

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Regional Commercial	Exhibit D
Current Zoning	CR	Exhibit E
Current Use	RV Sales and Service	
Adjacent Zoning		
East	RM2 (Multiple-Family Residential)	
West	N/A (I-15 Freeway)	
North	CO2 (Professional Office)	
South	CR	

The Regional Commercial land use designation is characterized as follows:

Regional Commercial

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Include a wide range of commercial uses that combine destination oriented businesses, retail commercial, entertainment and related uses • Include uses that serve both residents and nonresidents of the City • Uniform design standards and aesthetics • Well landscaped street frontages • Limited traffic access points for the site
LAND USE MIX	<ul style="list-style-type: none"> • Large-scale master-planned commercial centers • Big box centers • Upscale office buildings
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Regional Commercial (CR)
LOCATION	<ul style="list-style-type: none"> • Excellent transportation access to major highways • Strategically placed along high-traffic corridors

According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CR Zone is to *“provide areas where a combination of destination oriented business, retail commercial, entertainment, and related uses may be established, maintained and protected to serve both residents and nonresidents of the city. Typical uses in this zone include large scale, master planned commercial centers with outlying commercial pads, big box stores, and offices.”*

Site Plan Layout. The Site Plan (Exhibit F) shows that the one-story, 2,837 ft² building addition will be located to the west and south of the existing two-story building, towards the center of the parcel. It is located approximately 105 feet from the nearest exterior parcel line,



exceeding all setback requirements. The building addition impacts some of the existing parking. Parking and landscaping modifications occur to the west of the addition, and are discussed in subsequent sections of this staff report.

Landscaping. The Landscape Plan (Exhibit G) shows that 2,958 ft² of landscaping is proposed to be added at the front of the building and within the parking lot. There is 40,720 ft² of existing landscaping along both street frontages and along the south and east property lines. The areas of the parking lot that have been modified will be brought into compliance with the parking lot landscaping standards by adding landscaped islands at the end of each row and between rows of stalls. The disturbance area does not propose to modify the existing perimeter landscaping, buffers, or street trees.

Standard	DCMC Requirements	Proposal	Notes
Overall Landscaping Coverage	20% min.	20%	
Parking Lot Landscaping	7% min.	7%	
Perimeter Landscaping	10 feet min.	16-31 feet (approx.)	Perimeter is within existing landscaping.
Buffer Landscaping	N/A	N/A	
Water Wise Landscaping	No lawn on slopes 25% or greater or areas less than 8 feet wide.	N/A	No lawn is proposed.

Parking. The Site Plan (Exhibit F) shows that the parking lot will be modified near the entry of the building, and new parking will be added along the western portion of the parking lot adjacent to Minuteman Drive. The RV sales and service uses on the site will require 84 parking stalls to be provided. The modified parking lot will contain 76 stalls, which is within the ten percent (10%) natural adjustment range of 76-93 allowed.

Standard	DCMC Requirements	Proposal	Notes
Parking Required (Min/Max)			
RV Sale	29-35		
RV Service	47-58		
Total	76 -93	76	Complies with ordinance.
Pedestrian Connections			



Cross Walks	Different material from parking lot required	Colored concrete paving	Complies with ordinance.
Access Point Width	24-26 feet	N/A	No change proposed.

Architecture. The Elevations (Exhibit H) show the proposed design of the approximately twenty-nine foot (29') tall addition. The primary materials are split faced concrete masonry unit (CMU), aluminum composite metal panels, and brick. Smooth faced CMU will also be incorporated into the facade. The CMU and the brick will be color matched to the existing materials, and the aluminum composite metal panels will be provided in two (2) colors.

Table 4 Architectural Design Requirements

Standard	DCMC Requirements	Proposal	Notes
Building Height			
Main Building	35 feet max.	29 feet (approx.)	
Facade Variation			
Vertical or Horizontal	Every 30 feet, or along 60% of the horizontal length for buildings with facades 100 feet or greater.	Variations occur in the surface pattern and banding.	
Significant	One significant variation of 5 feet deep by 20 feet wide for buildings with facades 100 feet or greater.	N/A	No facade 100 feet in length or greater is proposed.
Materials			
Primary	2 min.	3 (split faced CMU, aluminum composite metal panels, and brick).	
Secondary	N/A	EIFS	
Percentage of Primary Materials			
North	75% min.	97%	
West	75% min.	80%	
South	75% min.	76%	
East	75% min	N/A	Attached to existing building on east.

Lighting. The Lighting Plan (Exhibit I) shows that ten (10) new building-mounted lighting fixtures will be added to the site. The proposed new lighting fixtures are low enough in intensity that they meet both the operational hours and after-hours illumination standards. Additionally, three (3) of the new building-mounted lighting fixtures will turn off at the close of business each night. All other lighting fixtures, including the light poles are existing.

Table 5 **Lighting Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Light Pole Height	20 feet max.	N/A	No new light poles proposed.
Foot Candles			
Maximum Illumination	25.0 fc 15.0 fc (after hours)	14.1 fc	
Maximum Average Illumination	15.0 fc 10.0 (after hours)	3.8 fc	
Maximum Illumination Ratio (Max:Ave)	5:1 5:1 (after hours)	3.71:1	

Criteria For Approval. The criteria for review and potential approval of a Site Plan Amendment request are found in Sections 9-5-060(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

- E. Standards For Approval: The following standards shall apply to the approval of a site plan:*
- 1. The entire site shall be developed at one time unless a phased development plan is approved.*
 - 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.*
 - 3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.*
 - 4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.*
 - 5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.*



- H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:*
- 1. Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:*
 - a. The proposed use is consistent with uses permitted on the site;*
 - b. Existing uses were permitted when the site plan was approved, or have received a conditional use permit;*
 - c. The proposed use and site will conform to applicable requirements of this Code;*
 - d. The proposed expansion meets the approval standards of subsection E of this section;*
 - e. The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and*
 - 2. If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.*
 - 3. If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*
 - 4. Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. A notice of decision will be issued as outlined in City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That a long term (onsite) storm drainage maintenance plan and agreement be submitted, reviewed, and accepted prior to issuance of a Land Disturbance Permit or Building Permit.

Findings for approval:

1. The site plan reflects the full development of the property.
2. The site plan conforms to applicable standards set forth in ordinance, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zoning districts in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans will comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of the DCMC, including traffic, storm water drainage, and utilities concerns.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US, E=brien.maxfield@draperutah.gov,
O=Draper, OU=Public Works - Engineering,
CN=Brien Maxfield
Date: 2024.12.03 13:26:16-07'00'

Draper City Public Works Department

Todd A. Draper

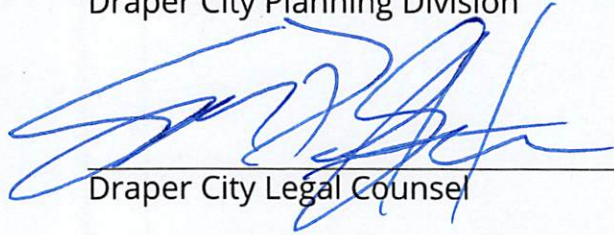
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Draper
DN: C=US,
E=todd.draper@draper.ut.us,
O=Draper City Planning,
CN=Todd A. Draper
Date: 2024.12.03
14:30:53-07'00'

Draper City Planning Division

Don Buckley

Digitally signed by Don Buckley
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O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2024.12.03 13:38:06-07'00'

Draper City Fire Department



Draper City Legal Counsel

Matthew Symes

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E=matt.symes@draperutah.gov,
O=Draper City Corp., CN=Matthew Symes
Date: 2024.12.03 13:44:25-07'00'

Draper City Building Division

**EXHIBIT A
DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments provided.

Engineering and Public Works Divisions Review.

1. Long term (onsite) storm drainage maintenance plan and agreement are required. Plan and agreement will be a conditional of site plan amendment approval and are required to be submitted, reviewed, and accepted prior to issuance of Land Disturbance Permit or Building Permit.

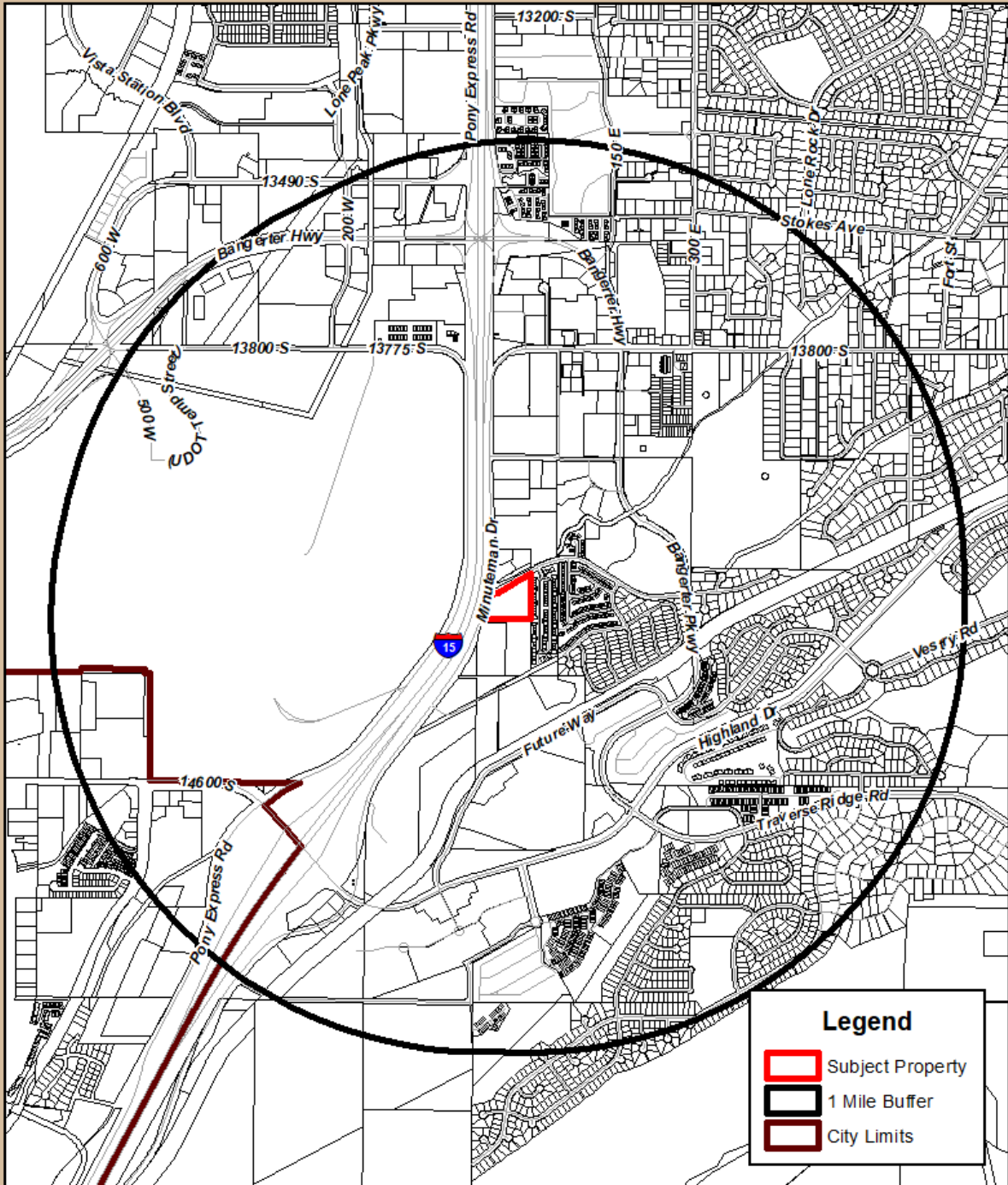
Building Division Review.

1. No additional comments provided.

Fire Division Review.

1. No additional comments provided.

EXHIBIT B
VICINITY MAP



Date Printed: 9/17/2024

General RV Site Plan Amendment

14295 S. Minuteman Drive



EXHIBIT C
AERIAL MAP



Legend

 Subject Property



Date Printed: 9/17/2024

General RV Site Plan Amendment

14295 S. Minuteman Drive



EXHIBIT D
LAND USE MAP

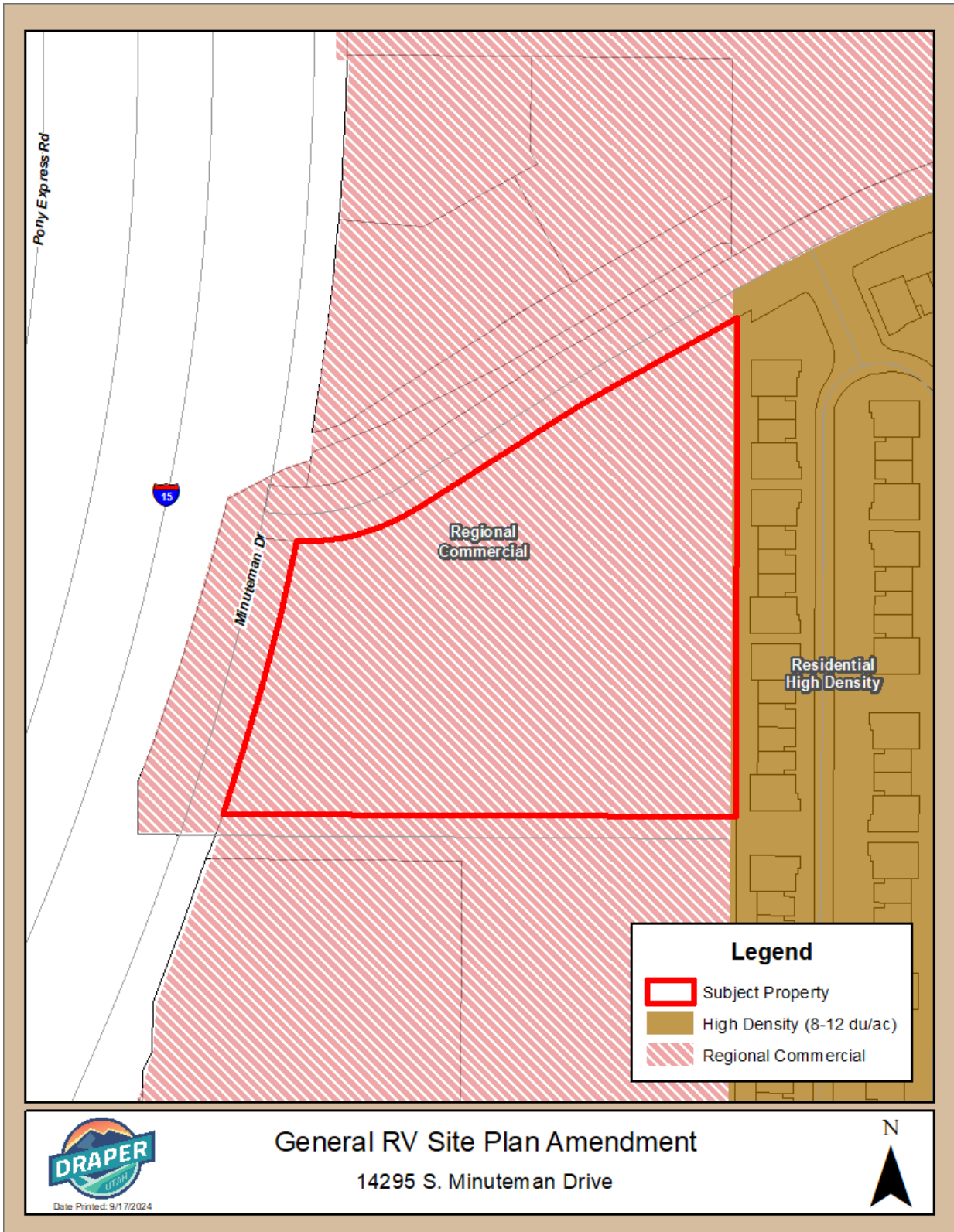
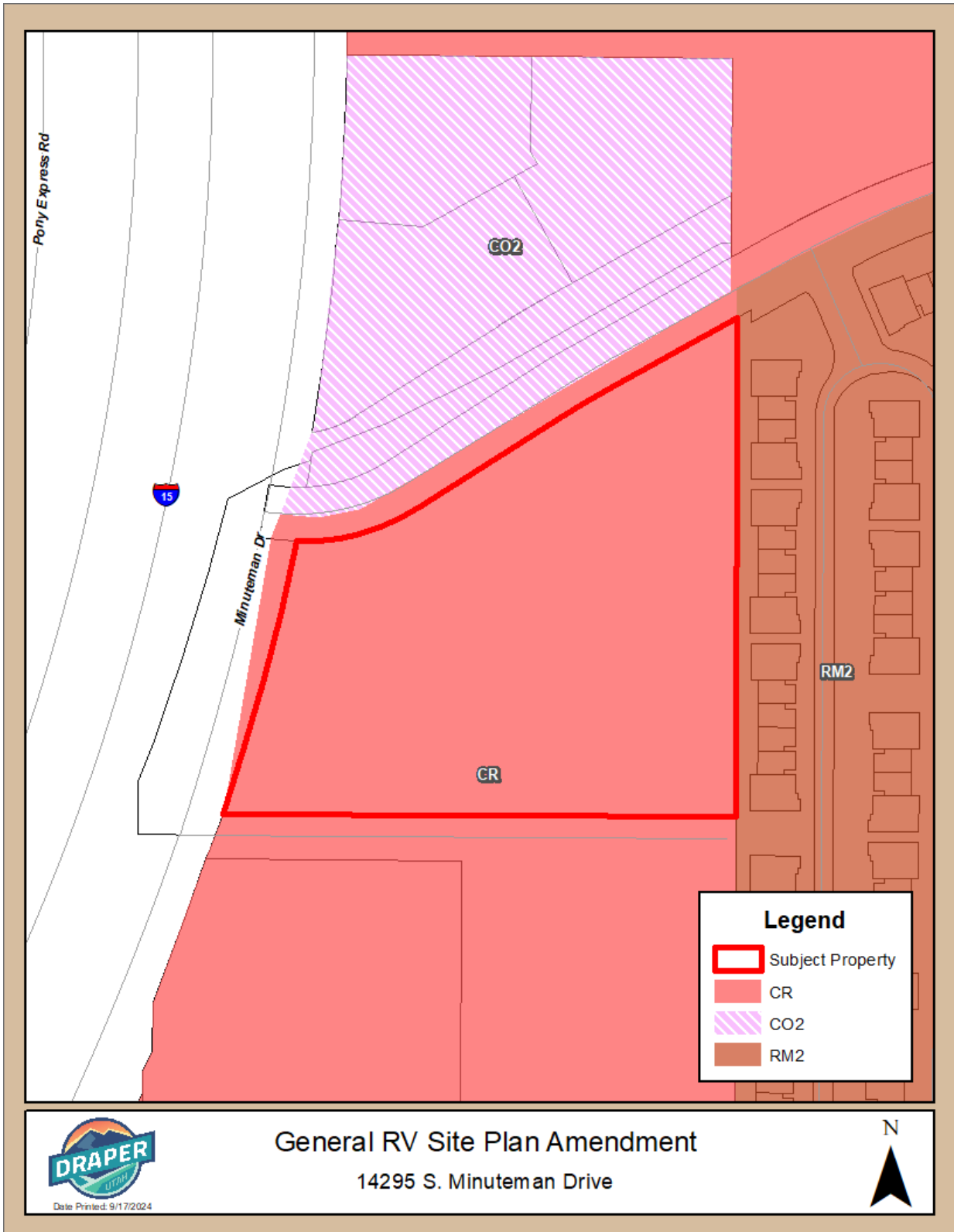


EXHIBIT E
ZONING MAP

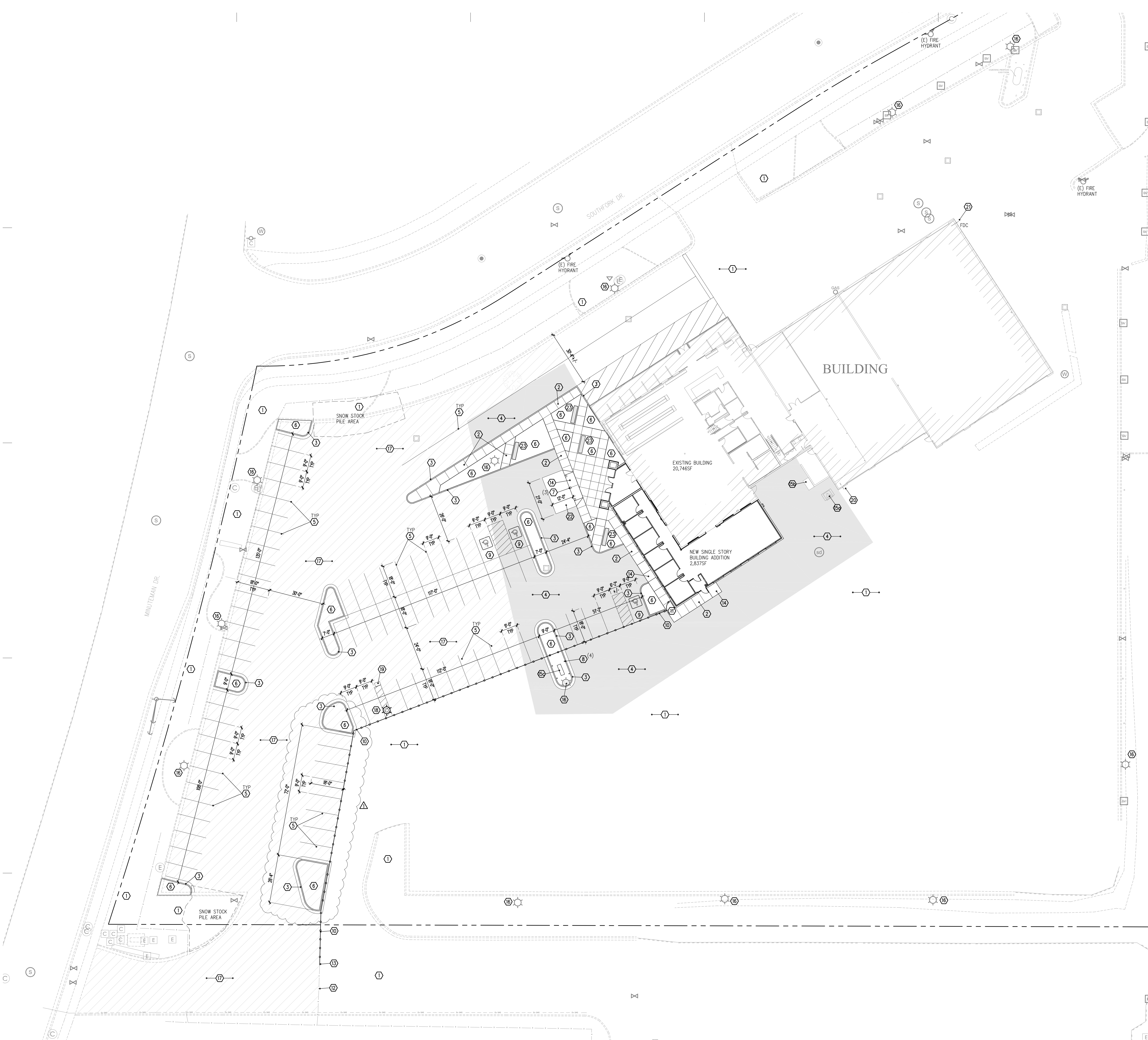


Date Printed: 9/17/2024

General RV Site Plan Amendment
14295 S. Minuteman Drive



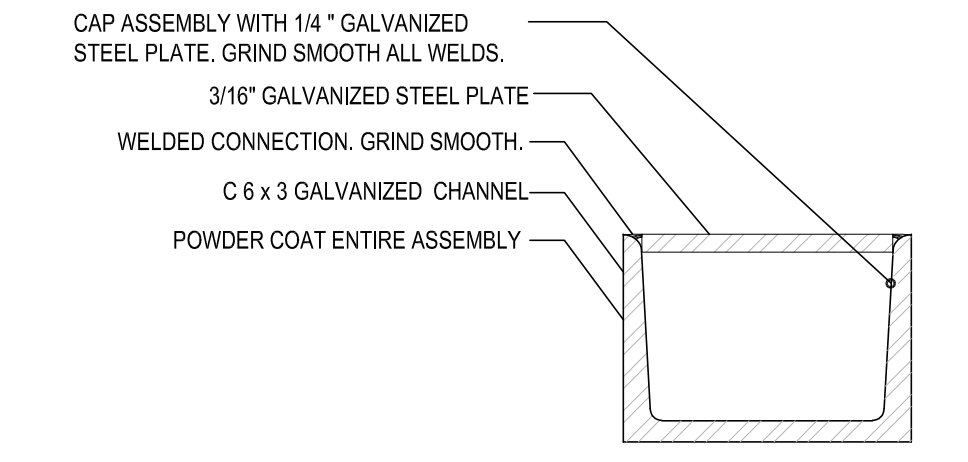
**EXHIBIT F
SITE PLAN**



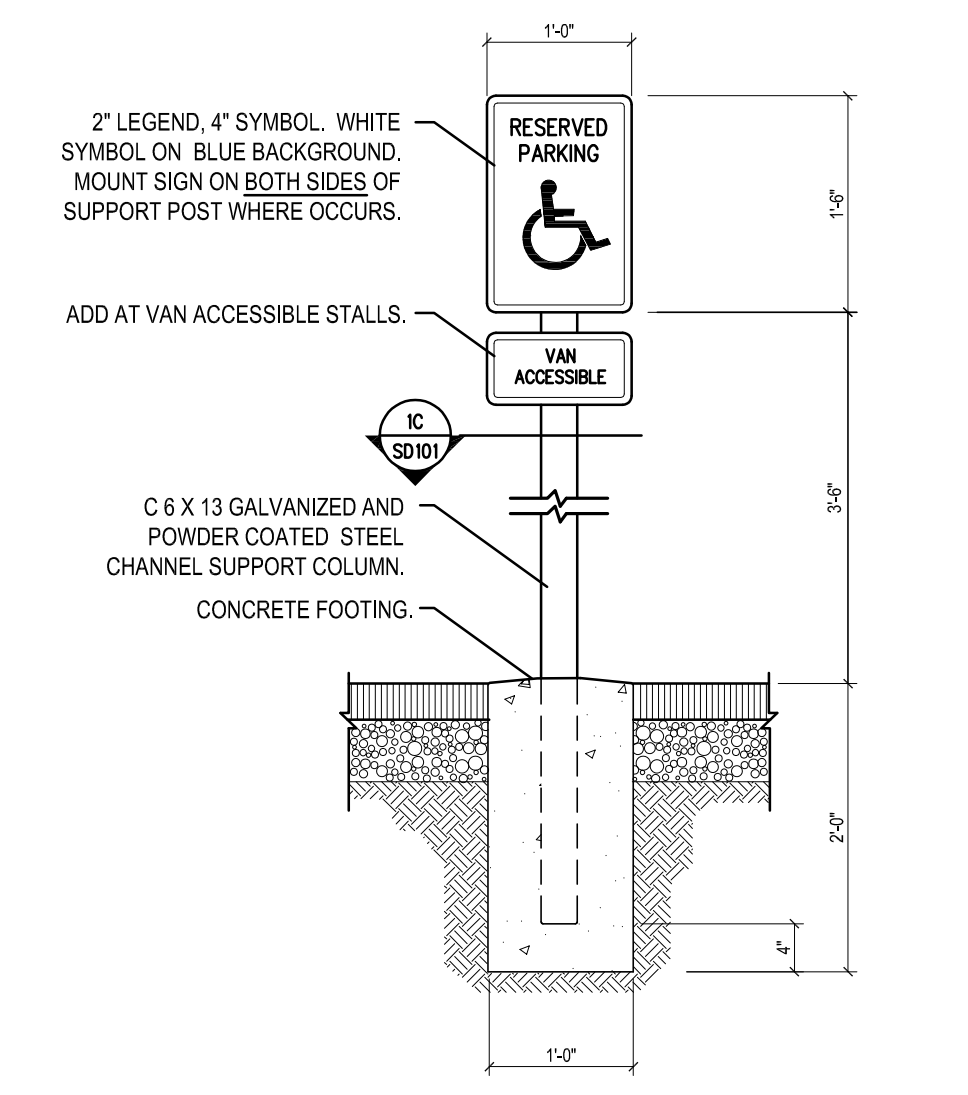
4A Site Development Plan
Scale: 1" = 20'-0"

Site Development Keyed Notes

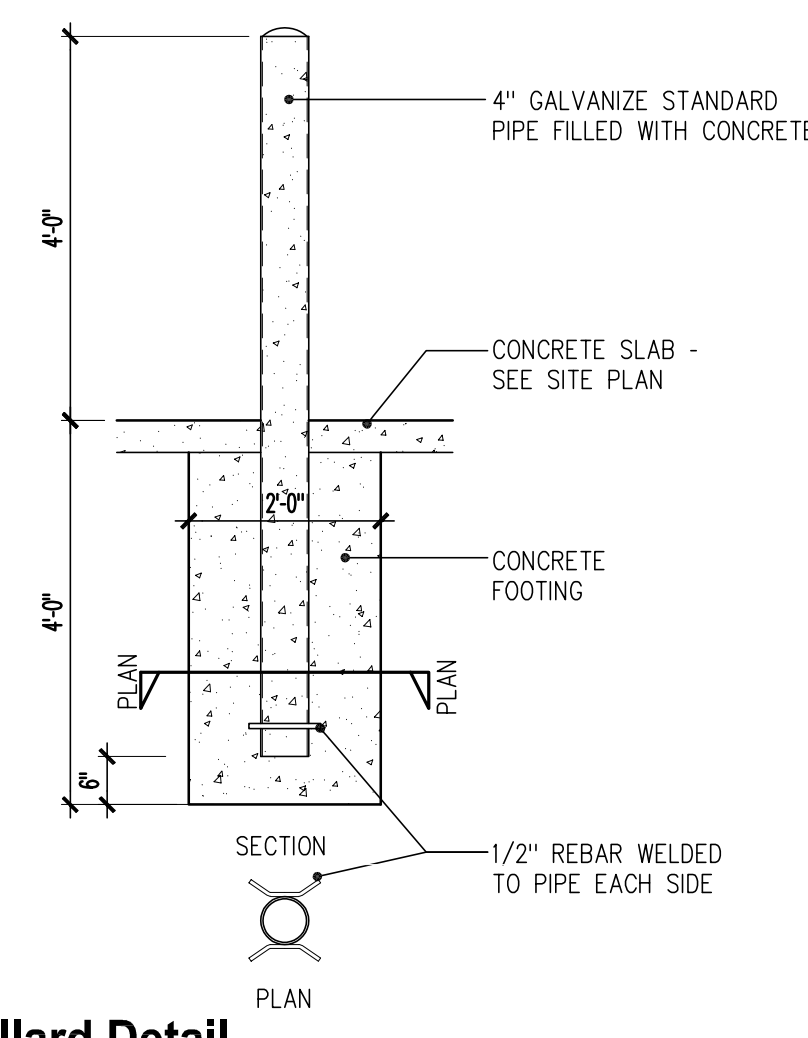
- | No. | Description |
|-----|---|
| 1 | Existing construction, including but not limited to existing building, asphalt and concrete paving, concrete sidewalks, curbs, ramps, curb and gutter, chain link fencing etc. to remain unless noted otherwise and shall be protected from construction damage |
| 2 | Concrete walk (refer to civil for thickness), un-reinforced concrete, control joints as shown with expansion joints at 50'-0" o.c. maximum |
| 3 | Concrete curb/gutter - refer to civil drawings |
| 4 | Asphalt paving, shown shaded - refer to civil drawings |
| 5 | Asphalt striping/painting |
| 6 | Planting area - refer to landscape drawings |
| 7 | 12" Pre-cast concrete bollard |
| 8 | Concrete filed steel bollard (painted)- refer to detail 1A/SD101 |
| 9 | Accessible parking stall sign - refer to detail 1B/SD101 |
| 10 | 5ft high ornamental fencing - black |
| 11 | 5ft +/- wide black ornamental fencing gate |
| 12 | (e) ornamental sliding gate |
| 13 | Connect new ornamental fence to existing gate post |
| 14 | ADA curb ramp - refer to civil |
| 15 | Equipment <ul style="list-style-type: none"> a. (e) Transformer - refer to electrical drawings b. (e) Switch gear - refer to electrical drawings c. Sectionalizer - refer to electrical drawings |
| 16 | (e) Light pole - refer to electrical drawings |
| 17 | Alternate No. 1 - provide a cost to install crack seal and seal coat at asphalt parking as shown hatched prior to painting parking lot |
| 18 | (n) relocated light pole - refer to electrical drawings |
| 19 | Electrical junction box - traffic rated - refer to electrical |
| 20 | (e) FDC location removed (patch cmu as required to match adjacent) |
| 21 | (n) FDC location |
| 22 | Colored concrete paving with broom finish - refer to civil drawings for section |
| 23 | Concrete bench (9'-6" x 2'-0") |



1C Accessible Sign Detail
Scale: NTS



1B Accessible Sign Detail
Scale: 3/4" = 1'-0"



1A Bollard Detail
Scale: 1/2" = 1'-0"

Stamp
STATE OF UTAH
ARCHITECTS
NAYLOR
WENTWORTH
LUND
ARCHITECTS
723 W Pacific Avenue, Suite 101
Salt Lake City, UT 84104
Main Office 801.355.2010

GENERAL RV CENTER

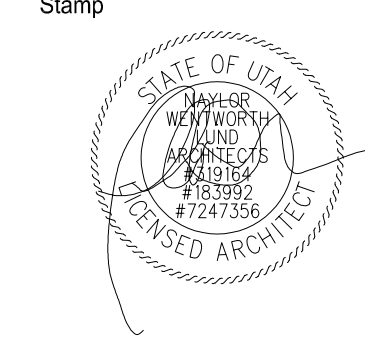
Project For
GENERAL RV CENTER
14295 Minute Man Dr.
Draper, UT 84020

Addition /
Renovation

Project Phase	
Construction Documents	
Revision Schedule	
No.	Description
1	Addendum No.1
Date	08/20/24

Project Number
187.045
Project Issue Date
August 20, 2024
Sheet Title
Site Development Plan
Sheet Number

SD101



NAYLOR
WENTWORTH
LUND
ARCHITECTS



721 W Pacific Avenue, Suite 101
Salt Lake City, UT 84114
Main Office 801.355.2019

Tabulation Table

Total Gross Acreage = 4.92 acres
 20% = 0.984 acres or 42,863sf
 Existing Building Footprint = 20,746sf
 New Addition Footprint = 2,837sf

Addition Disturbance Area = 20,700sf
 Modified Parking Area = 6,650sf

Existing Landscape Area = 40,720sf
 New Landscape Area = 2,827sf

Permeable Area = 46,211sf
 Non-permeable Area = 168,384sf

- Existing Undisturbed Area
- Existing Building
- New Addition Building
- Addition Disturbance Area
- Modified Parking Area
- Existing Undisturbed Parking Area (maintenance work)
- New Landscape Area

Parking Calculation

Sales Area Included:
 10,800sf Ivl 1 + 2,100sf Ivl 2 = 12,900sf

Sales Calculation:
 12,900sf / 1,000sf * 2.5 = 32 stalls

Service Calculation:
 RV Service Bays = 13 * 4 = 52 stalls

Required Parking Stalls 84 +/- 10%

Provided Parking Stalls = 76



Project For
**GENERAL RV
CENTER**
14295 Minuteman Dr.
Draper, UT 84020

Addition /
Renovation

Project Phase
Construction
Documents
Revision Schedule

No.	Description	Date
1		

Project Number
187.045

Project Issue Date
August 20, 2024

Sheet Title
**Site Plan
Tabulation**

Sheet Number

SD102

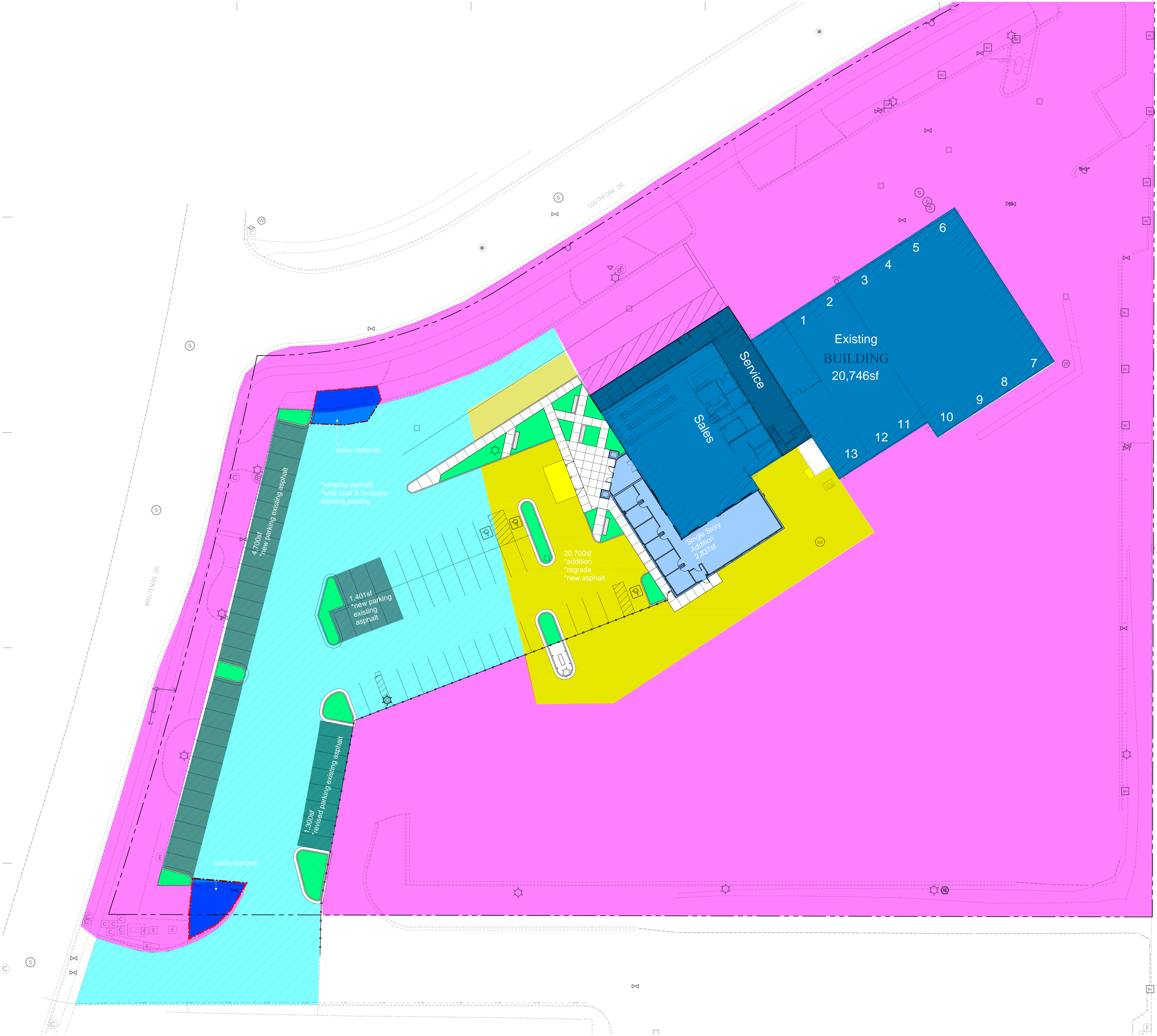


EXHIBIT G
LANDSCAPE PLAN

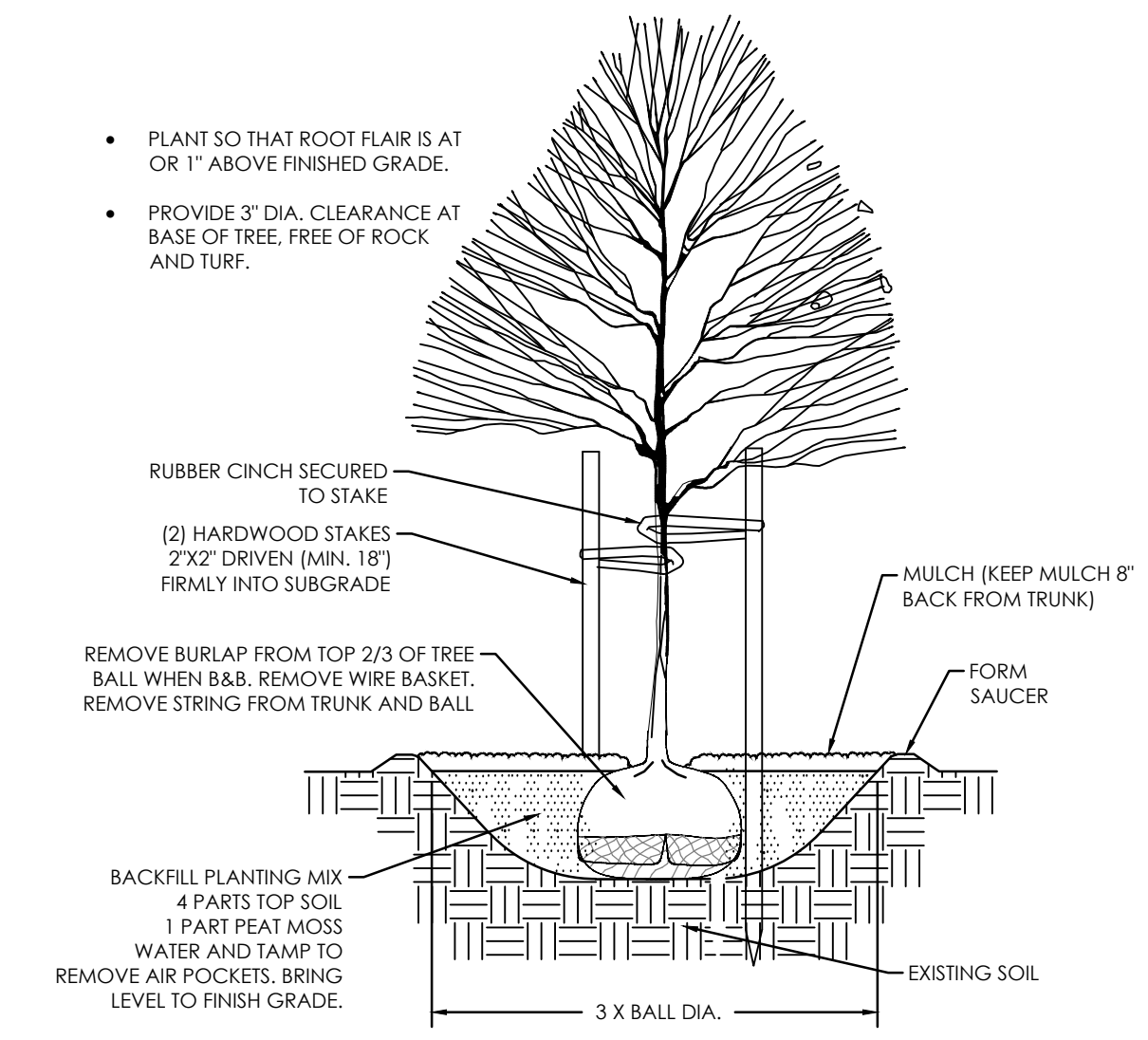
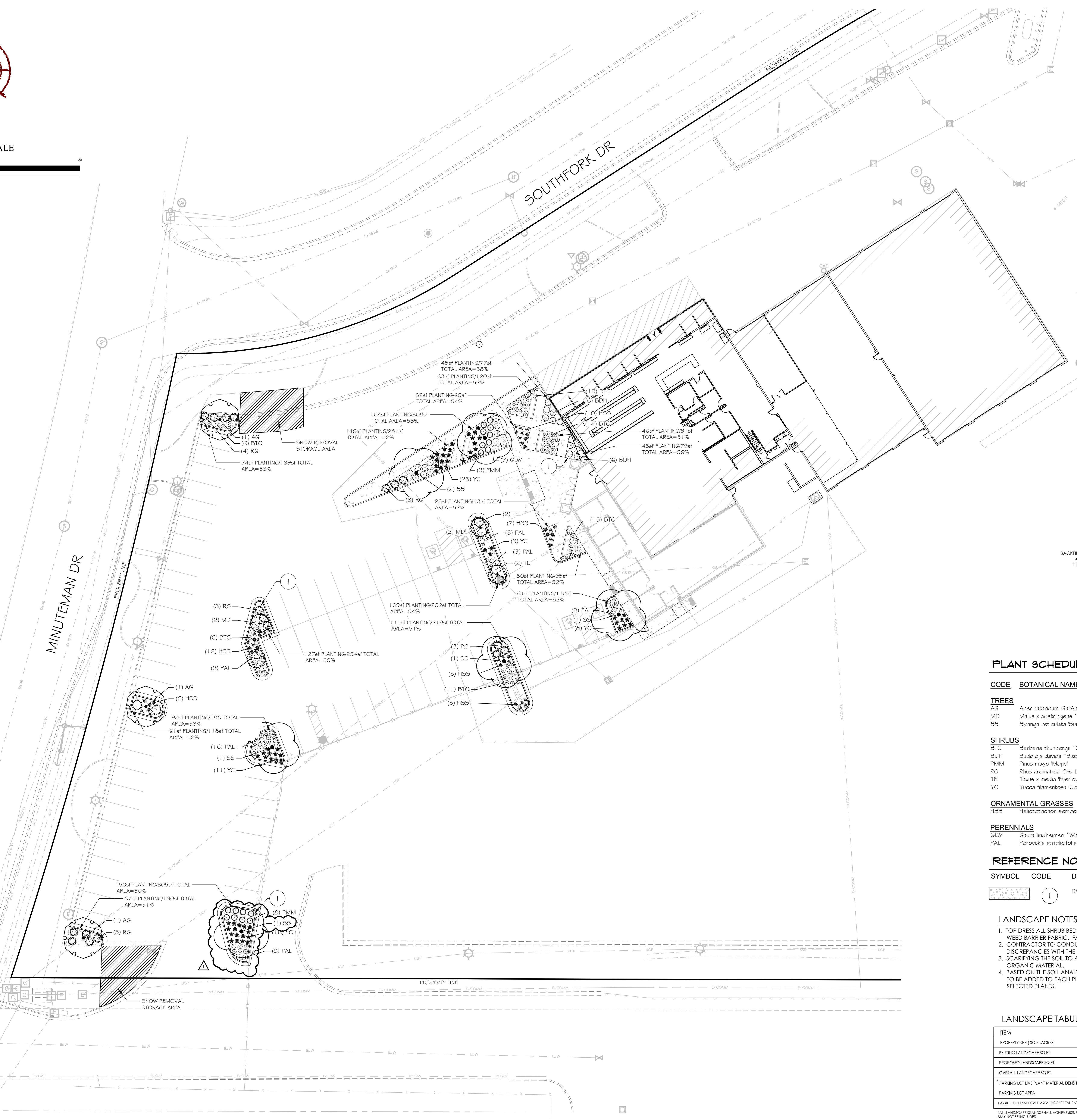


GRAPHIC SCALE

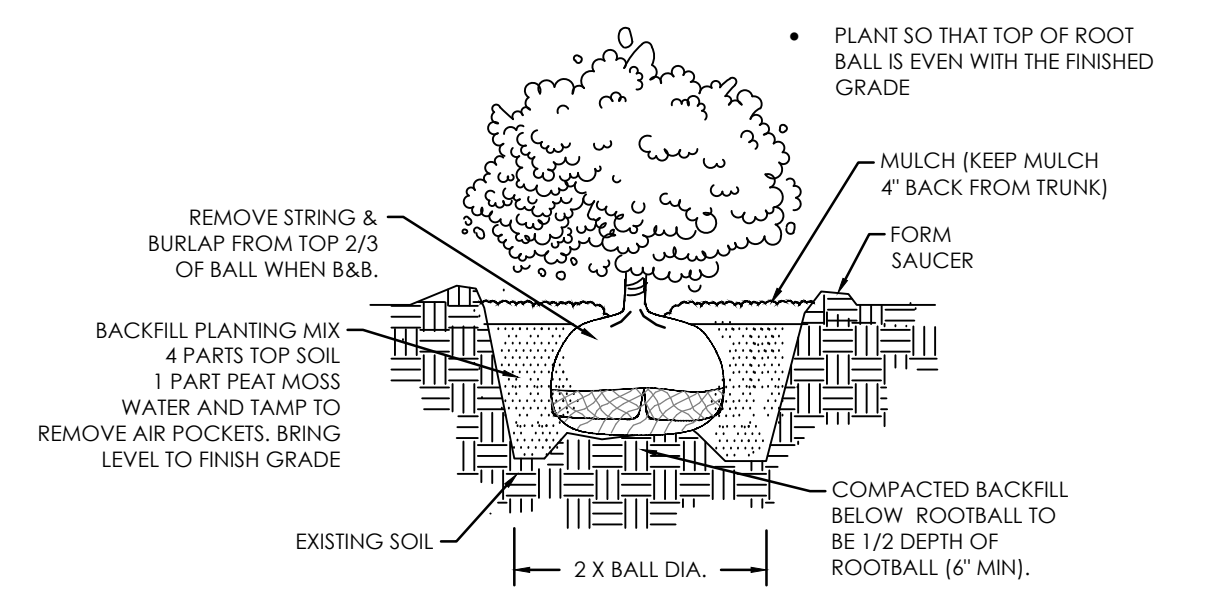
(IN FEET)
1 inch = 20 ft.

MINUTEMAN DR

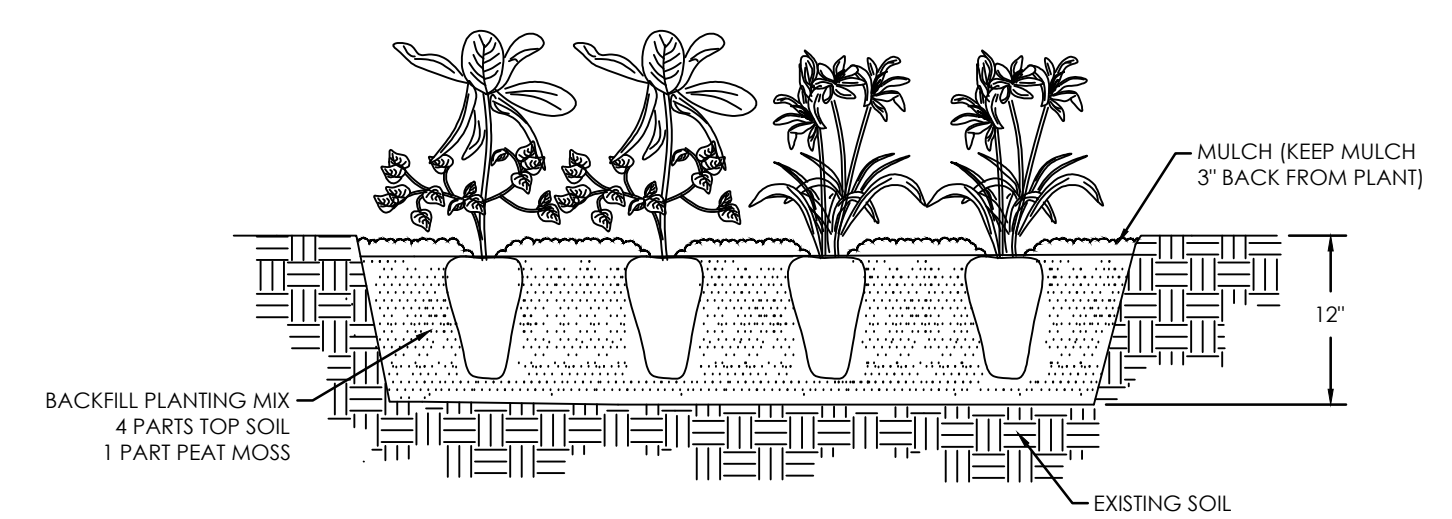
SOUTHFORK DR



A TREE PLANTING & STAKING
NOT TO SCALE



B SHRUB PLANTING
NOT TO SCALE



C PERENNIAL PLANTING
NOT TO SCALE

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
TREES					
AG	Acer tatanicum 'GarAnn'	Hot Wings® Tatanan Maple	2" Cal.	3	MATURE SIZE: 25'H x 20'W
MD	Malus x adastriensis 'Durelo' TM	Gladiator Crabapple	2" Cal.	4	MATURE SIZE: 20'H x 9'W
SS	Syringa reticulata 'Summer Snow'	Summer Snow Japanese Tree Lilac	2" Cal.	6	MATURE SIZE: 30'H x 25'W
SHRUBS					
BTC	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	3 gal.	71	MATURE SIZE: 2'H x 2'W
BDH	Buddleja davidii 'Buzz Hot Raspberry'	Hot Raspberry Butterfly Bush	5 gal.	13	MATURE SIZE: 4'H x 3'W
PMM	Pinus mugo 'Mops'	Mops Mugo Pine	5 gal.	17	MATURE SIZE: 4'H x 3'W
RG	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	18	MATURE SIZE: 1'H x 8'W
TE	Taxus x media 'Everlow'	Everlow Yew	5 gal.	6	MATURE SIZE: 3'H x 5'W
YC	Yucca filamentosa 'Color Guard'	Color Guard Adam's Needle	5 gal.	63	MATURE SIZE: 3'H x 2'W
ORNAMENTAL GRASSES					
HSS	Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	1 gal.	45	MATURE SIZE: 3'H x 2'W
PERENNIALS					
GLW	Gaura lindheimeri 'Whirling Butterflies'	Whirling Butterflies Gaura	1 gal.	14	MATURE SIZE: 3'H x 3'W
PAL	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal.	48	MATURE SIZE: 2'H x 2'W

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	I	DECORATIVE ROCK, 3" DEPTH, TYPE T.B.D.	2,826 sq

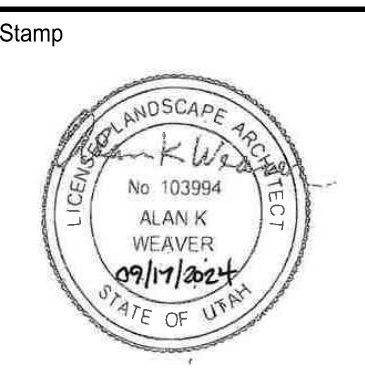
LANDSCAPE NOTES

- TOP DRESS ALL SHRUB BED AREAS WITH MIN. 3" DEEP OF ROCK MULCH OVER DEWITT PRO-5 WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
- CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.
- SCARIFYING THE SOIL TO A DEPTH OF 6" OR GREATER AND AMENDING WITH FERTILIZER OR ORGANIC MATERIAL.
- BASED ON THE SOIL ANALYSIS, IDENTIFY THE TYPE, QUANTITY, AND RATE OF SOIL AMENDMENTS TO BE ADDED TO EACH PLANTING AREA WITH RESPECT TO THE NUTRIENT NEEDS OF THE SELECTED PLANTS.

LANDSCAPE TABULATIONS

ITEM	AMOUNT	%
PROPERTY SIZE (SQ.FT./ACRES)	214,250 SQ.FT. (4.92 AC.)	100%
EXISTING LANDSCAPE SQ.FT.	40,720 SQ.FT.	±19%
PROPOSED LANDSCAPE SQ.FT.	2,958 SQ.FT.	
OVERALL LANDSCAPE SQ.FT.	43,270 SQ.FT.	±20%
* PARKING LOT LIVE PLANT MATERIAL DENSITY	1,472 SF / 2,550 SF = 57.7%	58%
PARKING LOT AREA	33,800 SQ.FT.	100%
LANDSCAPE (LANDSCAPE AREA (% OF TOTAL PARKING LOT AREA))	2,950 SQ.FT.	±7%

*ALL LANDSCAPE ISLANDS SHALL ACHIEVE 90% PLANT COVERAGE AT MAJORITY TREE CANOPY. MAY NOT BE INCLUDED.



MAYLOR
WENTWORTH
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ARCHITECTS

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Salt Lake City, UT 84104
Main Office: 801.355.2019

FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGHWAY DRIVE, SUITE 200
MIDVALE, UT 84047 (801) 352-0075
www.focus-survey.com

GENERAL RV CENTER

Project For
GENERAL RV CENTER
14295 Minuteman Dr.
Draper, UT 84020

Addition /
Renovation

Project Phase
Construction Documents

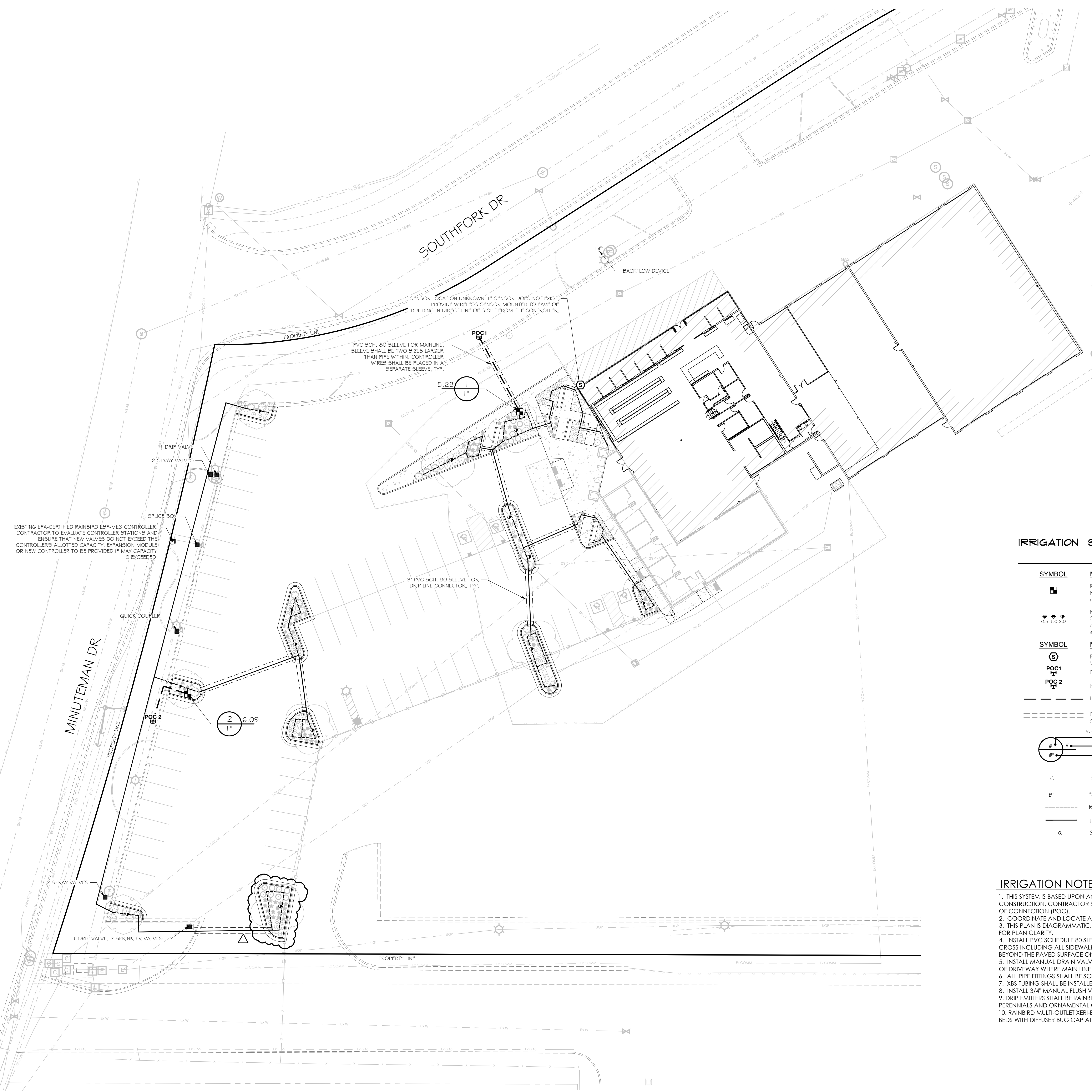
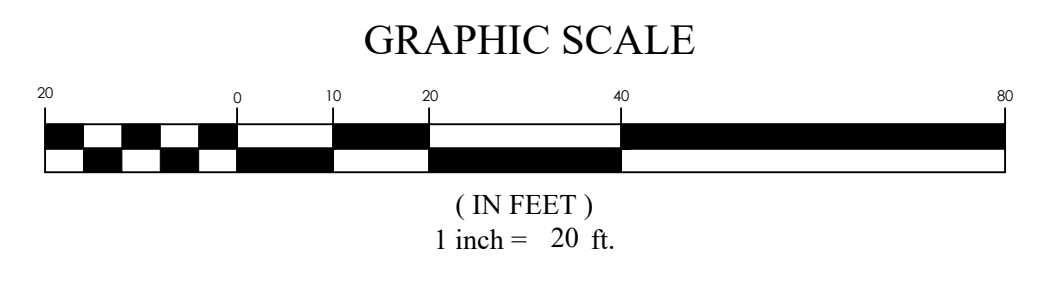
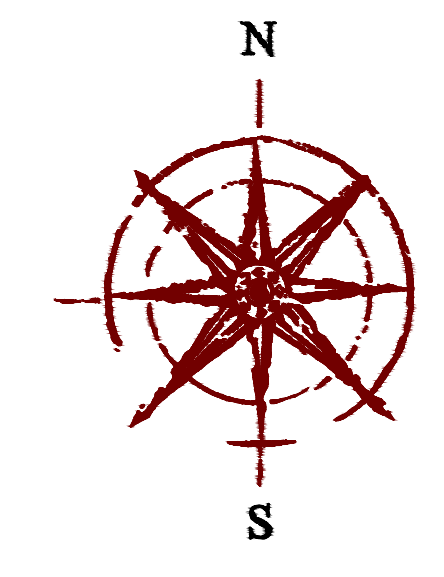
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2	---	---
3	---	---
4	---	---
5	---	---
6	---	---

Project Number
187.045

Project Issue Date
09/17/2024

Sheet Title
LANDSCAPE PLAN

Sheet Number



IRRIGATION SCHEDULE

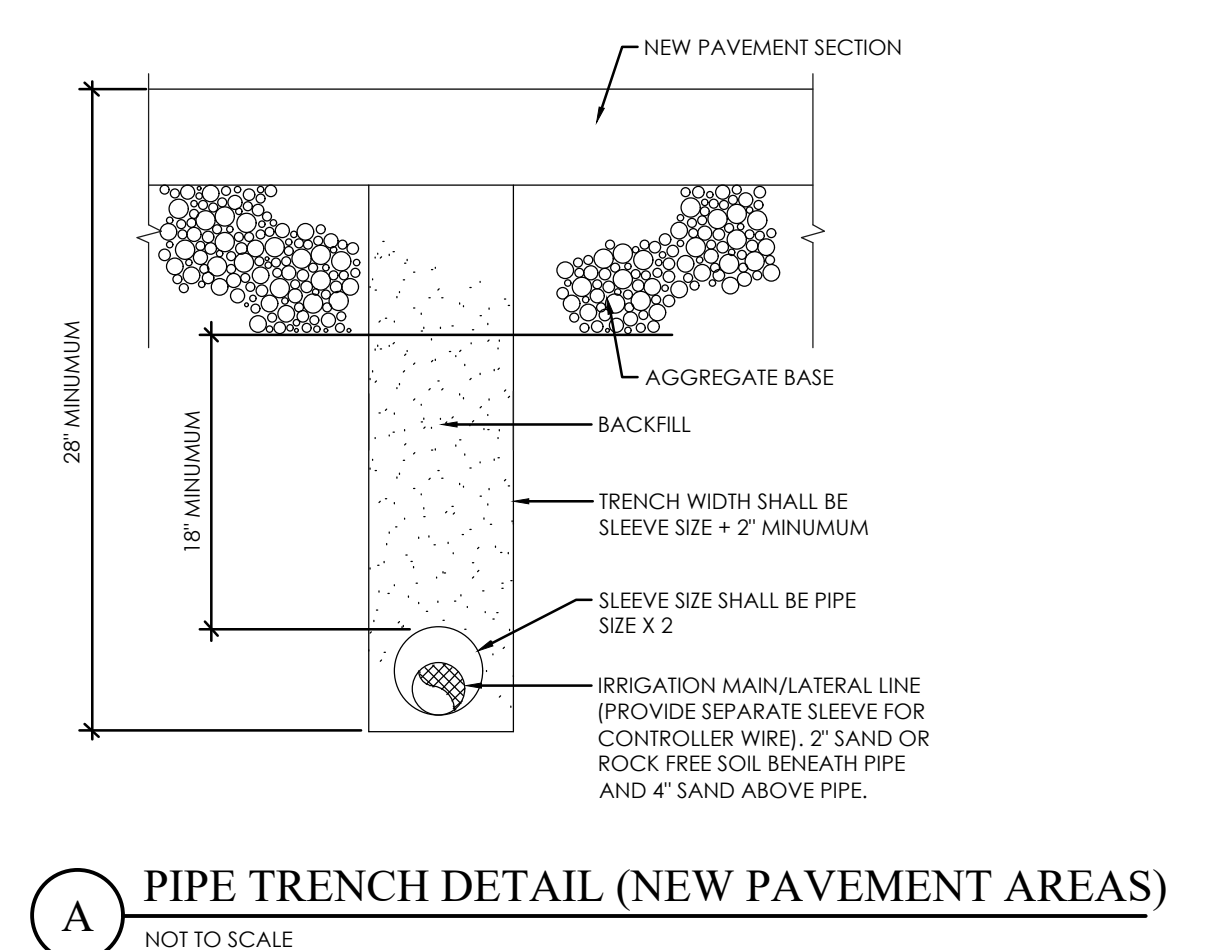
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XZ2-100-PRF 1" Medium Flow Dnp Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 3 GPM-15 GPM.	2
	Rain Bird XB-G Six-Outlet, Pressure Compensating, Dnp Emitter. Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	13
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird WR2-RF5 Wireless Rain/Freeze Sensor.	1
	Point of Connection 2"	1
	Point of Connection 2"	1
	Irrigation Mainline: PVC Schedule 40	73.4 l.f.
	Pipe Sleeve: PVC Schedule 80 Sleeve shall be two sizes larger than the pipe within.	303.3 l.f.
	Valve Callout Value Number Value Flow Value Size	
C	EXISTING CONTROLLER	
BF	EXISTING BACKFLOW DEVICE	
	RAINBIRD 3/4" XBS TUBING WITH 1/4" TUBING TO EMITTER	
	1" POLY PIPE CONNECTING DRIFLINE SECTIONS	
	3/4" MANUAL FLUSH VALVE IN 10" ROUND VALVE BOX	

IRRIGATION NOTES

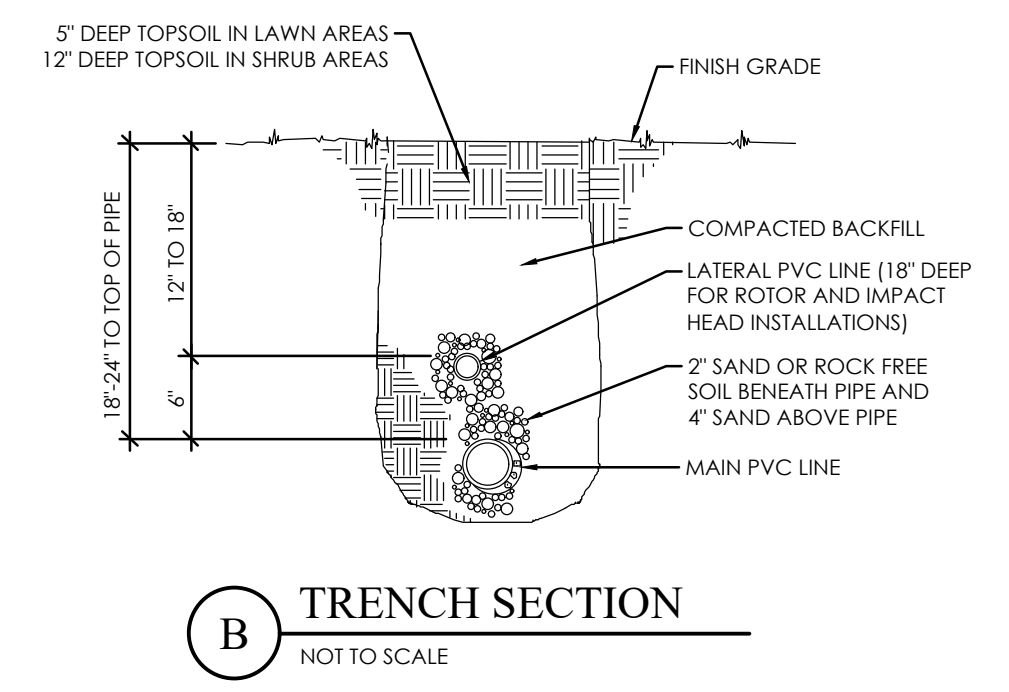
- THIS SYSTEM IS BASED UPON AN AVAILABLE STATIC PRESSURE OF 50 PSI MINIMUM. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFIRM THE STATIC WATER PRESSURE AND THE SIZE OF THE POINT OF CONNECTION (POC).
- COORDINATE AND LOCATE ALL EXISTING UTILITIES ON THE SITE PRIOR TO EXCAVATION.
- THIS PLAN IS DIAGRAMMATIC. SOME EQUIPMENT MAY BE SHOWN IN PAVED AREAS AND BUILDINGS FOR PLAN CLARITY.
- INSTALL PVC SCHEDULE 80 SLEEVES UNDER ALL PAVED SURFACES WHERE LINES AND CONTROL WIRES CROSS INCLUDING ALL SIDEWALKS. SLEEVE SIZE SHALL BE 2 TIMES LARGER THAN THE LINE. EXTEND 6" BEYOND THE PAVED SURFACE ON EACH SIDE. INSTALL A SEPARATE SLEEVE FOR THE CONTROL WIRES.
- INSTALL MANUAL DRAIN VALVES AT ALL LOW POINTS ALONG IRRIGATION MAIN LINE AND EACH SIDE OF DRIVEWAY WHERE MAIN LINE CROSSES UNDER.
- ALL PIPE FITTINGS SHALL BE SCHEDULE 80 ON MAIN LINE.
- XBS TUBING SHALL BE INSTALLED UNDER ROCK MULCH.
- INSTALL 3/4" MANUAL FLUSH VALVE IN AN 10" ROUND VALVE BOX AT THE END OF ALL DRIP LINES.
- DRIP EMITTERS SHALL BE RAINBIRD XB-20PC (2 GPH) XERI-BUG EMITTER, 1 EMITTER PER PLANT FOR PERENNIALS AND ORNAMENTAL GRASSES AND 2 EMITTERS PER PLANT FOR SHRUBS.
- RAINBIRD MULTI-OUTLET XERI-BUG EMITTER XB-20-6 (1/2 GPH) SHALL BE USED ON TREES IN PLANTING BEDS WITH DIFFUSER BUG CAP AT ENDS OF TUBING. DISTRIBUTE EMITTERS AROUND ROOTBALL OF TREE.

Project Phase
Construction Documents

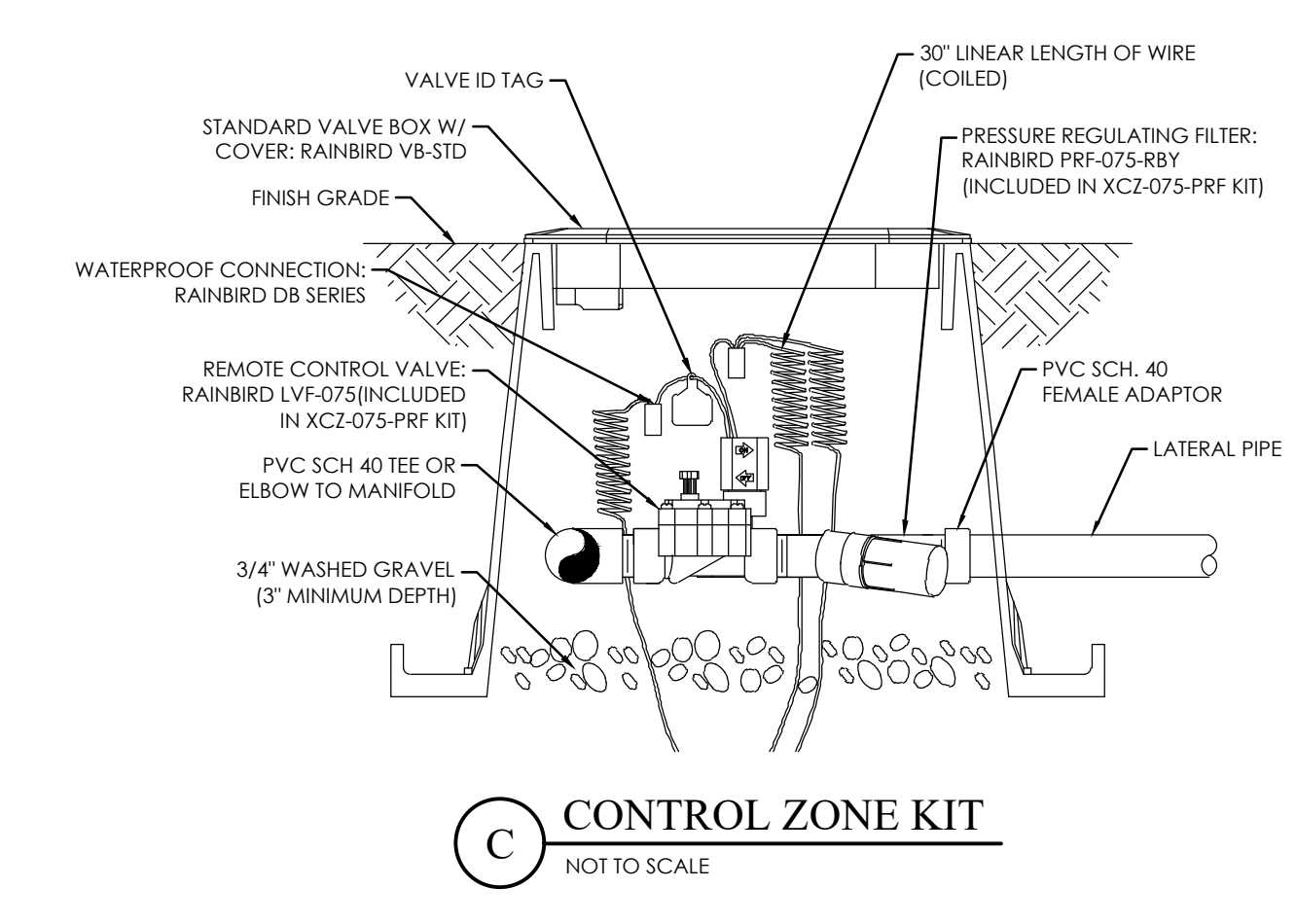
No.	Description	Date
1	ADDENDUM NO. 1	08/20/2024
2	---	---
3	---	---
4	---	---
5	---	---
6	---	---



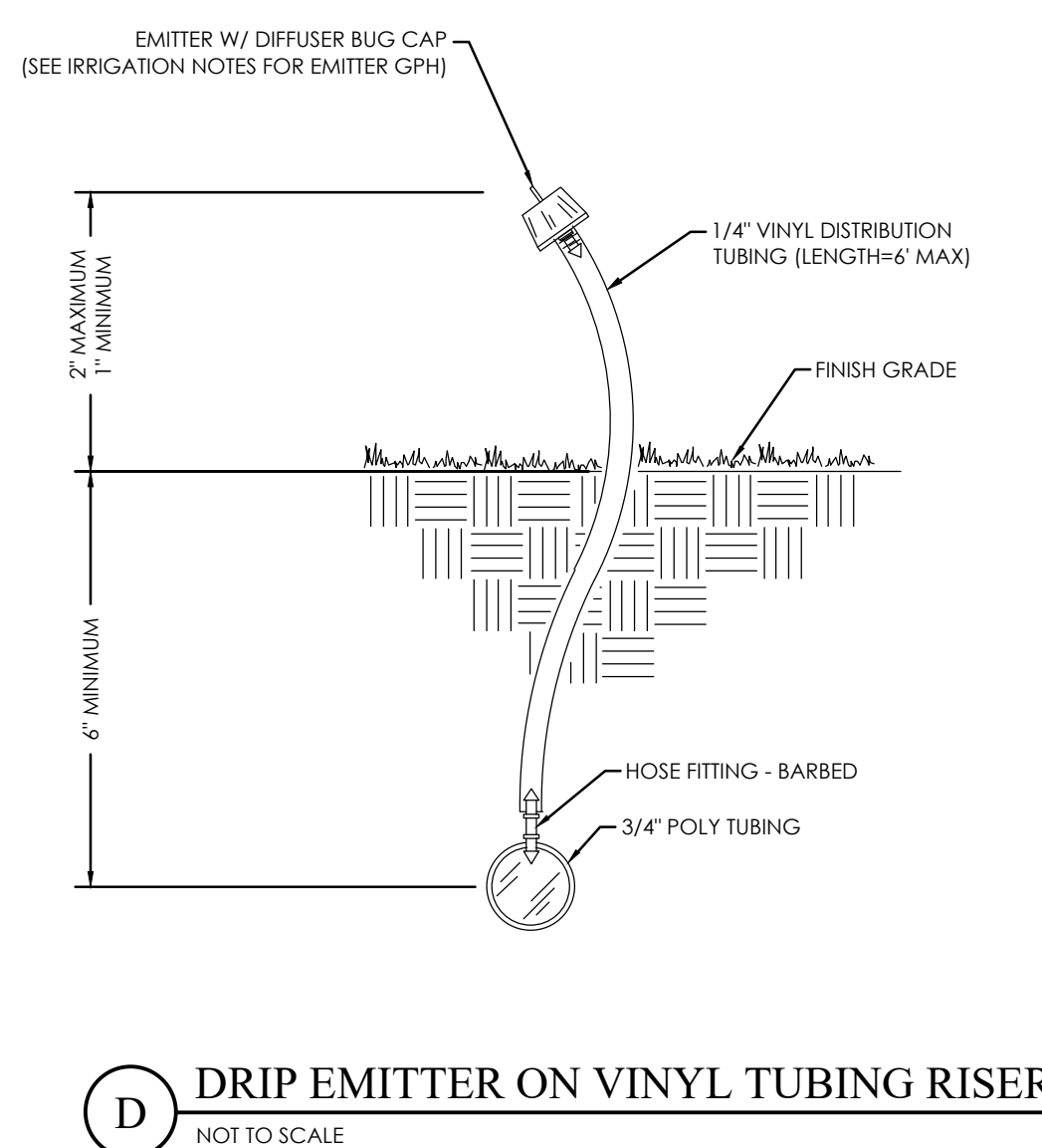
A PIPE TRENCH DETAIL (NEW PAVEMENT AREAS)
NOT TO SCALE



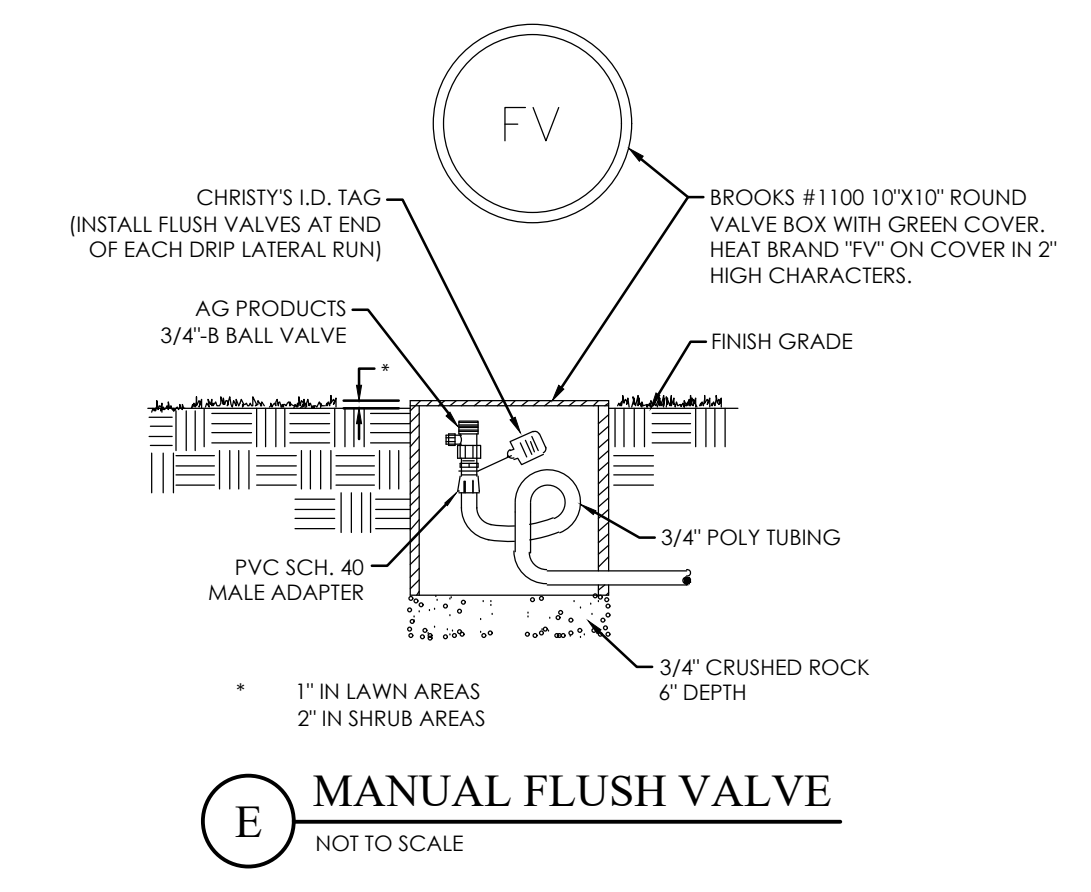
B TRENCH SECTION
NOT TO SCALE



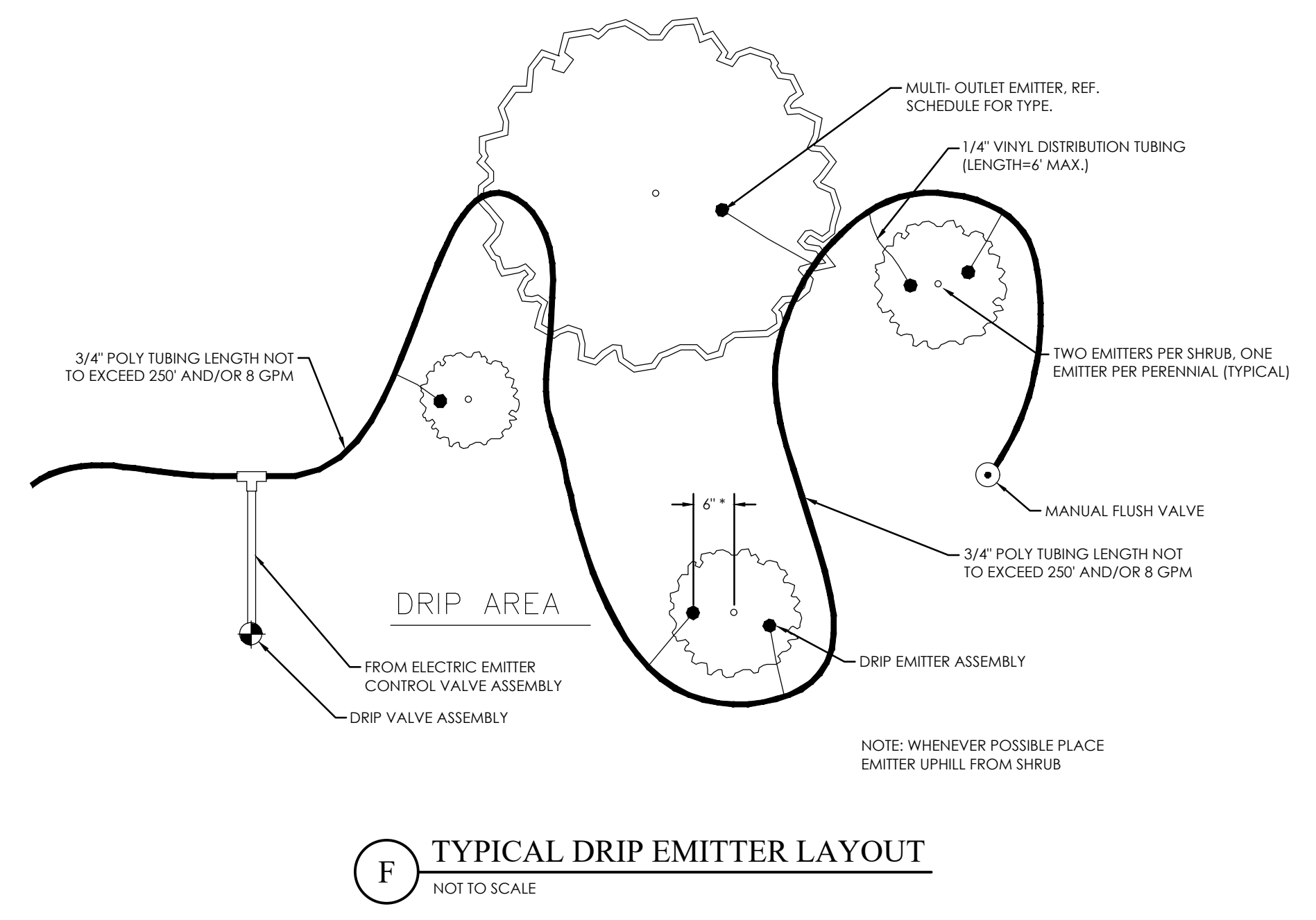
C CONTROL ZONE KIT
NOT TO SCALE



D DRIP EMITTER ON VINYL TUBING RISER
NOT TO SCALE



E MANUAL FLUSH VALVE
NOT TO SCALE



F TYPICAL DRIP EMITTER LAYOUT
NOT TO SCALE

Project Phase
Construction Documents
Revision Schedule

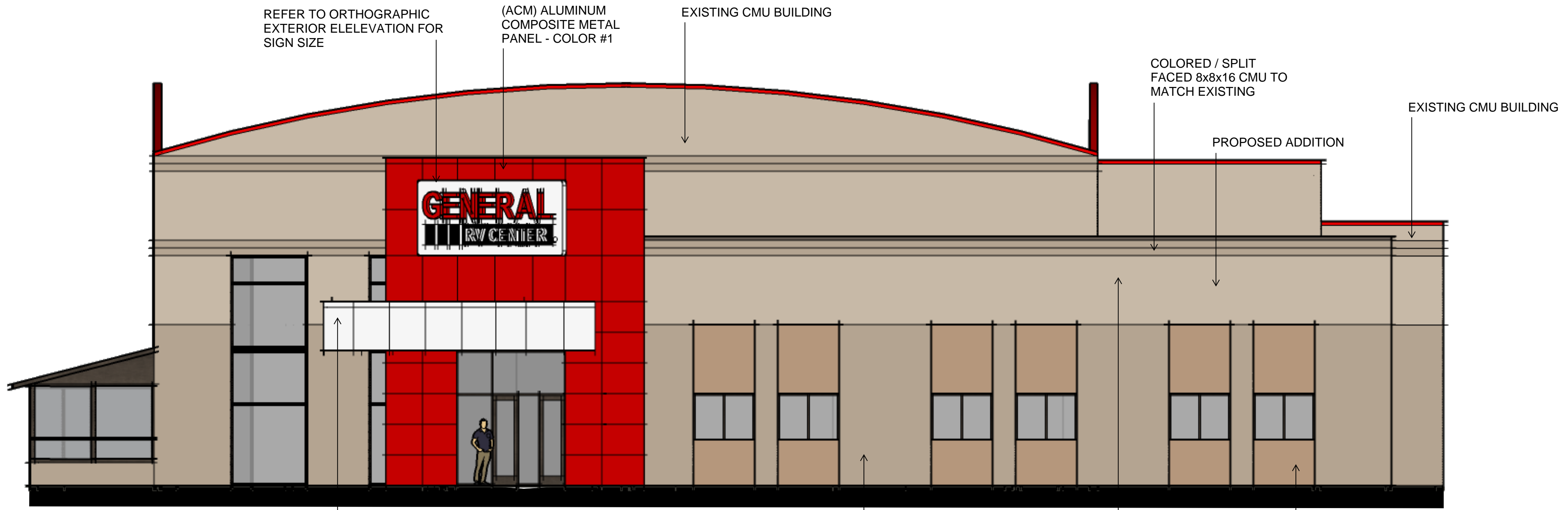
No.	Description	Date
1	ADDENDUM NO. 1	08/20/2024
2	---	---
3	---	---
4	---	---
5	---	---
6	---	---

EXHIBIT H
ELEVATIONS



NORTH ELEVATION

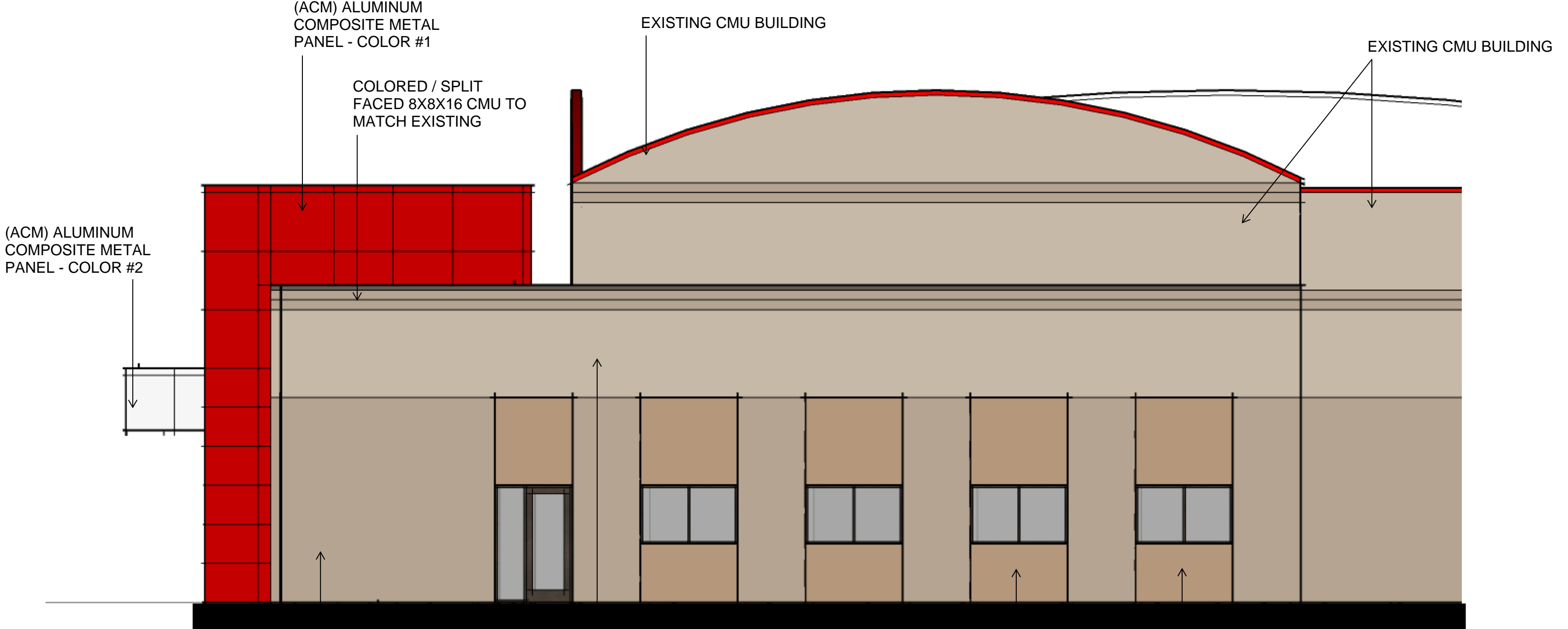
ADDITION MATERIALS
ACM COLOR 1 = 77%
ACM COLOR 2 = 14%
CMU COLORED SMOOTH FACE = 3%
CMU COLORED SPLIT FACE = 6%



WEST ELEVATION

ADDITION MATERIALS
ACM COLOR 1 = 27%
ACM COLOR 2 = 5%
CMU COLORED SMOOTH FACE = 19%
CMU COLORED SPLIT FACE = 26%
ATLAS BRICK = 22%

COLORED / SPLIT FACED 8x8x16 CMU TO MATCH EXISTING
COLORED / SMOOTH FACED 8x8x16 CMU TO MATCH EXISTING
8x4x16 STRUCTURAL ATLAS BRICK - TYPICAL



SOUTH ELEVATION

ADDITION MATERIALS
ACM COLOR 1 = 14%
ACM COLOR 2 = 1%
CMU COLORED SMOOTH FACE = 25%
CMU COLORED SPLIT FACE = 36%
ATLAS BRICK = 25%

COLORED / SPLIT FACED 8x8x16 CMU TO MATCH EXISTING
COLORED / SMOOTH FACED 8x8x16 CMU TO MATCH EXISTING
PROPOSED ADDITION
8x4x16 STRUCTURAL ATLAS BRICK - TYPICAL



PERSPECTIVE VIEW

Existing 8x8x16 CMU (Colored Smooth Face) to be matched



MASONRY COLORS



EXISTING PHOTO



Project For
GENERAL RV CENTER
14295 Minuteman Dr.
Draper, UT 84020

Addition /
Renovation

Project Phase		
Construction Documents		
Revision Schedule		
No.	Description	Date
1		

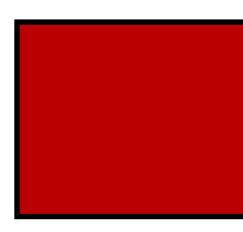
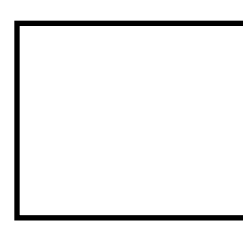
Project Number
187.045

Project Issue Date



Sheet Title
Colored Elevations and Materials

Sheet Number

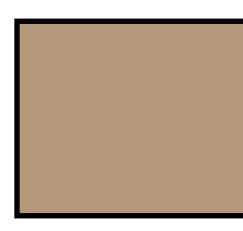
ACM PANEL COLORS

-  Reynobond Color Weld 500 - Brite Red
-  Reynobond Color Weld 500 - Bone White

CMU COLORS

-  8x8x16 CMU (Colored Split Face)
Custom Color to Match Existing CMU
-  8x8x16 CMU (Colored Smooth Face)
Custom Color to Match Existing CMU

ATLAS BRICK

-  8x4x16 Structural Atlas Brick
Color = Smokey Mountain
Texture = Matte
Manufacturer = Interstate Brick

**EXHIBIT I
LIGHTING PLAN**

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SITE LIGHT FIXTURE SCHEDULE

LIGHT FIXTURE ABBREVIATION SCHEDULE		PROJECT MANAGER: JOSH OAKESON	
A.F.F.	ABOVE FINISH FLOOR	SCBA	STANDARD PAINTED COLOR AS SELECTED BY THE ARCHITECT
WALL/BLDG	WALL MOUNT AT CORNER OF WALL AND CEILING	CFBA	CUSTOM FINISH AS SELECTED BY THE ARCHITECT
CCBA	CUSTOM PAINTED COLOR AS SELECTED BY THE ARCHITECT	SFBA	STANDARD FINISH AS SELECTED BY THE ARCHITECT

LIGHT FIXTURE GENERAL NOTES	
1.	REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR LOCATIONS OF LIGHT FIXTURES AND, CONFIRM CEILING TYPES WITH LIGHT FIXTURE TRIMS. BRING ALL DISCREPANCIES OF LOCATIONS AND QUANTITIES TO THE ATTENTION OF THE ARCHITECT AND ELECTRICAL ENGINEER PRIOR TO BIDDING.
2.	REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHTS AND LOCATIONS OF LIGHT FIXTURES. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING.
3.	REFER TO THE SPECIFICATIONS FOR OTHER LIGHT FIXTURE, FUSING, LED DRIVERS, AND LAMP REQUIREMENTS AND ACCEPTABLE MANUFACTURERS.
4.	CONFIRM AVAILABLE MOUNTING DEPTHS OF ALL LIGHT FIXTURES AND COMPARE WITH DEPTHS SHOWN ON SHOP DRAWINGS. BRING ALL POTENTIAL CONFLICT AREAS TO THE ATTENTION OF THE ARCHITECT AND ELECTRICAL ENGINEER PRIOR TO RELEASE.
5.	REFER TO LIGHTING PLANS FOR ALL LINEAR FIXTURE LENGTHS. THE CATALOG NUMBER IS BASED ON THE FIXTURE SPECIFIED AND MAY NOT REFLECT THE QUANTITY OR OVERALL LENGTH OF LINEAR FIXTURES REQUIRED. CONTRACTOR TO NOTE THAT VARIOUS FIXTURE LENGTHS MAY BE REQUIRED TO ACHIEVE THE OVERALL RUN LENGTH.
6.	REFER TO LIGHTING PLANS FOR ALL UNDERCABINET FIXTURE LENGTHS. THE CATALOG NUMBER IS BASED ON THE FIXTURE SPECIFIED AND MAY NOT REFLECT THE QUANTITY OR OVERALL LENGTH OF THE UNDERCABINET FIXTURES REQUIRED. CONTRACTOR TO NOTE THAT VARIOUS FIXTURE LENGTHS MAY BE REQUIRED TO ACHIEVE THE OVERALL RUN LENGTH OR TO FIT WITHIN THE MILLWORK. COORDINATE FIXTURE LAYOUT WITH MILLWORK SHOP DRAWINGS PRIOR TO LIGHTING SUBMITTALS.
7.	WHEN A CONTRADICTION EXISTS BETWEEN A SPECIFIC MODEL NUMBER AND THE DESCRIPTION, NOTIFY THE ELECTRICAL ENGINEER AND/OR LIGHTING DESIGNER.
8.	PRIOR APPROVALS ARE REQUIRED BEFORE BIDDING THE PROJECT AND SHALL BE SUBMITTED TO THE ELECTRICAL ENGINEER'S OFFICE AT LEAST (8) EIGHT WORKING DAYS BEFORE THE BID. PRIOR APPROVALS RECEIVED AFTER THIS TIME PERIOD SHALL BE REJECTED.
9.	REFER TO SPECIFICATIONS 20 0500, 26 5100 & 26 5600 (16001, 16510 & 16551).
10.	VALUE ENGINEERING CONDUCTED WITHOUT THE DESIGN TEAM (E, ARCHITECT, ENGINEER & LIGHTING CONSULTANT/DESIGNER) WILL NOT BE ALLOWED, REVIEWED OR APPROVED.
11.	ALL FIXTURES TO BE PURCHASED THROUGH NATIONAL ACCOUNT, CLARUS LIGHTING AND CONTROLS (419)886-3501.

TYPE	DESCRIPTION	MFR.	CATALOG #	VOLTS	TOTAL WATTS	LAMP TYPE	DELIVERED LUMENS	COLOR TEMP	CRI
OD1E	6" LED DOWNLIGHT	COOPER	H05100010EM7-HM8052840-61MDCHEM	120 V	10 VA	LED	1,000	4000 K	80
OW1	LED WALL PACK WITH WAVELINK BLUE TOOTH MOTION SENSOR	COOPER	A10-GWC-SAC2-740-U-14-BA-2Z-W-10CR12	120 V	59 VA	LED	7,502	4000 K	70
OW1E	LED WALL PACK WITH WAVELINK BLUE TOOTH SENSOR AND EM BATTERY	COOPER	GWC-SAC2-C-740-U-BA-CBP-ZW-W0FXX	120 V	59 VA	LED	1,380	4000 K	70

AFTER HOURS CONTROL

- EXISTING SITE LIGHTING FIXTURES (15) SHALL OPERATE FROM DUSK TO 11 P.M.
- EXTERIOR BUILDING LIGHTING FIXTURES (27) SHALL OPERATE FROM DUSK TO DAWN.
- ALL EXTERIOR FIXTURES (42) SHALL BE TURNED OFF FROM DUSK TO DAWN.
- THE TOTAL NUMBER OF LIGHTING SOURCES SHALL BE REDUCED BY 35% WHEN EXTERIOR FIXTURES DEACTIVATE OVERNIGHT.

SHEET KEYNOTES

- L8 EXISTING LIGHT FIXTURE TO REMAIN.
- L9 FIXTURE TO TURN ON AT DAWN AND TURN OFF AT CLOSE OF BUSINESS VIA TIME CLOCK. RUN FIXTURES THROUGH DIGITAL TIME CLOCK (TORX 1101B) FOR TIME CONTROL.
- L10 FIXTURE TO TURN ON AT DUSK AND TURN OFF AT DAWN. FIXTURE TO BE TIED TO EXISTING EXTERIOR LIGHTING CONTROL CIRCUIT.
- L11 EMERGENCY LIGHT FIXTURE TO REMAIN ON 24 HOURS A DAY.
- S1 INTERCEPT EXISTING CONDUIT CABLE FOR BUILDING SERVICE AND EXTEND CONDUIT AROUND NEW BUILDING FOOT PRINT AS SHOWN. COORDINATE ALL WORK WITH ROCKY MOUNTAIN POWER AND OWNER. ABANDON EXISTING CONDUIT CABLE THAT RUNS TO EAST FROM THIS POINT.
- S2 LOCATE TWO OUTLETS FOR EV CHARGING AT NEAREST FENCE POST.
- S5 RELOCATE EXISTING LIGHT FIXTURE TO NEW LOCATION.
- S7 EXISTING LIGHT FIXTURE.



ELECTRICAL SITE PLAN
SCALE = 1" = 20'-0"



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LUND
ARCHITECTS



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GENERAL
RV CENTER

Project For
GENERAL RV CENTER
14295 Minuteman
Dr. Draper, UT
84020

Addition /
Renovation

Project Phase
CONSTRUCTION DOCUMENTS

REVISIONS		
MARK	DATE	DESCRIPTION
1	05/07/2024	ISSUED FOR CONSTRUCTION
2	05/07/2024	ISSUED FOR COMMENTS
3	05/07/2024	ISSUED FOR COMMENTS
4	05/07/2024	ISSUED FOR COMMENTS

Project Number
23405

Project Issue Date
May. 07, 2024

Sheet Title

ELECTRICAL SITE PLAN

Sheet Number

ES300

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