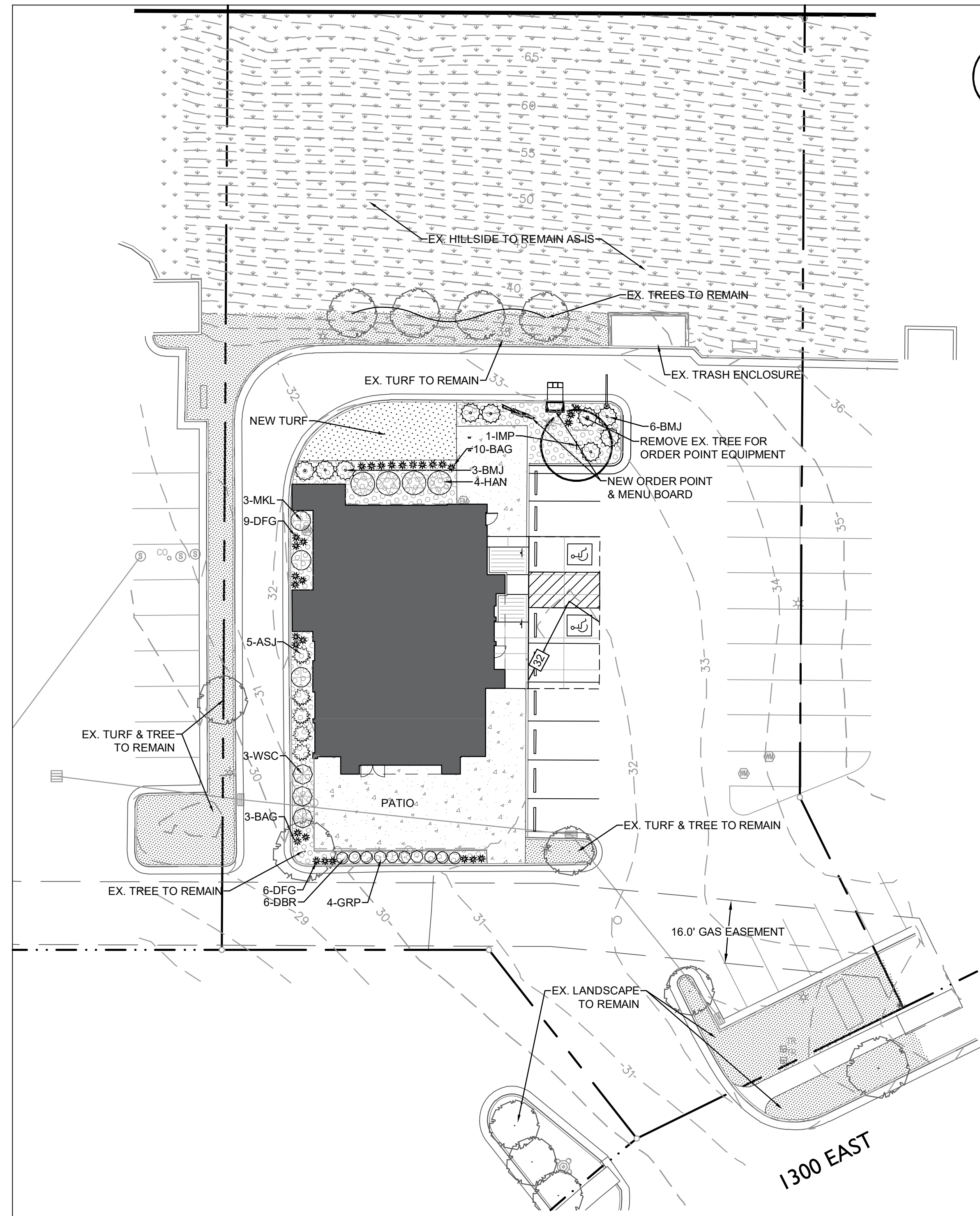
STORE #: **06924**
 PROJECT #: **19800-086**
 ISSUE DATE: 03-15-2022
 DESIGN MANAGER: J. CARVALHO
 PRODUCTION DESIGNER: NEWGROUND
 CHECKED BY:

Revision Schedule			
Rev	Date	By	Description

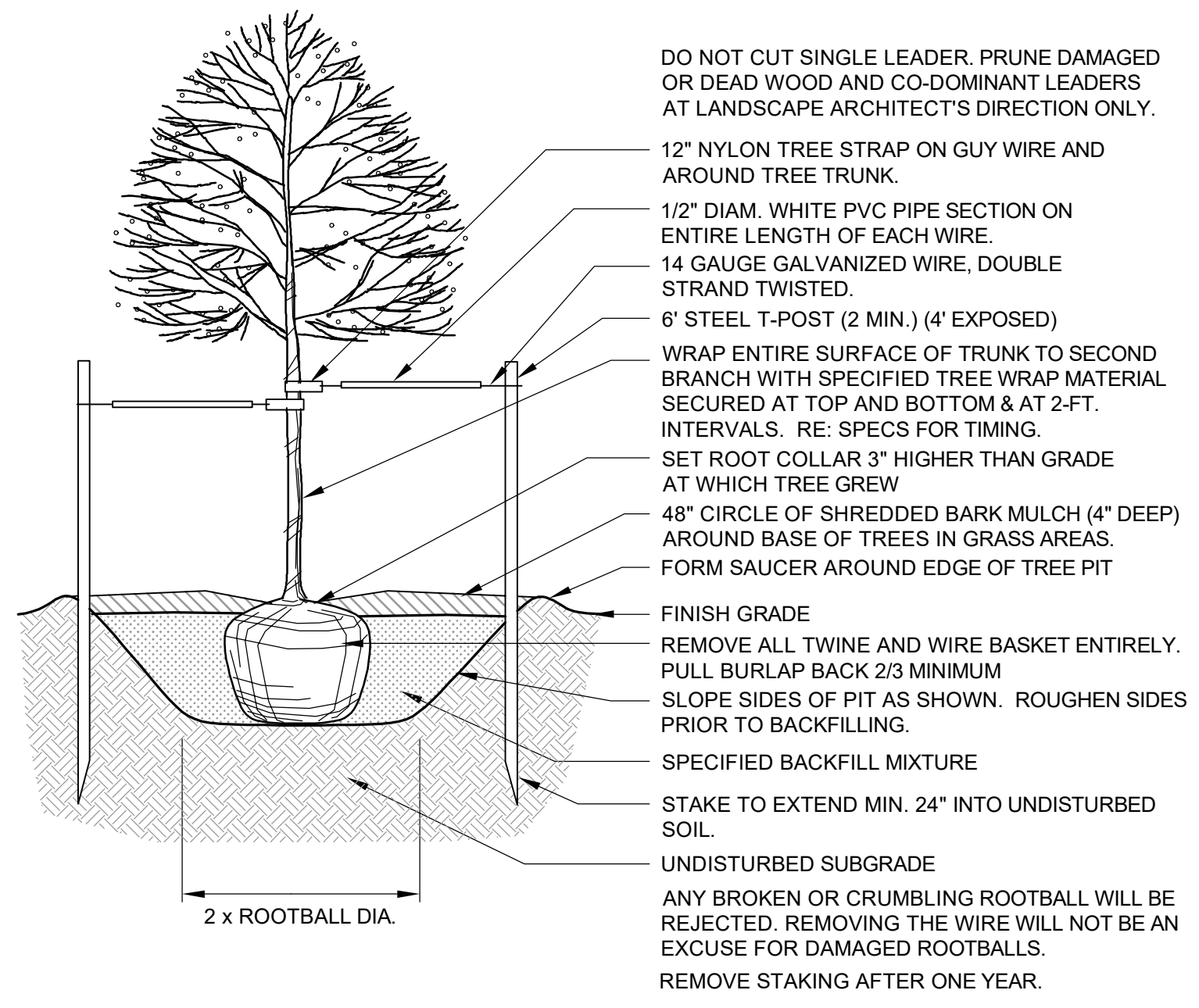
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**SITE / GRADING /
 UTILITY PLAN**
 SCALE: AS SHOWN

SHEET NUMBER:
SP-002

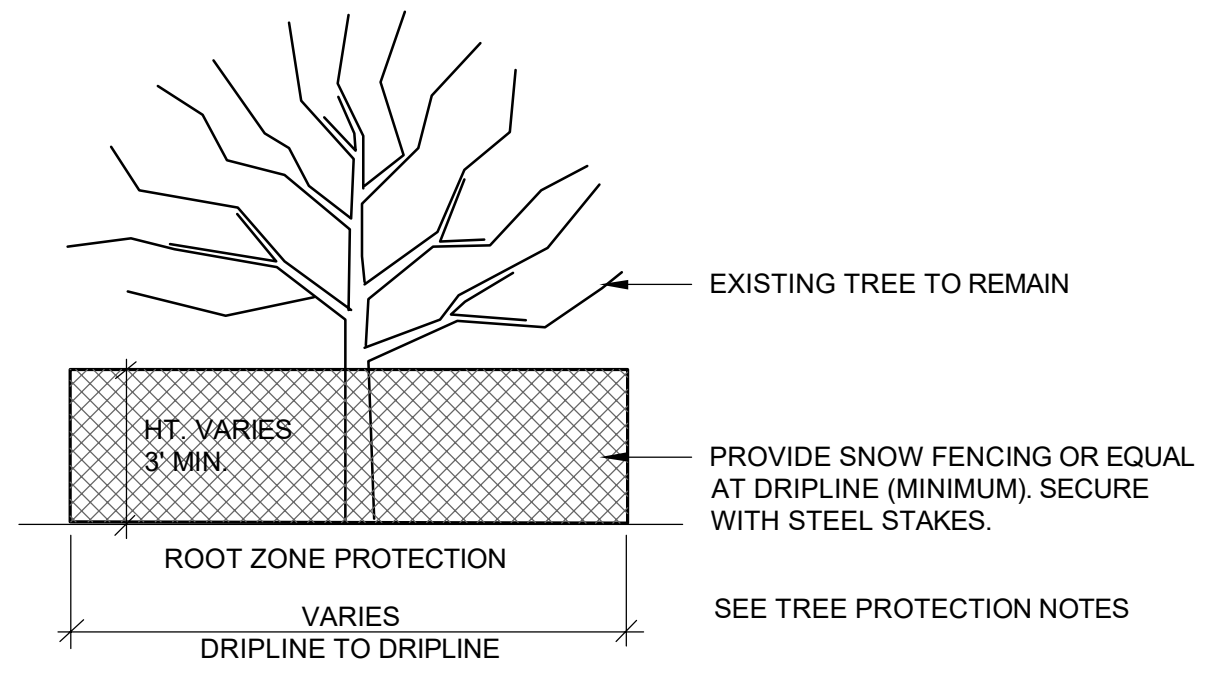
EXHIBIT G
LANDSCAPE PLAN



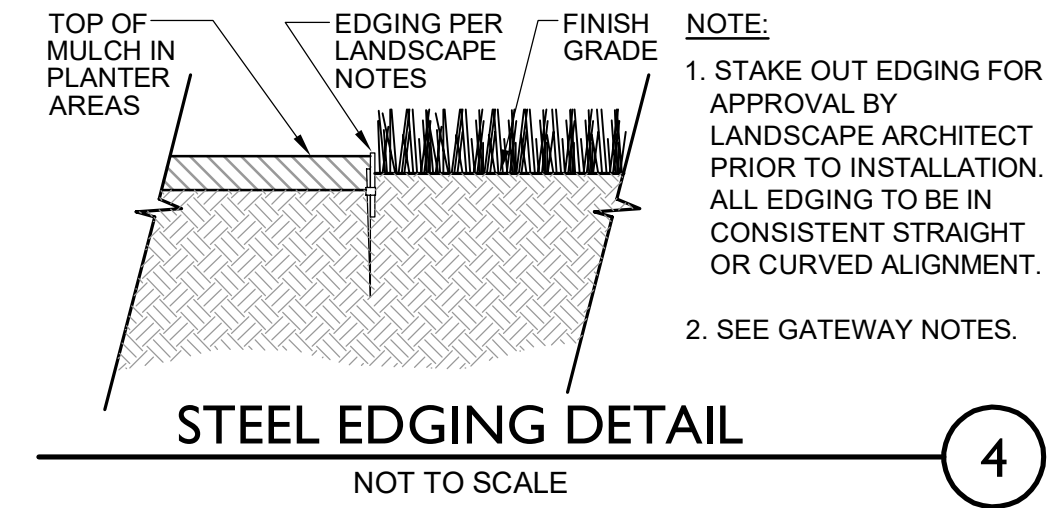
SHRUB PLANTING ①
NOT TO SCALE



SHADE TREE PLANTING ②
NOT TO SCALE



EXISTING TREE PROTECTION ③
NOT TO SCALE



STEEL EDGING DETAIL ④
NOT TO SCALE

LANDSCAPE LEGEND

QTY.	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
CANOPY TREES					
1	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	2" CAL	B&B, SPECIMEN QUALITY
EVERGREEN SHRUBS					
5	ASJ	ARMSTRONG JUNIPER	JUNIPERUS CHINENSIS 'ARMSTRONGII'	5 GAL	CONTAINER
9	BMJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL	CONTAINER, 30" SPREAD MIN
DECIDUOUS SHRUBS					
4	GRP	GLOBE RUSSIAN PEASHRUB	CARAGANA FRUTEX 'GLOBOSA'	5 GAL	CONTAINER
6	DBR	DWARF BLUE RABBITBRUSH	CHRYSOHAMNUS NAUSEOSUS 'DWARF BLUE'	5 GAL	CONTAINER
3	WSC	WESTERN SAND CHERRY	PRUNUS BESSEYI	5 GAL	CONTAINER
4	HAN	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULT 'HANCOCK'	5 GAL	CONTAINER
3	MKL	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	5 GAL	CONTAINER
ORNAMENTAL GRASSES					
16	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPEVIRENS	1 GAL	WELL ESTABLISHED
15	DFG	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	1 GAL	WELL ESTABLISHED

- ⊕ EXISTING DECIDUOUS TREE, TO REMAIN
- ▨ EXISTING TURF, TO REMAIN
- ▩ EXISTING NATURALIZED SLOPE, TO REMAIN
- ▧ NEW TURF AREA
- ▦ ROCK MULCH IN PLANTING BEDS, MATCH EXISTING

LANDSCAPE NOTES

- COMPLIANCE: CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES. GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING: TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- EDGER: INSTALL 4" ROLL-TOP RYERSON STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL BETWEEN ALL SOD OR SEEDED AREAS AND MULCHED AREAS.
- MULCH: INSTALL ROCK MULCH THAT MATCHES EXISTING, PLACED OVER DEWITT PRO 5 FILTER FABRIC, 3" DEEP IN ALL PLANTING AREAS UNLESS OTHERWISE SHOWN. (SUBMIT SAMPLES)
- IRRIGATION: ALL LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL EXISTING (TO REMAIN) AND PROPOSED PLANT MATERIAL. BECAUSE THIS SITE IS A RETROFIT, ALL IRRIGATION DESIGN SHALL BE DESIGN/BUILD IN THE FIELD TO UPDATE AND CHANGE THE EXISTING SYSTEM.

LANDSCAPE DATA

TOTAL SITE LANDSCAPE:
TOTAL SITE AREA: 38,682 SF
TOTAL LANDSCAPE AREA: 15,752 SF (40.2%)

PARKING LOT LANDSCAPE REQUIRED: 7%
TOTAL PARKING LOT AREA: 11,148 SF
= 780 SF REQUIRED
PROVIDED PARKING LOT LANDSCAPE: 1,264 SF (11.3%)

TREE & SHRUB PROTECTION NOTES

- CONTRACTORS SHALL COMPLY WITH THESE NOTES AND THE CITY OF DRAPER STANDARDS FOR ALL EXISTING TREES TO REMAIN.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE. CITY OF CENTENNIAL MAY STOP CONSTRUCTION IF TREE PRESERVATION MEASURES ARE NOT IN PLACE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED. THE SLOPED AREA ON THE NORTH SIDE OF THE SITE CAN BE FENCED AT THE BACK OF CURB.
- FENCING SHALL BE 3 FEET TALL SNOW FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- CONSTRUCTION VEHICLES OR MACHINERY MAY NOT PASS BETWEEN TWO OR MORE EXISTING TREES IDENTIFIED FOR PRESERVATION IF THEIR CANOPIES ARE WITHIN 10 FEET OF TOUCHING. ADDITIONAL FENCING MAY BE REQUIRED.
- THE CONTRACTOR IS REQUIRED TO HAVE AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) ON SITE IF SITE CONSTRUCTION EFFORTS REQUIRE REMOVAL OF EXISTING ROOTS OR BRANCH PRUNING.
- UNAUTHORIZED TREE REMOVAL OR DAMAGE IS SUBJECT TO REPLACEMENT EQUAL TO THE APPRAISED VALUE OF THE TREE LOST. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF ALL EXISTING TREES TO REMAIN, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES AND SHRUBS TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. AN EARTH BERM MEASURING MINIMUM 6 FEET IN DIAMETER, AND 6 INCHES IN HEIGHT SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS A TEMPORARY WATERING BASIN DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE SPECIES REQUIREMENTS.



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STARBUCKS TEMPLATE VERSION: i2021.10.22

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SITE PLAN / ENTITLEMENT SET

PROJECT NAME:
DRAPER PKWY & 1300 E (HIDDEN VALLEY)

PROJECT ADDRESS:
**1293 E DRAPER PKWY
DRAPER, UT 84020**

STORE #: 06924
PROJECT #: 19800-086
ISSUE DATE: 03-15-2022
DESIGN MANAGER: J. CARVALHO
PRODUCTION DESIGNER: NEWGROUND
CHECKED BY:

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
LANDSCAPE PLAN

SCALE: AS SHOWN

SHEET NUMBER:
SP-003

**EXHIBIT H
ELEVATIONS**



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(HIDDEN VALLEY)**

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DRAPER, UT 84020**

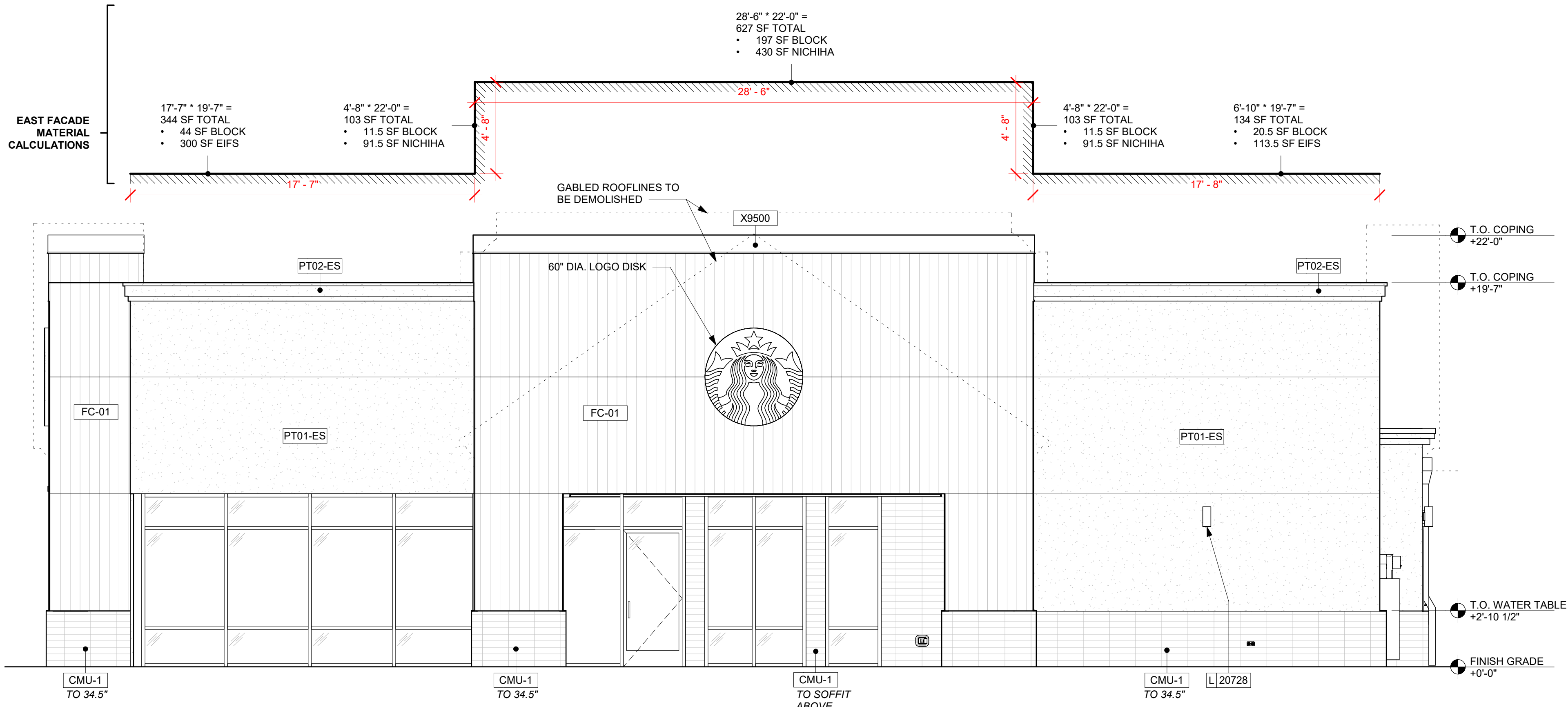
STORE #: 06924
PROJECT #: 19800-086
ISSUE DATE: 04/6/2022
DESIGN MANAGER: J. CARVALHO
PRODUCTION DESIGNER: NEWGROUND
CHECKED BY:

Revision Schedule			
Rev	Date	By	Description
2/4/22	RS		SITE PLAN SUBMITTAL
3/9/22	RS		SITE PLAN REVISION 1
4/25/22	RS		SITE PLAN REVISION 2

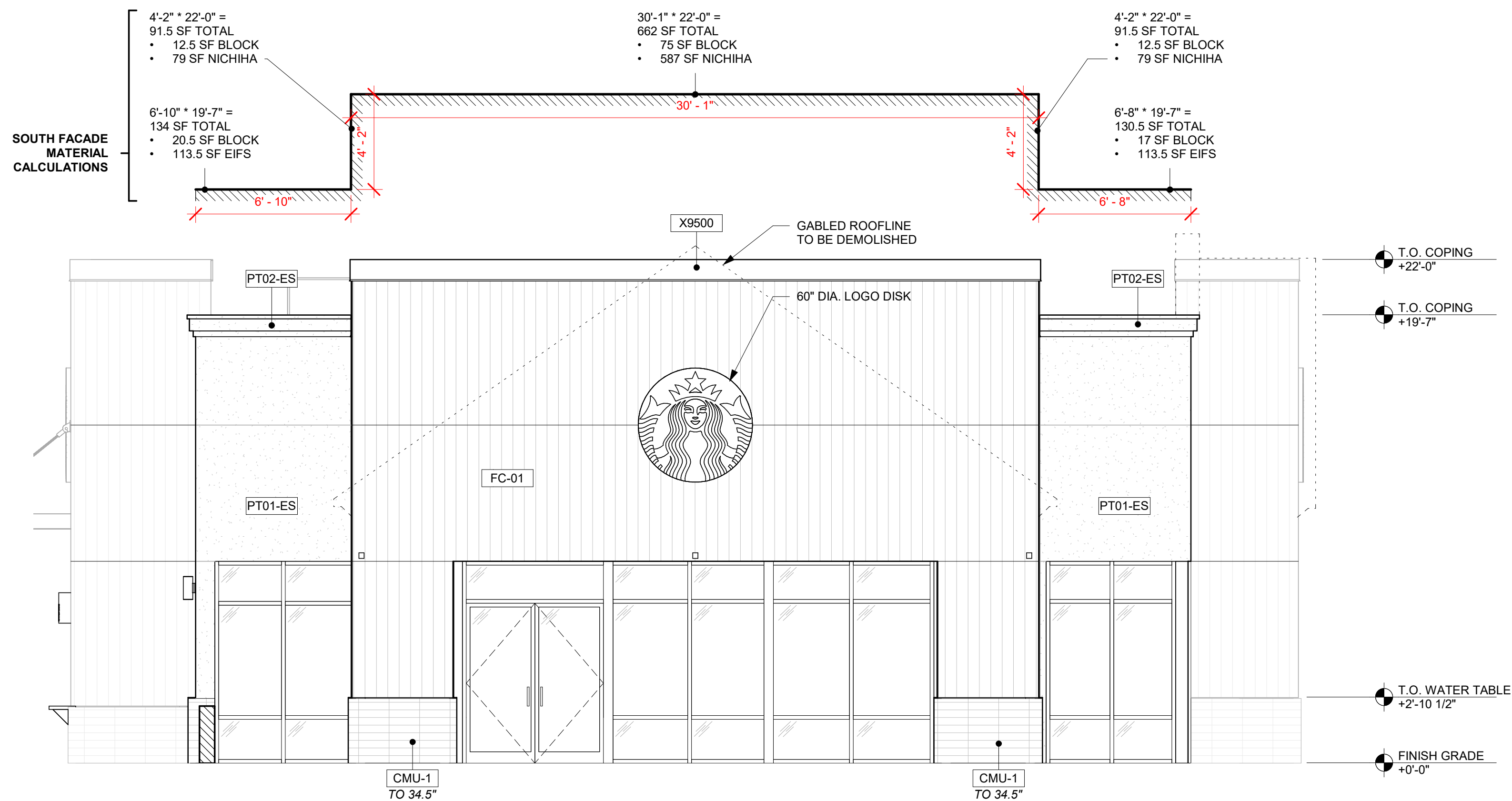
SHEET TITLE:
BUILDING ELEVATIONS

SCALE: AS SHOWN

SHEET NUMBER:
SP-004



2 PROPOSED ELEVATION - EAST
Scale: 1/4" = 1'-0"



1 PROPOSED ELEVATION - SOUTH
Scale: 1/4" = 1'-0"

LEGEND

	PT02-ES SHERWIN-WILLIAMS, SW 7048 "URBANE BRONZE" EXISTING EIFS CORNICES TO BE REPAINTED PROVIDE NEW X9500 METAL COPINGS TO MATCH		20728 UP/DOWN LED WALL SCONCE KICHLER 11251 TEXTURED ARCHITECTURAL BRONZE COLOR
	PT01-ES SHERWIN-WILLIAMS, SW 7030 "ANEW GRAY" EXISTING EIFS TO BE REPAINTED		22275 LED SECURITY LIGHT LITHONIA WEDGE1 TEXTURED ARCHITECTURAL BRONZE COLOR
	FC-01 NICHIIHA VINTAGEWOOD FIBER CEMENT SIDING: "CEDAR" COLOR, VERTICAL ORIENTATION.		RK-01 OLYMPIA BIKE RACK FORMS + SURFACES ARCHITECTURAL BRONZE COLOR
	CMU-1 GROUND FACE CONCRETE BLOCK WATER TABLE: 4X16 SIZE, STACK BOND BASALITE 807WR COLOR BLEND, WITH WET-LOOK SEALER		
	CONC-1 BOARD-FORMED CONCRETE GARDEN WALL 6" PLANK CEDAR TEXTURE SPEC FORMLINERS #1224 OR CUSTOMROCK #6005		

BUILDING MATERIAL CALCS						
MATERIAL	SOUTH	EAST	NORTH	WEST	TOTAL BY MATERIAL	OVERALL MTL. %
EIFS (PT01/PT02)	227 SF (21%)	413.5 SF (32%)	817.5 SF (85%)	974 SF (60%)	2,432 SF	49%
BLOCK (CMU-1)	137.5 SF (12%)	284.5 SF (21%)	148.5 SF (15%)	230 SF (15%)	800.5 SF	16%
NICHIIHA (FC-01)	745 SF (67%)	613 SF (47%)	0 SF (0%)	411 SF (25%)	1,769 SF	35%
TOTALS BY SIDE	1109.5 SF	1311 SF	966 SF	1615 SF		



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STARBUCKS TEMPLATE VERSION: i2021.10.22

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SITE PLAN / ENTITLEMENT SET

PROJECT NAME:
**DRAPER PKWY & 1300 E
(HIDDEN VALLEY)**

PROJECT ADDRESS:
**1293 E DRAPER PKWY
DRAPER, UT 84020**

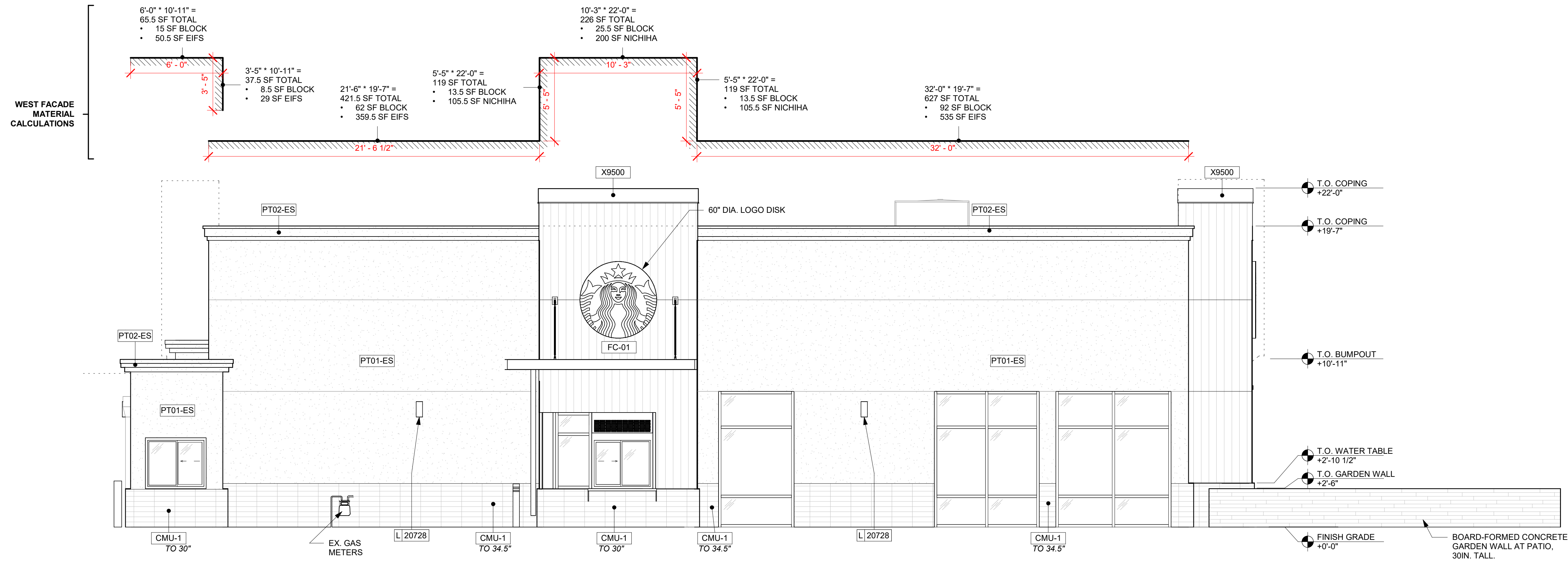
STORE #: 06924
PROJECT #: 19800-086
ISSUE DATE: 04/6/2022
DESIGN MANAGER: J. CARVALHO
PRODUCTION DESIGNER: NEWGROUND
CHECKED BY:

Revision Schedule			
Rev	Date	By	Description
2/4/22	RS		SITE PLAN SUBMITTAL
3/9/22	RS		SITE PLAN REVISION 1
4/25/22	RS		SITE PLAN REVISION 2

SHEET TITLE:
BUILDING ELEVATIONS

SCALE: AS SHOWN

SHEET NUMBER:
SP-005



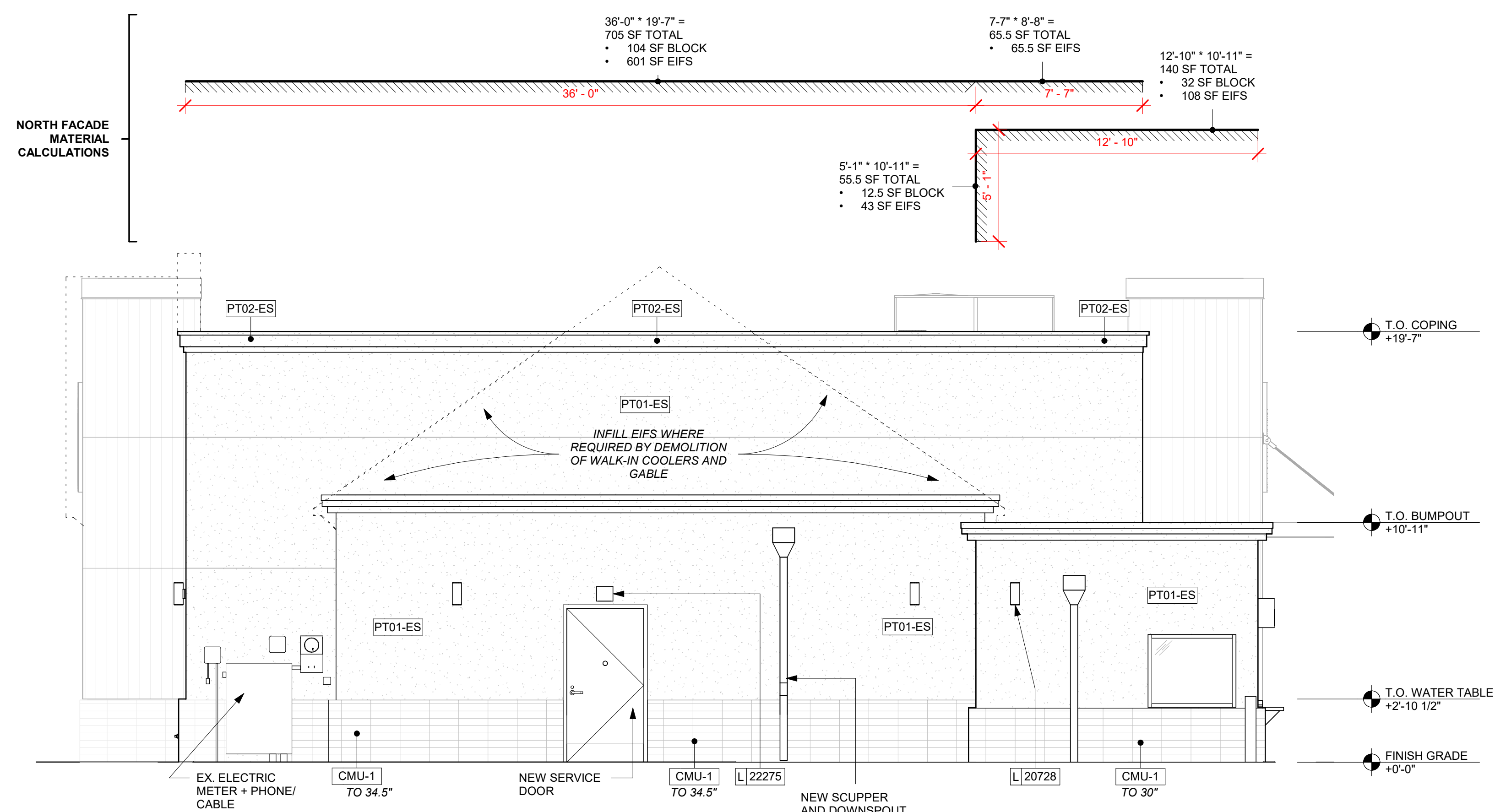
2 PROPOSED ELEVATION - WEST
Scale: 1/4" = 1'-0"

LEGEND

- PT02-ES** SHERWIN-WILLIAMS, SW 7048 "URBANE BRONZE"
EXISTING EIFS CORNICES TO BE REPAINTED
PROVIDE NEW X9500 METAL COPINGS TO MATCH
- PT01-ES** SHERWIN-WILLIAMS, SW 7030 "ANEW GRAY"
EXISTING EIFS TO BE REPAINTED
- FC-01** NICHIHA VINTAGEWOOD FIBER CEMENT SIDING: "CEDAR" COLOR, VERTICAL ORIENTATION.
- CMU-1** GROUND FACE CONCRETE BLOCK WATER TABLE: 4X16 SIZE, STACK BOND BASALITE 807WR COLOR BLEND, WITH WET-LOOK SEALER
- CONC-1** BOARD-FORMED CONCRETE GARDEN WALL 6" PLANK CEDAR TEXTURE SPEC FORMLINERS #1224 OR CUSTOMROCK #6005
- 20728** UP/DOWN LED WALL SCONCE KICHLER 11251 TEXTURED ARCHITECTURAL BRONZE COLOR
- 22275** LED SECURITY LIGHT LITHONIA WDG1 TEXTURED ARCHITECTURAL BRONZE COLOR
- RK-01** OLYMPIA BIKE RACK FORMS + SURFACES ARCHITECTURAL BRONZE COLOR

BUILDING MATERIAL CALCS

MATERIAL	SOUTH	EAST	NORTH	WEST	TOTAL BY MATERIAL	OVERALL MTL. %
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1 PROPOSED ELEVATION - NORTH
Scale: 1/4" = 1'-0"