



Development Review Committee

1020 East Pioneer Road
Draper, Utah 84020

STAFF REPORT

November 8, 2021

To: Jennifer Jastremsky, Zoning Administrator

Approved

Date

From: Maryann Pickering, AICP, Planner III
(801) 576-6391 or maryann.pickering@draperutah.gov

Re: T-Mobile SL01115A VZW Suncrest Water Tank – Permitted Use Permit Request

Application No.: USE-159-2021
Applicant: Declan Murphy for T-Mobile
Project Location: Approximately 15025 S Traverse Ridge Road
Current Zoning: RM (Multiple Family Residential) Zone
Acreage: Approximately 5.06 acres (approximately 220,631 square feet)
Request: Request for approval of a permitted use permit in the RM zone regarding an existing wireless facility equipment upgrade.

SUMMARY AND BACKGROUND

This application is a request for approval of a Permitted Use Permit for approximately 5.06 acres located on the south side of Traverse Ridge Road, at approximately 15025 Traverse Ridge Road (Exhibit B). The property is currently zoned RM. The property is owned by Draper City and is currently used as a stealth wireless facility that is built as a water tank. The applicant is requesting that a permitted use permit be approved to allow for an equipment upgrade on an existing wireless facility. The current application pertains to the existing wireless facility known as SL01115A.

The site was approved in 2011 and equipment upgrades are a regular maintenance activity for wireless communication companies as technology changes and demand increases. The



subject property is in the Suncrest Development Agreement area requirements and as such is reviewed against the 1999 Draper City Municipal Code (DCMC). The 1999 DCMC Section 9-3-240 addresses Wireless Facilities.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Open Space/Parks land use designation for the subject property (Exhibit C). This category is characterized as follows:

Open Space and Parks

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Applies to natural areas that have the potential to be permanent open space • Efforts should continue to preserve mountainous areas, drainage and riparian areas with attractive indigenous vegetation • Areas designated as permanent natural open space should be placed within a conservation easement
LAND USE MIX	<ul style="list-style-type: none"> • City's established parks • Public/private golf courses • Greenbelts/linear parks • Large retention areas that have recreational potential • Natural area open space
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Public Open Space (OS) • Agricultural (A2) • Agricultural (A5)
OTHER CRITERIA	<ul style="list-style-type: none"> • A variety of methods can be used to preserve these areas, including easements, dedications, and acquisition, some with the potential of having tax relief benefits

The property has been assigned the RM zoning classification (Exhibit D). According to the 1999 DCMC Section 9-4-030; the purpose of the RM zone is *"To provide areas for low-to-medium residential density with opportunity for varied housing styles and character, providing for a maximum density of up to twelve (12) units per acre for medium to high density residential unit projects subject to conditional-use permit procedures and conditions for this type of use and based on minimum development guidelines adopted by the City."* RM zoning abuts the subject property on the north, west and south; CR (Regional Commercial) is to the east.

Requested Modification. The applicant is proposing an upgrade to the existing equipment within the tower. The applicant will add hybrid cables and radio modules to each existing sector. Equipment will also be upgraded in the existing cabinet at the base of the tower. No changes will be made to the tower height, the area used for the wireless facility, or fencing. The proposed plan set is included at Exhibit E.



Criteria For Approval. The criteria for review and potential approval of a Permitted Use Permit request are found in Section 9-2-100 of the 1999 DCMC. This section depicts the standard of review and approval for complete applications:

Section 9-2-100. Types of Approval Processes.

Upon completion of the initial application process and classification by the Building Official/Zoning Administrator and its staff, the applicant would then be directed to one or more of the following approval processes which are provided for in this Title.

Section 9-2-102. Permitted Uses.

The applicant's intended building, use or occupancy may be permitted within the respective zone district under this Title and upon determination by the Building Official/Zoning Administrator a building, use, or occupancy permit may issue directly upon completion of the initial application process if authorized by the Council.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Permitted Use Permit submission. Comments from these divisions, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the 1999 DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

The condition of approval are as follows:

1. The applicant shall obtain all applicable permits from Draper City Fire and the Building Division for this upgrade.

The findings for approval as are follows:

1. That the proposed changes will comply with the 1999 DCMC Section 9-3-240 Wireless Telecommunications Facilities and the Suncrest Development Agreement guidelines.
2. That the proposed changes will have no perceptible visual impact.



DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Department

Draper City Planning Division

Draper City Fire Department

Draper City Legal Counsel

Draper City Building Division



EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review

No additional comments provided.

Engineering and Public Works Divisions Review.

No additional comments provided.

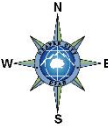
Fire Division Review.

1. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed on every level of the home. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.
2. Fire Department Access is required to be maintained. Vehicles cannot park in such a way to impede fire department or emergency vehicle access.
3. Hazardous Material Permit – A Draper City Fire Hazardous Material Permit may need to be obtained. This is for all new and existing installations.

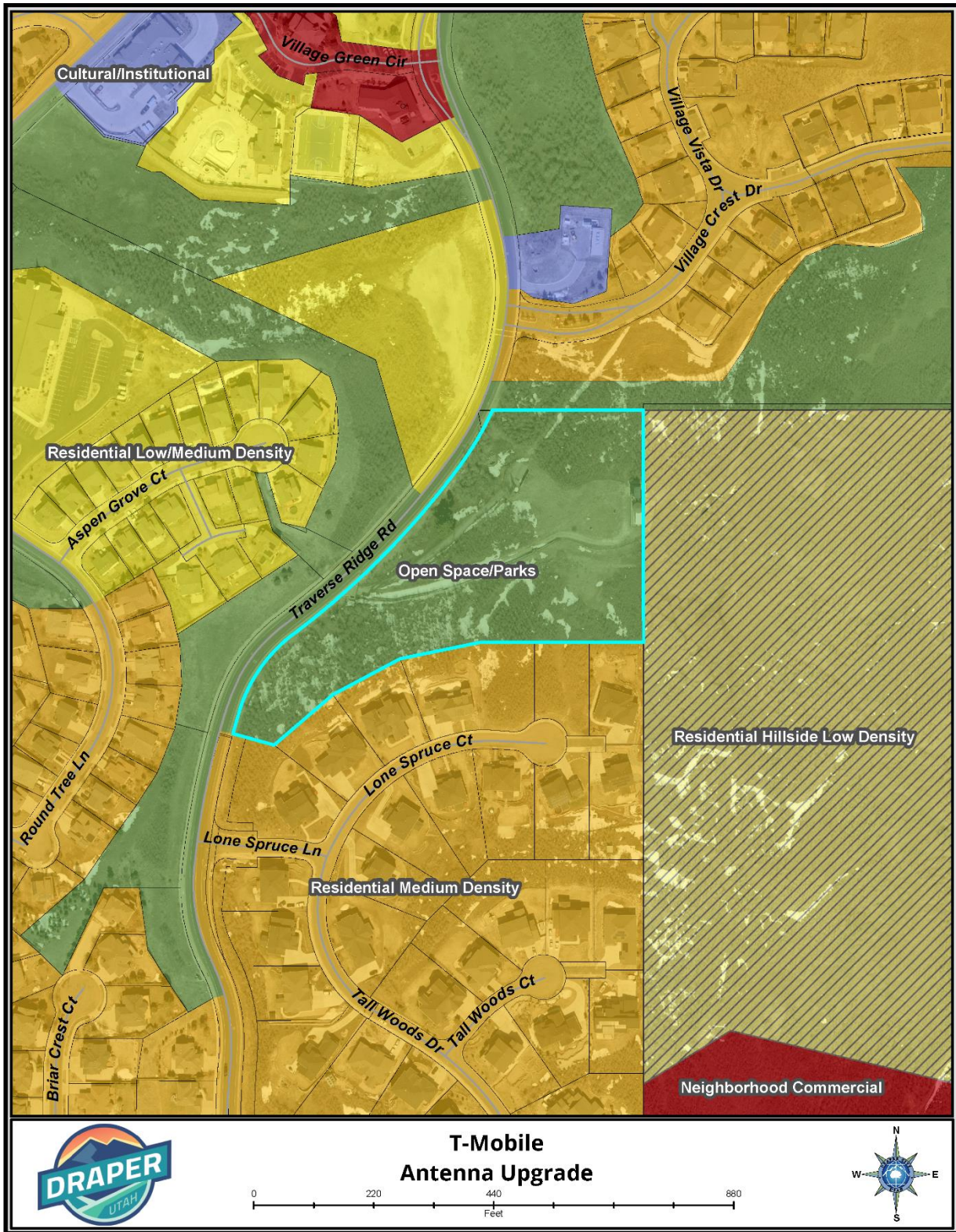
**EXHIBIT B
AERIAL MAP**



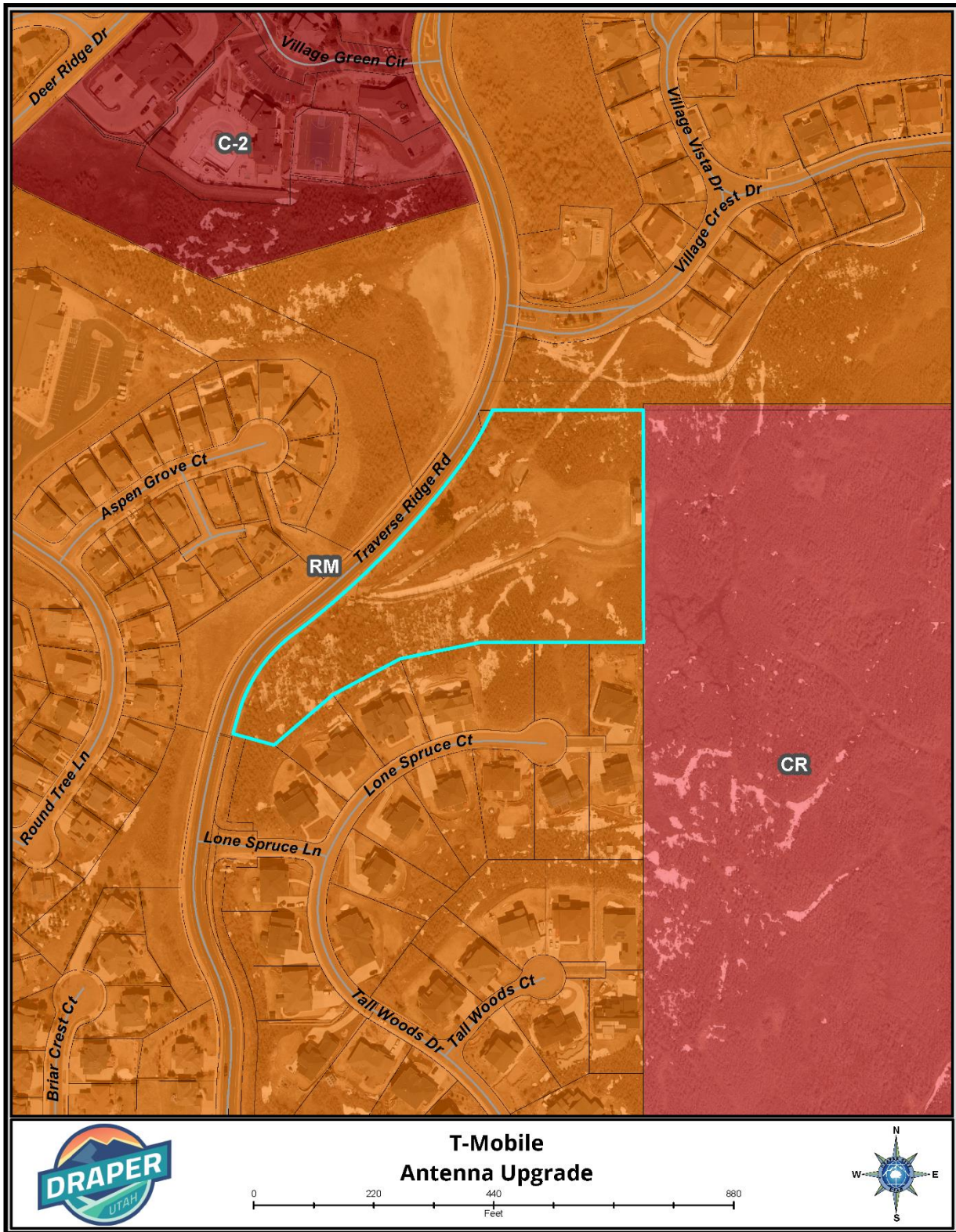
**T-Mobile
Antenna Upgrade**



**EXHIBIT C
LAND USE MAP**



**EXHIBIT D
ZONING MAP**



**T-Mobile
Antenna Upgrade**



EXHIBIT E
PROPOSED PLANS

T-Mobile

SITE #: SL01115A
SITE NAME: VZW SUNCREST WATER TANK
STATE: UTAH
COUNTY: UTAH COUNTY
DESIGN TYPE: L600

CLIENT



121 ELECTION RD.
 DRAPER, UTAH 84020

CONSULTANT



8283 N. HAYDEN RD., STE 258
 SCOTTSDALE, ARIZONA 85258
 PHONE: (602) 429-0533 FAX: (480) 638-2852

ENGINEER OF RECORD

TERRA DYNAMIC ENGINEERING, LLC



P.O. BOX 22131, PHOENIX, AZ 85028
 PHONE: (602) 482-1603
 EMAIL: ROBERT@TERRADYNAMIC.US

SEAL

NO.	DATE	DESCRIPTION	BY
1	07/07/21	REVIEW	REW

PROJECT INFORMATION
 JOB: 03-142-04

**SL01115A VZW
 SUNCREST WATER
 TANK**

15025 S. TRAVERSE RIDGE RD.
 DRAPER, UTAH 84020

SHEET TITLE

**TITLE SHEET, VICINITY
 MAP & GENERAL
 INFORMATION**

JURISDICTIONAL APPROVAL

SHEET NUMBER

T-1

CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2015 NATIONAL ELECTRICAL CODE

ACCESSIBILITY REQUIREMENTS:

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE CURRENT INTERNATIONAL BUILDING CODE.

ENGINEERS NOTES:

- IF A DISCREPANCY ARISES BETWEEN THE DRAWINGS AND FIELD CONDITIONS, OR WHERE A DETAIL IS DOUBTFUL OF INTERPRETATION, OR AN UNANTICIPATED FIELD CONDITION IS ENCOUNTERED, THE ENGINEER SHALL BE CALLED IMMEDIATELY FOR PROCEDURE TO BE FOLLOWED. SUCH INSTRUCTIONS SHALL BE CONFIRMED IN WRITING AND DISTRIBUTED TO ALL AFFECTED PARTIES.
- THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS, OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DRAWING AND/OR DOCUMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER LAYOUT OF IMPROVEMENTS BASED UPON SETBACKS/ PROPERTY LINE LOCATION, DIMENSIONAL RELATIONSHIPS TO EQUIPMENT ARE APPROXIMATE AND ARE FOR ILLUSTRATIVE PURPOSES ONLY.
- CONTRACTOR TO MAINTAIN ALL DRAINAGE PATHS FREE FROM ANY OBSTRUCTIONS (I.E. DEBRIS AND SILT).
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM EQUIPMENT.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR AND ENGINEER OF RECORD.
- SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR. ROUTING OF TRENCHING SHALL BE APPROVED BY CONTRACTOR

UTILITY NOTES:

- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUESTAKE AT LEAST TWO FULL WORKING DAYS (48 HOURS) PRIOR TO BEGINNING OF ANY EXCAVATING.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL STRUCTURES, UNDERGROUND PIPELINES, ELECTRIC AND TELEPHONE CONDUITS, EITHER SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY CONSTRUCTION, AND TO OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO THESE FACILITIES. THE ENGINEERING AND/OR DEVELOPER WILL NOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS.
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL UTILITY CONNECTIONS.

PROJECT SUMMARY

PROPERTY LOCATION:
 15025 S. TRAVERSE RIDGE RD.
 DRAPER, UTAH 84020

PROPERTY OWNER:
 DRAPER CITY
 1020 E. PIONEER RD
 DRAPER, UTAH 84020

PARCEL: 110100063
ZONING CLASSIFICATION: N/A
JURISDICTION: DRAPER CITY
LAT: 40.47864300
LONG: -111.83366500

PROJECT DESCRIPTION

T-MOBILE PROPOSES TO:

- RETAIN (3) EXISTING HYBRID CABLES
- ADD (3) HYBRID CABLES, (1) PER SECTOR
- ADD (3) NEW RADIO MODULES, (1) PER SECTOR
- ADD (2) NEW PSU 4813 IN EXISTING CABINET

PROJECT TEAM

PROJECT MANAGER:
 T-MOBILE
 121 ELECTION RD.
 DRAPER, UTAH 84020
 CONTACT: RAQUEL ELLIS
 PHONE: (425) 279-4286
 EMAIL: RAQUEL.COLLINS26@T-MOBILE.COM

CONSTRUCTION MANAGER:
 COAL CREEK CONSULTING
 2166 E. UNIVERSITY DR., STE 201
 TEMPE, AZ 85281
 CONTACT: IAN WALKER
 PHONE (801) 946-8585

SITE ACQ. CONSULTANT:
 COAL CREEK CONSULTING
 2166 E. UNIVERSITY DR., STE 201
 TEMPE, ARIZONA 85281
 CONTACT: JACOB RYNES
 PHONE: (480) 204-8226

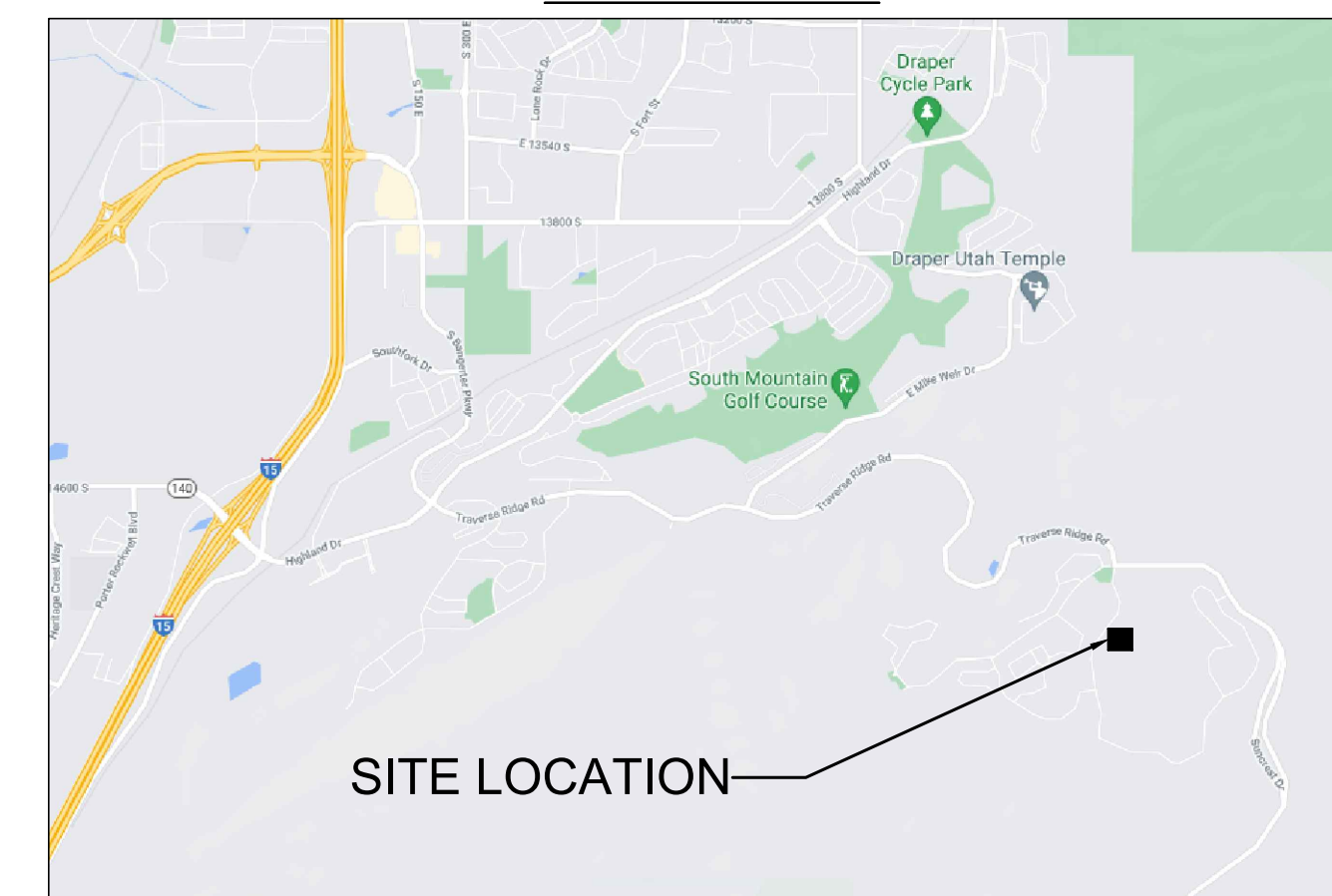
A&E DESIGN:
 COAL CREEK CONSULTING
 2166 E. UNIVERSITY DR., STE 201
 TEMPE, AZ 85281
 CONTACT: SHAWN EVANS
 PHONE (602) 758-5829

CIVIL ENGINEER:
 TERRA DYNAMIC ENGINEERING, LLC
 P.O. BOX 22131
 PHOENIX, ARIZONA 85028
 CONTACT: ROBERT ORLANDO
 PHONE (602) 482-1603
 EMAIL:ROBERT@TERRADYNAMIC.US

SHEET INDEX

- T-1 TITLE SHEET, VICINITY MAP & GENERAL INFO.
- CIVIL:
- C-1 SITE PLAN
- C-2 ENLARGED SITE PLAN
- C-3 EXISTING/NEW ANTENNA PLAN & EQUIPMENT PLAN
- C-4 EXISTING/NEW ELEVATION
- C-5 DETAILS

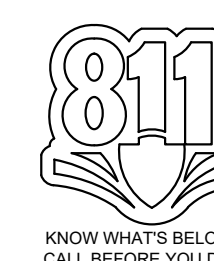
VICINITY MAP



SITE LOCATION

DRIVING DIRECTIONS

DIRECTIONS TO THE SITE FROM THE T-MOBILE OFFICE:
 TAKE LONE PEAK PKWY SOUTH AND TURN LEFT ON TO W. 12300 S. AND MERGE ON TO I-15 SOUTH. EXIT AT HIGHLAND DR, TURN LEFT, TURN RIGHT ON TO TRAVERSE RIDGE RD. SITE IS JUST PAST E. VILLAGE CREST DR.



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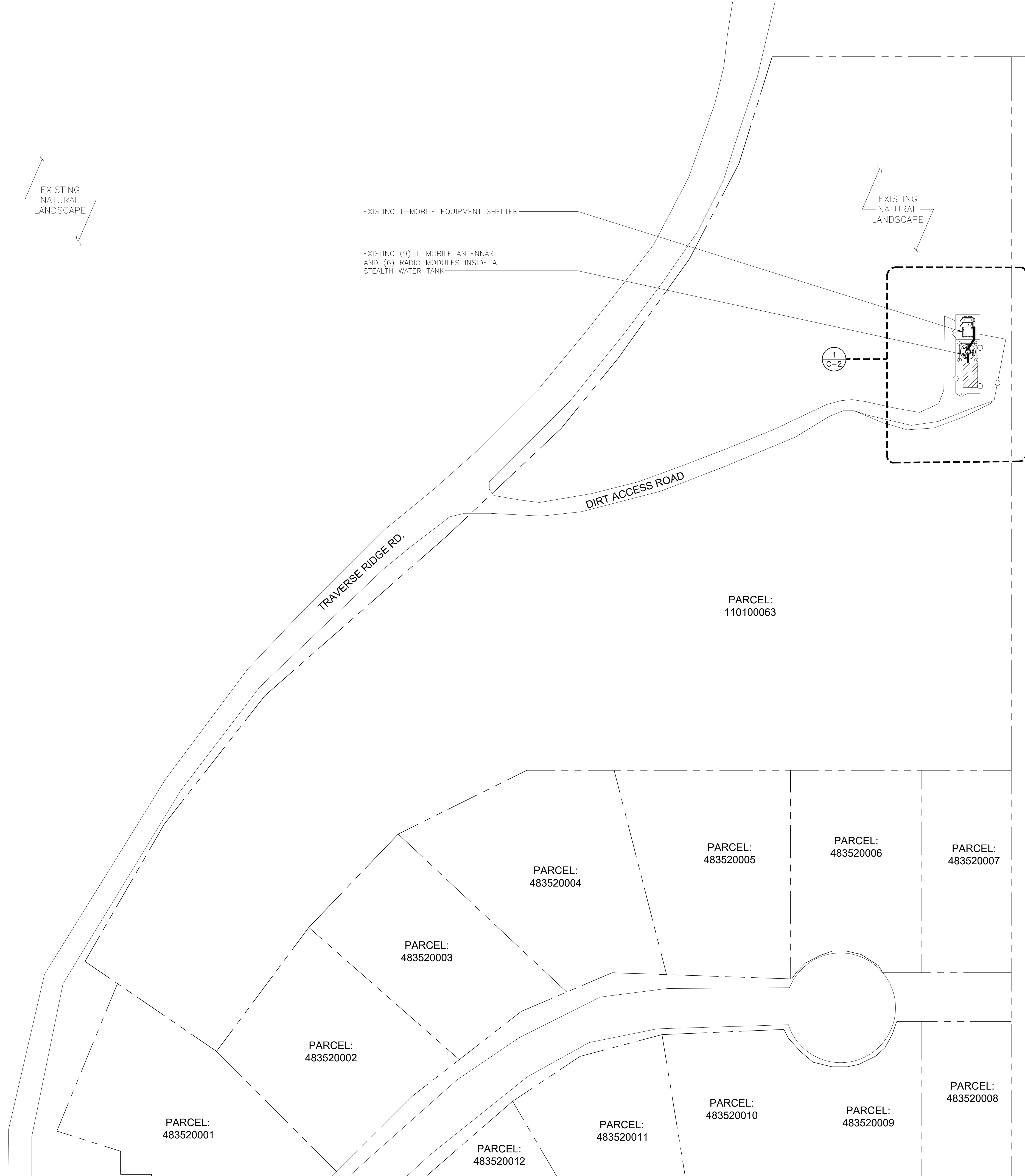
EXISTING
NATURAL
LANDSCAPE

EXISTING T-MOBILE EQUIPMENT SHELTER

EXISTING (9) T-MOBILE ANTENNAS
AND (6) RADIO MODULES INSIDE A
STEALTH WATER TANK

EXISTING
NATURAL
LANDSCAPE

EXISTING
NATURAL
LANDSCAPE



PARCEL:
110100063

PARCEL:
483520004

PARCEL:
483520005

PARCEL:
483520006

PARCEL:
483520007

PARCEL:
483520003

PARCEL:
483520002

PARCEL:
483520001

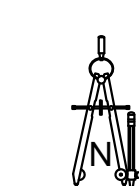
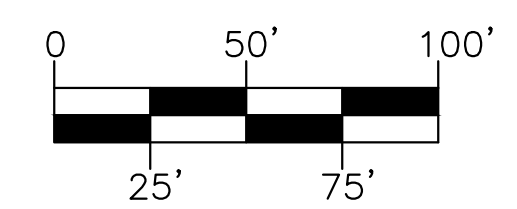
PARCEL:
483520012

PARCEL:
483520011

PARCEL:
483520010

PARCEL:
483520009

PARCEL:
483520008



SITE PLAN

SCALE: 1" = 50'-0"

1

CLIENT
T-Mobile
121 ELECTION RD.
DRAPER, UTAH 84020

CONSULTANT
COAL CREEK CONSULTING
8283 N. HAYDEN RD., STE 258
SCOTTSDALE, ARIZONA 85258
PHONE: (602) 429-0533 FAX: (480) 638-2852

ENGINEER OF RECORD
TERRA DYNAMIC ENGINEERING, LLC

P.O. BOX 22131, PHOENIX, AZ 85028
PHONE: (602) 482-1603
EMAIL: ROBERT@TERRADYNAMIC.US

SEAL

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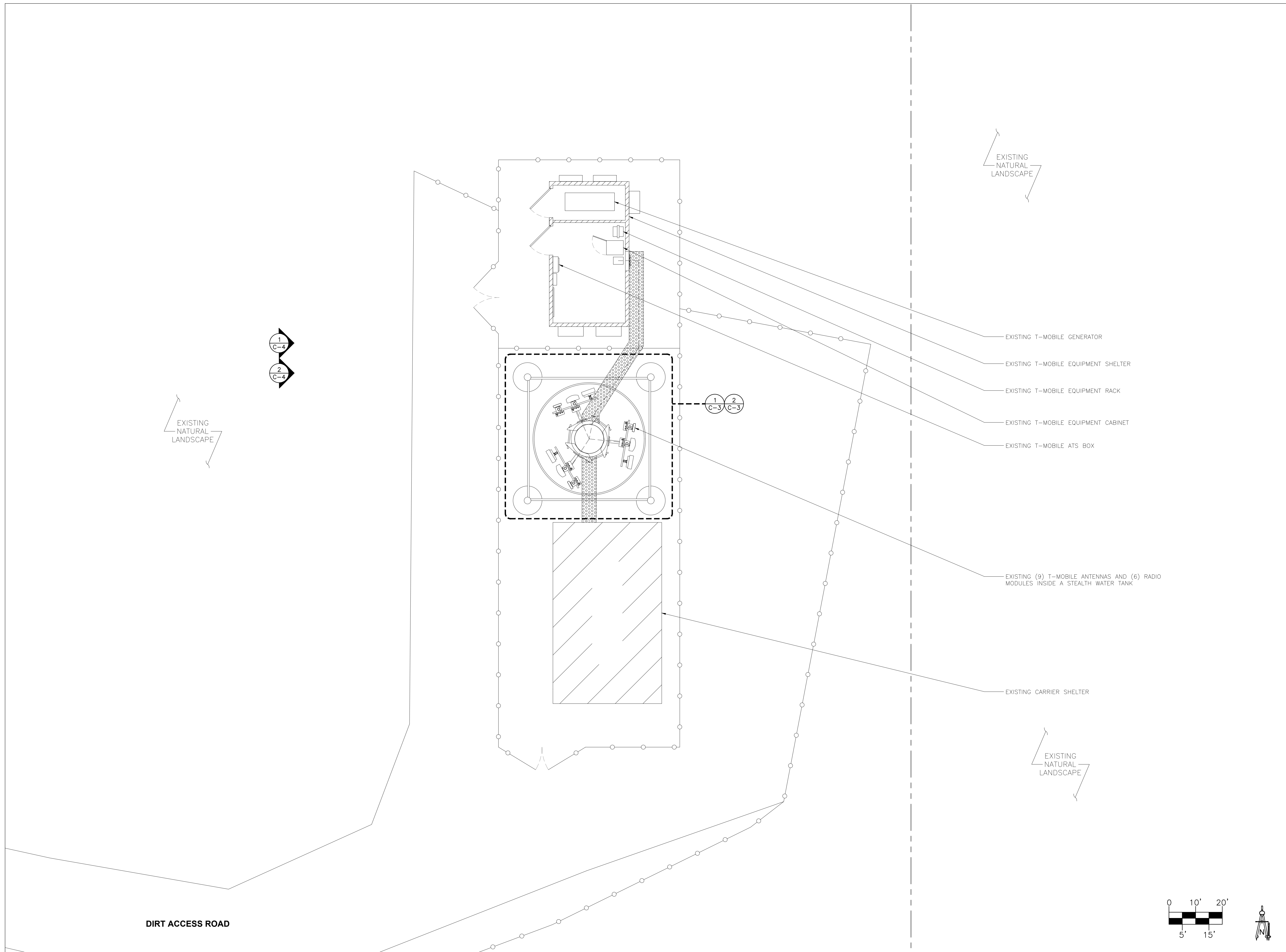
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SUNCREST WATER
TANK**
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SHEET TITLE
SITE PLAN

JURISDICTIONAL APPROVAL


SHEET NUMBER
C-1

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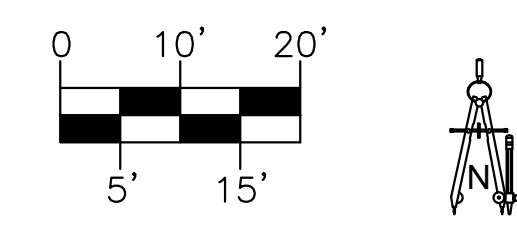
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SHEET TITLE
ENLARGED SITE PLAN

JURISDICTIONAL APPROVAL

SHEET NUMBER
C-2

DIRT ACCESS ROAD



SCALE: 1/16" = 1'-0" 1

ENLARGED SITE PLAN

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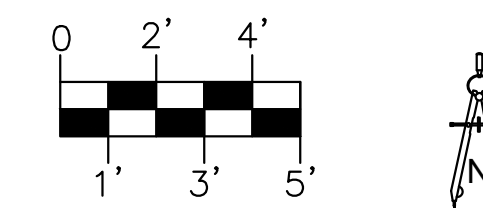
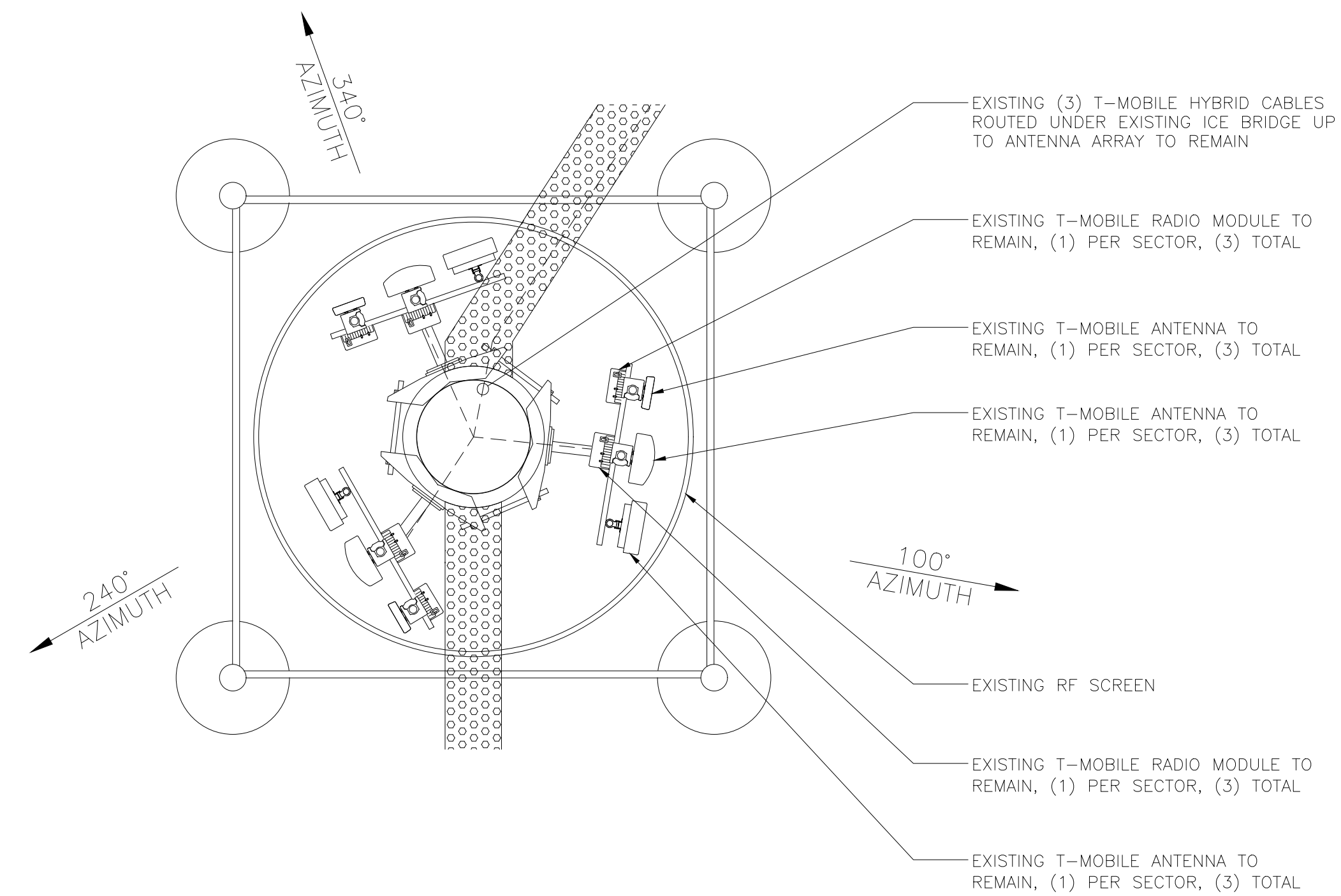
GROUNDING KEY NOTES

- 1) GROUND TO EXISTING SECTOR GROUND BAR WITH #2 TBCW, TYPICAL

GENERAL GROUNDING NOTES

- 1) ALL GROUNDING LEADS INSTALLED TO ENSURE A SMOOTH PATH TO COUNTERPOISE WITHOUT KINKS OR SHARP BENDS OR RETURN UPWARDS.
- 2) CONTRACTOR WILL UTILIZE THE "FALL OF POTENTIAL MEASUREMENT METHOD" PER NETA STANDARDS, UTILIZING THE ZEMCO-4500 MEASURING DEVICE OR APPROVED T-MOBILE EQUAL. ALL GROUND TESTING TO BE PERFORMED BEFORE CONNECTING TO POWER UTILITY GROUND AND PRIOR TO ANY BACKFILL OF GROUNDING TRENCHES. ELECTRICAL CONTRACTOR WILL PROVIDE A MINIMUM OF ONE (1) INSPECTION PORT FOR TESTING GROUNDING RESISTANCE. CONTRACTOR WILL INSTALL THE MINIMUM NUMBER OF GROUND PLATES INDICATED, SEE GROUNDING PLAN FOR APPROX. LOCATIONS. CONTRACTOR WILL INSTALL ADDITIONAL GROUNDING AS REQUIRED TO ACHIEVE 5 OHMS OR LESS TO GROUND.
- 3) IT IS THE INTENT THAT AT NO TIME ARE THE GROUND LEADS TO BE INSTALLED BELOW THE SURFACE OF THOSE AREAS DESIGNATED FOR FUTURE DISASSOCIATED PADS OR SHELTERS.
- 4) THE CONTRACTOR WILL DOCUMENT MEGGER TEST RESULTS, REDLINE THE DRAWINGS FOR THE LOCATION OF ALL UNDERGROUND GROUNDING COMPONENTS AND PHOTOGRAPH WITH A DIGITAL CAMERA THE ENTIRE NEWLY INSTALLED GROUNDING SYSTEM PRIOR TO BACKFILL OF ANY OPEN TRENCHES.
- 5) ANY EXCEPTIONS TO THIS BASIC GROUNDING DESIGN GUIDELINE, ROUTING DESIGN, OR MODIFICATIONS, WILL BE DOCUMENTED AND DIMENSIONED BY WAY OF RED LINE DRAWINGS. IT IS THE RESPONSIBILITY OF THE SELECTED CONTRACTOR TO ENSURE THE NEWLY INSTALLED GROUNDING SYSTEM MEETS THE T-MOBILE STANDARD OF 5 OHMS OR LESS.
- 6) ELECTRICAL CONTRACTOR SHALL COORDINATE TELCO AND POWER ROUTING WITH BUILDING MANAGER PRIOR TO ROUGH-IN.
- 7) PRIOR TO RUNNING CONDUIT ROUTE - CONTRACTOR SHALL CONTACT THE T-MOBILE PROJECT MANAGER AND VERIFY THE EQUIPMENT CABINET LAYOUT CONFIGURATION AND ROUTE CONDUITS ACCORDINGLY.
- 8) ALL EXOTHERMIC CONNECTIONS INCLUDING THOSE TO GATE POST, FENCES AND ICE BRIDGE POSTS SHALL BE MADE BELOW GRADE.

NOTE: EXISTING CARRIERS
ANTENNA REMOVED FOR CLARITY



CLIENT



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GROUNDING NOTES

SCALE: N.T.S

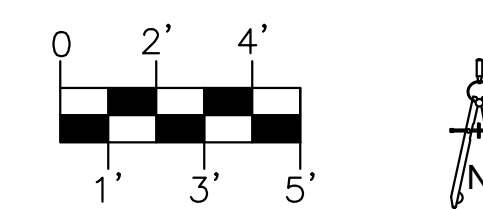
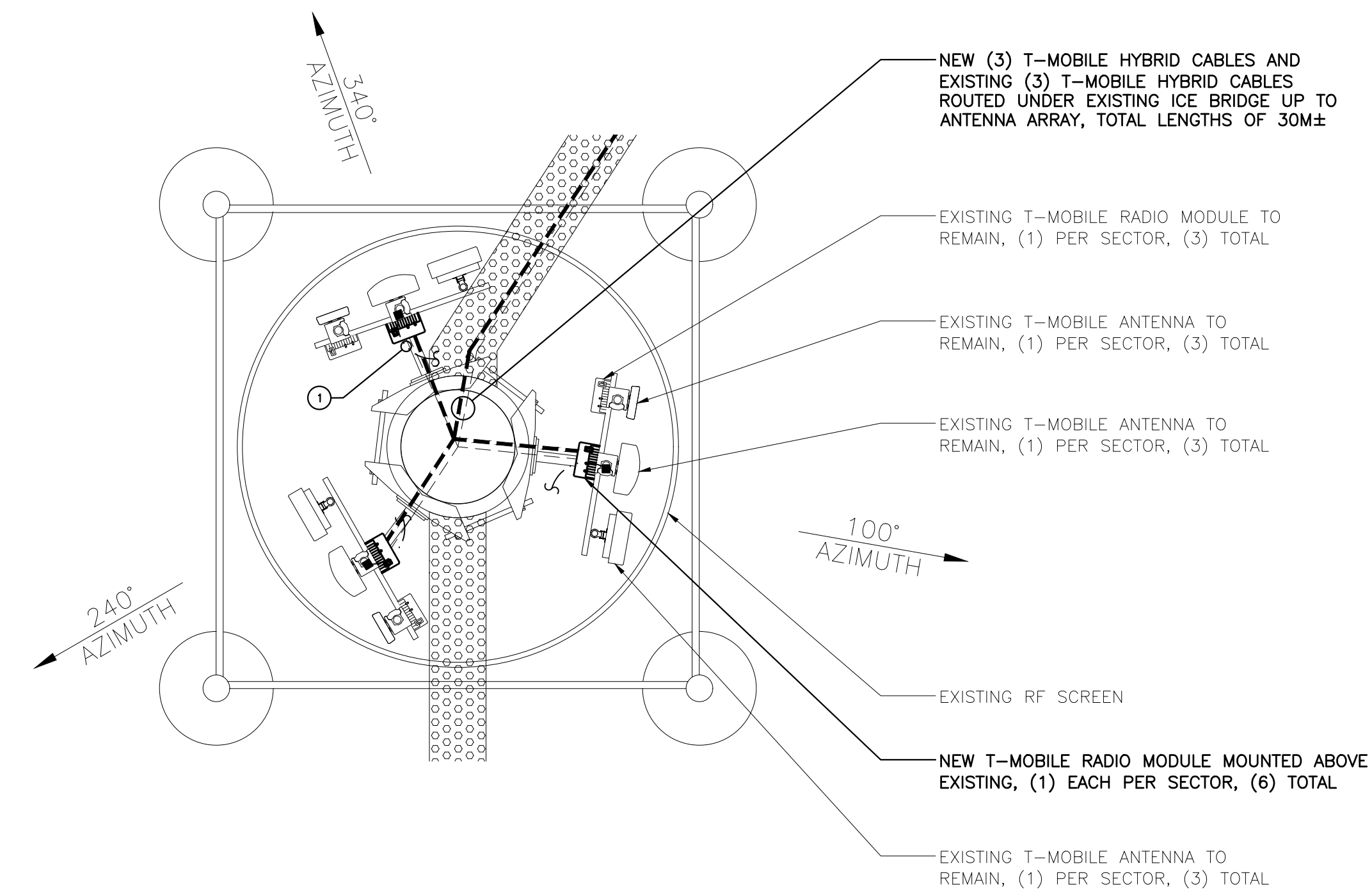
3

EXISTING ANTENNA PLAN

SCALE: 1/4" = 1'-0"

1

NOTE: EXISTING CARRIERS
ANTENNA REMOVED FOR CLARITY



PROJECT INFORMATION
JOB: 03-142-04

SL01115A VZW
SUNCREST WATER
TANK

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SHEET TITLE

EXISTING/NEW
ANTENNA AND PLAN

JURISDICTIONAL APPROVAL

SHEET NUMBER

C-3

NOT USED

SCALE: N.T.S

4

NEW ANTENNA PLAN

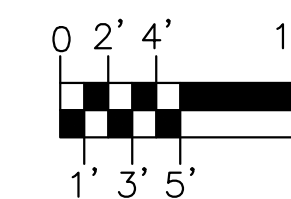
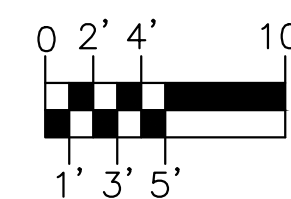
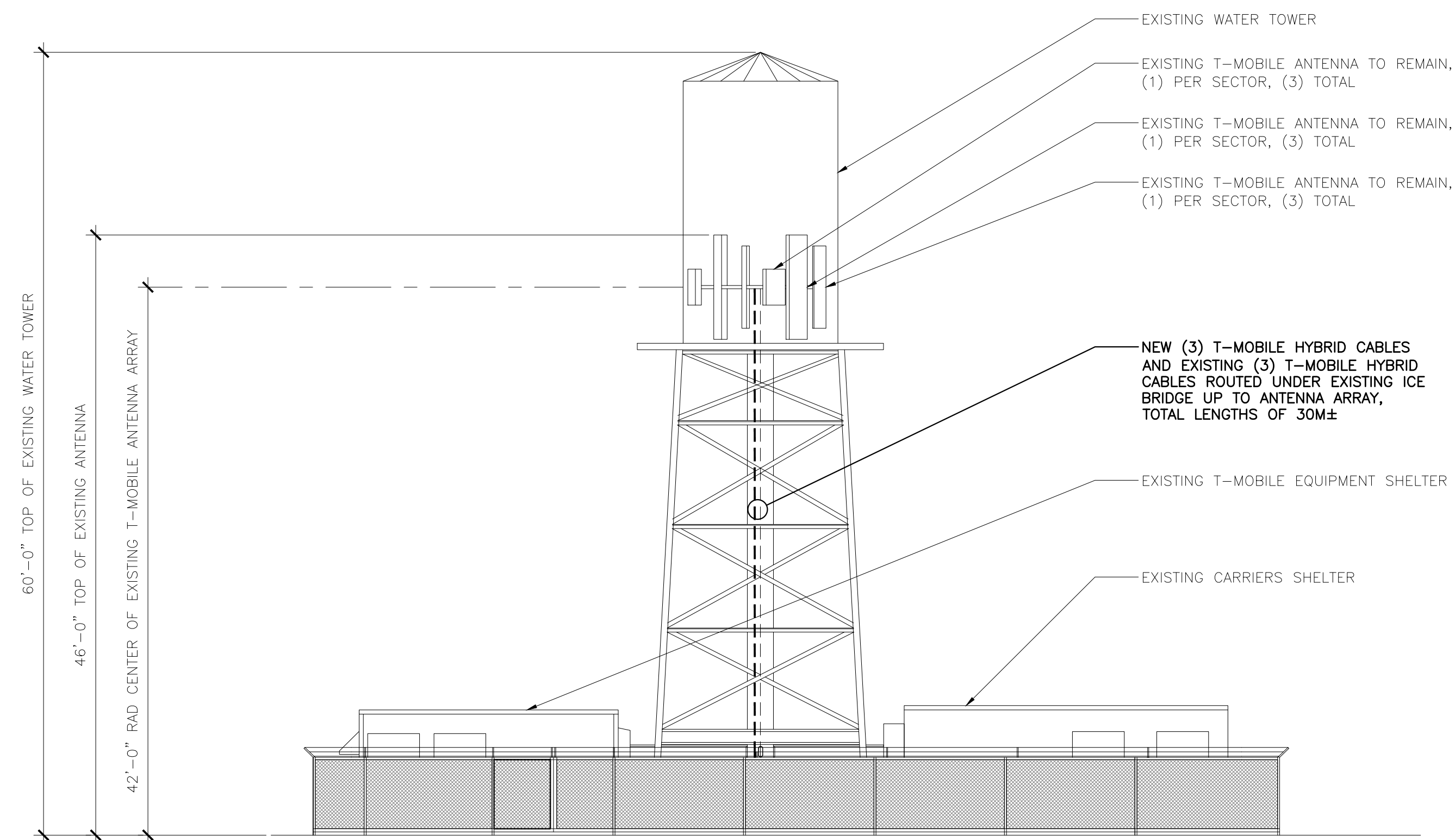
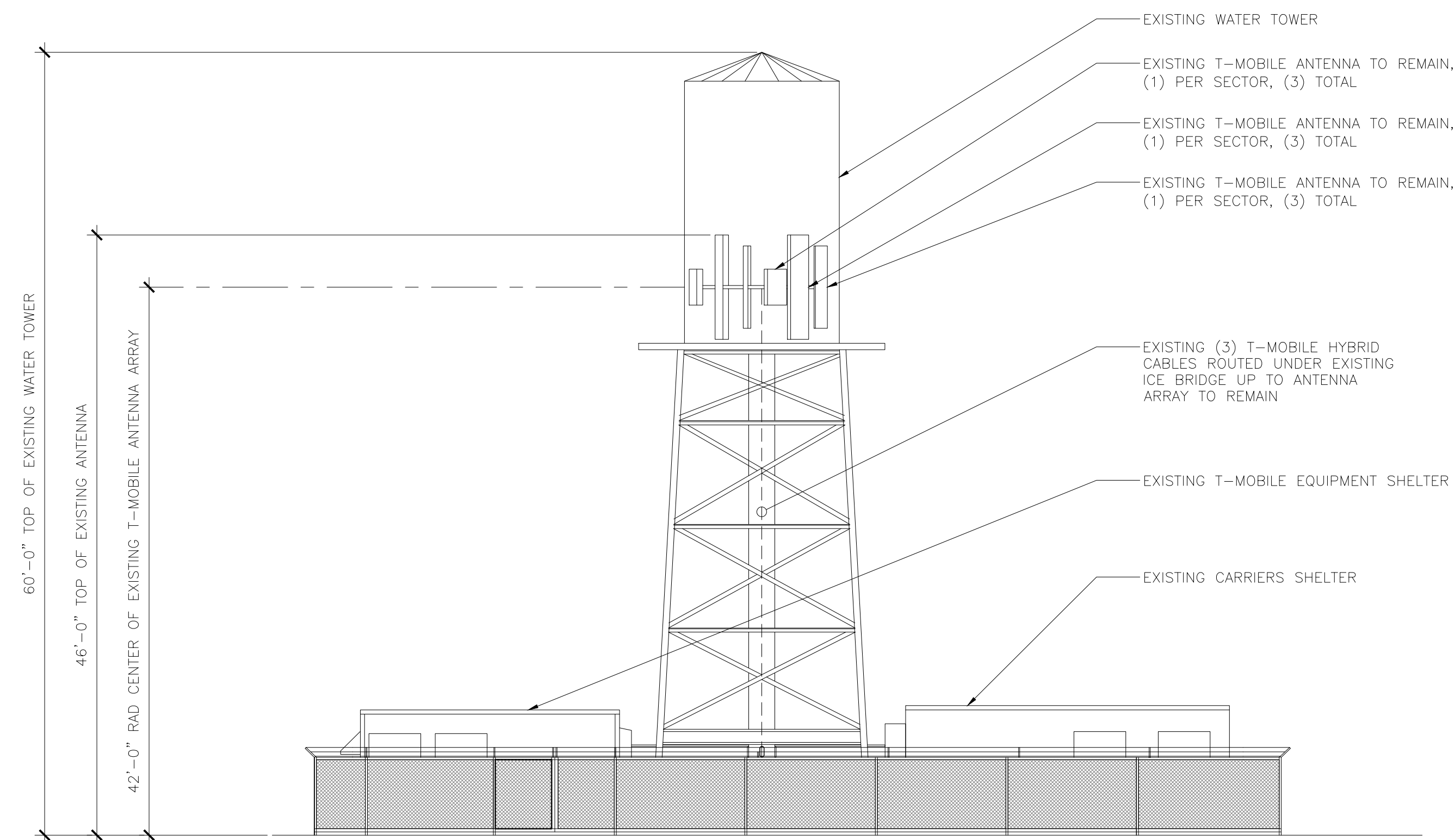
SCALE: 1/4" = 1'-0"

2

RFDS VER: 3 DATED 6/23/2021 AT 4:52:18 PM

NOTE: EXISTING CARRIERS
ANTENNA REMOVED FOR CLARITY

NOTE: EXISTING CARRIERS
ANTENNA REMOVED FOR CLARITY



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"

2

NEW WEST ELEVATION

SCALE: 1/8" = 1'-0"

1

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T-Mobile
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SHEET TITLE
**EXISTING/NEW
ELEVATIONS**

JURISDICTIONAL APPROVAL

SHEET NUMBER

C-4

RFDS VER: 3 DATED 6/23/2021 AT 4:52:18 PM

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1	07/07/21	REVIEW	REW

PROJECT INFORMATION
 JOB: 03-142-04
**SL01115A VZW
 SUNCREST WATER
 TANK**
 15025 S. TRAVERSE RIDGE RD.
 DRAPER, UTAH 84020

SHEET TITLE
DETAILS

JURISDICTIONAL APPROVAL

SHEET NUMBER
C-5

ANTENNA AND CABLE SCHEDULE										
SECTOR	ANT. POS. #	ANTENNA TYPE	RAD CENTER	AZIMUTH	MECHANICAL DOWN TILT	ELECTRICAL DOWN TILT	CABLE TYPE	# OF LINES	LENGTH	RADIO
ALPHA	1	RFS-APX17DWW-S-E-A20 (QUAD)	42°	100°	2	4	6X12 HCS 6AWG	3	30M±	ERICSSON-4415 B66A
ALPHA	2	RFS-APXVAALL24_43-U-NA20 (OCTO)	42°	100°	2	6 AND 4	6X24 4AWG	3	30M±	ERICSSON-4480 B71+B85 ERICSSON-4424 B25
ALPHA	3	ERICSSON-AIR6449 B41 MIMO	42°	100°	2	4				
BETA	1	RFS APX17DWW-S-E-A20 (QUAD)	42°	240°	0	4	6X12 HCS 6AWG	3	30M±	ERICSSON-4415 B66A
BETA	2	RFS-APXVAALL24_43-U-NA20 (OCTO)	42°	240°	0	6 AND 4	6X24 4AWG	3	30M±	ERICSSON-4480 B71+B85 ERICSSON-4424 B25
BETA	3	ERICSSON-AIR6449 B41 MIMO	42°	240°	0	4				
GAMMA	1	RFS APX17DWW-S-E-A20 (QUAD)	42°	340°	0	4	6X12 HCS 6AWG	3	30M±	ERICSSON-4415 B66A
GAMMA	2	RFS-APXVAALL24_43-U-NA20 (OCTO)	42°	340°	0	6 AND 4	6X24 4AWG	3	30M±	ERICSSON-4480 B71+B85 ERICSSON-4424 B25
GAMMA	3	ERICSSON-AIR6449 B41 MIMO	42°	340°	0	4				

ANTENNA SCHEDULE

SCALE: N.T.S.

1

NOT USED

N.T.S.

2

RFDS VER: 3 DATED 6/23/2021 AT 4:52:18 PM