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**Development Review Committee**

1020 East Pioneer Road  
Draper, Utah 84020

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**STAFF REPORT**

January 18, 2024

**To:** Jennifer Jastremsky, Zoning Administrator

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Approved

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Date

**From:** Maryann Pickering, AICP, Planner III  
(801) 576-6391 or [maryann.pickering@draperutah.gov](mailto:maryann.pickering@draperutah.gov)

**Re: Lone Peak Phase 1 Renovation – Site Plan Amendment Review Request**

Application No.: SPR-158-2022  
Applicant: Eric Gaoiran of Price Lone Peak Business Park, LLC  
Project Location: 12248 S. Lone Peak Parkway  
Current Zoning: CSD-LP (Lone Peak Commercial Special District)  
Acreage: Approximately 100 acres (4,356,000 square feet) for the boundaries of the business park.  
Request: Request for approval of a site plan amendment to renovate the exterior of multiple buildings within the Lone Peak Business Park.

**SUMMARY**

This application is a request for approval of a site plan amendment for multiple buildings within in Phase 1 of the Lone Peak Business Park. The Lone Peak Business park is generally located at the northwest corner of 12300 South and Lone Peak Parkway (Exhibits B and C). The property is currently zoned CSD-LP. The applicant is requesting to renovate the exterior appearance of some buildings within the Lone Peak Business Park.

**BACKGROUND**

The CSD-LP was initially adopted by the City Council in 2012. There have been several amendments to the CSD since the initial adoption. One of the amendments modified the regulations regarding the exterior appearance of the buildings to allow for a more modern architectural and color scheme. This site plan amendment is for approval of planned upgrades to the exteriors of the Phase 1 buildings to appear more modern.



**ANALYSIS**

*General Plan and Zoning.* The Land Use Map of the General Plan calls for the Commercial Special District land use designation for the subject property (Exhibit D). This category is characterized as follows:

*Commercial Special District*

LAND USE DESCRIPTION	
<b>CHARACTERISTICS</b>	<ul style="list-style-type: none"> <li>• Include a wide range of commercial uses that are destination oriented and draw from a regional customer base</li> <li>• Compatible, master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components</li> <li>• Limited traffic access points</li> <li>• Development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses</li> <li>• Uniform design standards and aesthetics</li> <li>• Access to individual properties should be provided only from frontage roads or major arterials</li> <li>• Common off-street traffic circulation and parking areas</li> </ul>
<b>LAND USE MIX</b>	<ul style="list-style-type: none"> <li>• Large-scale master-planned commercial centers</li> <li>• Big box centers</li> <li>• Corporate headquarters</li> <li>• Multi-story upscale office buildings</li> <li>• Multi-story upscale residential buildings</li> </ul>
<b>COMPATIBLE ZONING</b>	<ul style="list-style-type: none"> <li>• Adopted Commercial Special District zone</li> <li>• Adopted Major Freeway Arterial Frontage Road zone</li> </ul>
<b>LOCATION</b>	<ul style="list-style-type: none"> <li>• Strategically placed along high-traffic corridors with convenient points of traffic access to and from residential areas</li> <li>• Excellent transportation access to major highways</li> <li>• High visibility from the I-15 corridor</li> <li>• Proximity to both Salt Lake and Utah Counties</li> <li>• Provide adequate buffers in the form of setbacks, open space, low impact industrial uses, barriers, etc. adjacent to existing residential areas</li> <li>• Major streets serving these areas should accommodate truck traffic</li> </ul>

The property has been assigned the CSD-LP zoning classification. This zoning designation supports a variety of uses primarily geared toward manufacturing and office. The CSD-LP zone per Draper City Municipal Code (DCMC) Section 9-18G-010 is *“is a master planned project with multiple architecturally compatible buildings fronting along 12300 South,*



*Draper City's major commercial corridor, and Lone Peak Parkway, Draper City's major commercial/industrial corridor."*

The property is bounded by CSD-LP zoning to the north and east (Exhibit E). There is CBP (Business Manufacturing Park) zoning to the south. To the west is a small area of A5 (Agricultural), which is part of the railroad right-of-way and both RM1 (Multiple Family Residential) and R3 (Single Family Residential) zoning designations are found west of the railroad right-of-way.

Site Plan Layout. The proposed amendments to the business park include the following buildings: Timpanogos, Olympus, Rainer, Everest, Denali, and Shasta (Exhibit F). Improvements to each of the buildings includes landscaping and exterior enhancements. There will be no changes to the height of buildings, parking lots, access to properties or signs. The exterior improvements will modify each of the buildings and upgrade their appearance to match the newer buildings that have been built in the Lone Peak Biotech Park.

**Table 1 Site Plan Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Setbacks			
Front – Retail	30 feet	No change	
Front – Industrial	20 feet	No change	
Rear – Retail	None	-	
Rear – Industrial	None	-	
Sides – Retail	None	-	
Sides – Industrial	None	-	

Landscaping and Lot Coverage. The applicant is proposed to upgrade the existing landscaping with new shrubs and plants and adding turf areas (Exhibit F). The landscaping areas will not change from their existing approved size. This application was submitted in July 2022 before the recent updates to the landscape ordinance. Therefore, the new water wise landscaping standards do not apply to this submittal.

No changes to the overall percentages of landscaping as required by the approved CSD will occur and the project will still meet all applicable standards.

Architecture. All existing buildings proposed to be updated are from the early 2000’s and have the original design and color palette. The applicant intends to paint the buildings from the current color to white and modify each entrance into each business. The pitched roof element at the top will be removed with a new metal cap placed over the doors (Exhibit G). No changes are proposed to the existing footprint or interior of the buildings.

Criteria for Approval. The criteria for review and potential approval of a site plan amendment request is found in Sections 9-5-060(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

- E. *Standards For Approval: The following standards shall apply to the approval of a site plan:*
1. *The entire site shall be developed at one time unless a phased development plan is approved.*
  2. *A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.*
  3. *The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.*
  4. *The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.*
  5. *The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.*
- H. *Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:*
1. *Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:*
    - a. *The proposed use is consistent with uses permitted on the site;*
    - b. *Existing uses were permitted when the site plan was approved, or have received a conditional use permit;*
    - c. *The proposed use and site will conform to applicable requirements of this Code;*
    - d. *The proposed expansion meets the approval standards of subsection E of this section;*
    - e. *The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and*
  2. *If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.*
  3. *If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*

4. *Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

## **REVIEWS**

*Planning Division Review.* The Draper City Planning Division has completed their review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

*Engineering and Public Works Divisions Review.* The Draper City Engineering and Public Works Divisions have completed their review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

*Building Division Review.* The Draper City Building Division has completed their review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

*Fire Division Review.* The Draper City Fire Marshal has completed his review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

*Legal Division Review.* The Draper City Attorney has completed his review of the site plan amendment submission. Comments from this division, if any, can be found in Exhibit A.

*Noticing.* Notice has been properly issued in the manner outlined in the City and State Codes.

## **STAFF RECOMMENDATION**

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.

The findings for approval as are follows:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.

2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.

The findings for denial as are follows:

1. The proposed development plans do not meet the intent, goals, and objectives of the Draper City General Plan.
2. The proposed development plans do not meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development plans will be deleterious to the health, safety, and general welfare of the general public and the residents of adjacent properties.
4. The proposed development does not conform to the general aesthetic and physical development of the area.
5. The public services in the area are not adequate to support the subject development.
6. Reasonable mitigation measures cannot be placed on the conditional use to alleviate anticipated detrimental effects, including traffic and parking.

**DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT**

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

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Draper City Public Works Division

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Draper City Building Division

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Draper City Fire Department

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Draper City Planning Division

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Draper City Legal Counsel

**EXHIBIT A**  
**DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

*Planning Division Review.*

No additional comments provided.

*Building Division Review.*

No additional comments provided.

*Engineering and Public Works Divisions Review.*

No additional comments provided.

*Fire Division Review.*

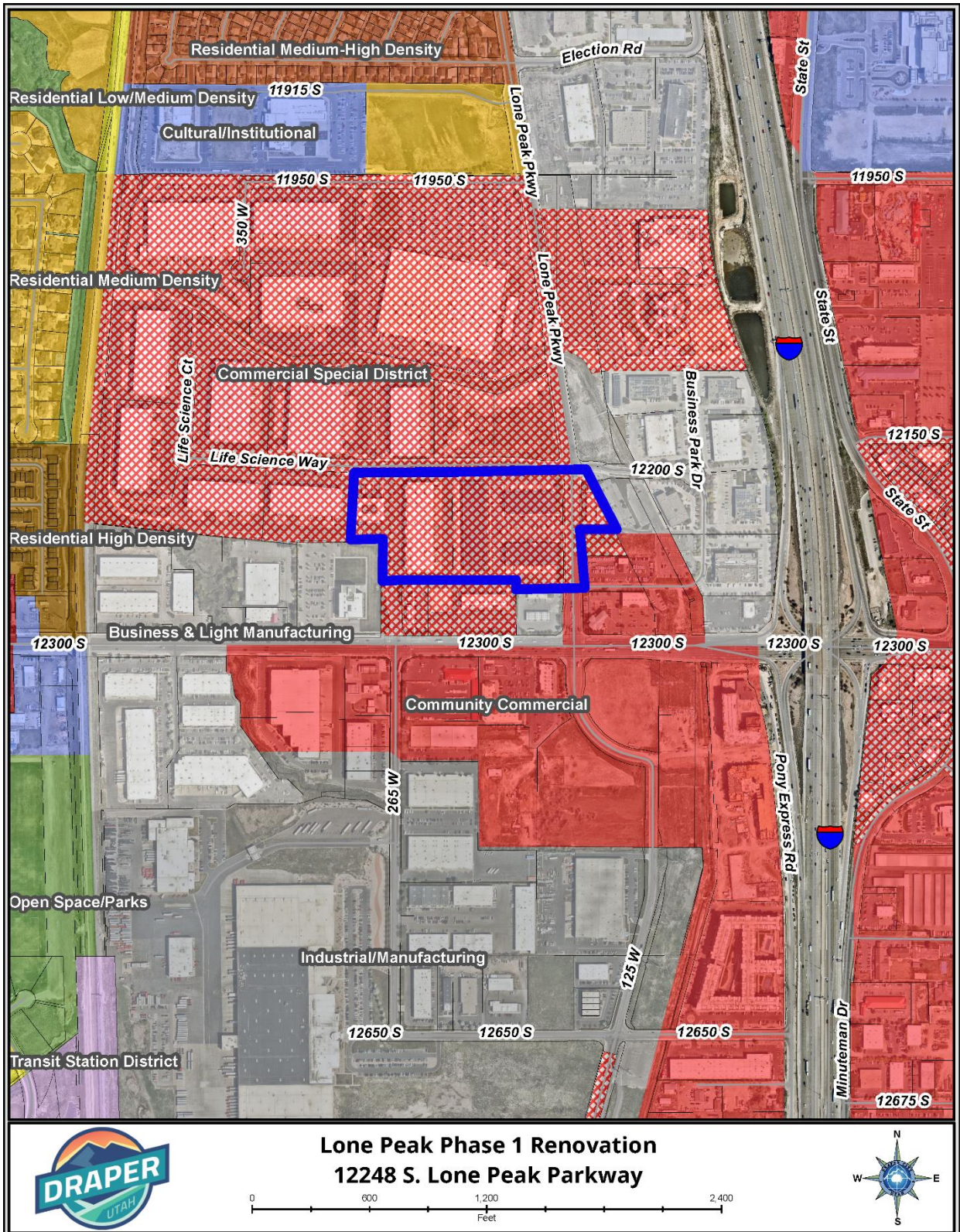
No additional comments provided.

*Legal Review.*

No additional comments provided.



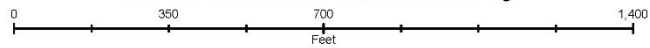
# EXHIBIT B VICINITY MAP



# EXHIBIT C AERIAL MAP



**Lone Peak Phase 1 Renovation**  
**12248 S. Lone Peak Parkway**



# EXHIBIT D LAND USE MAP

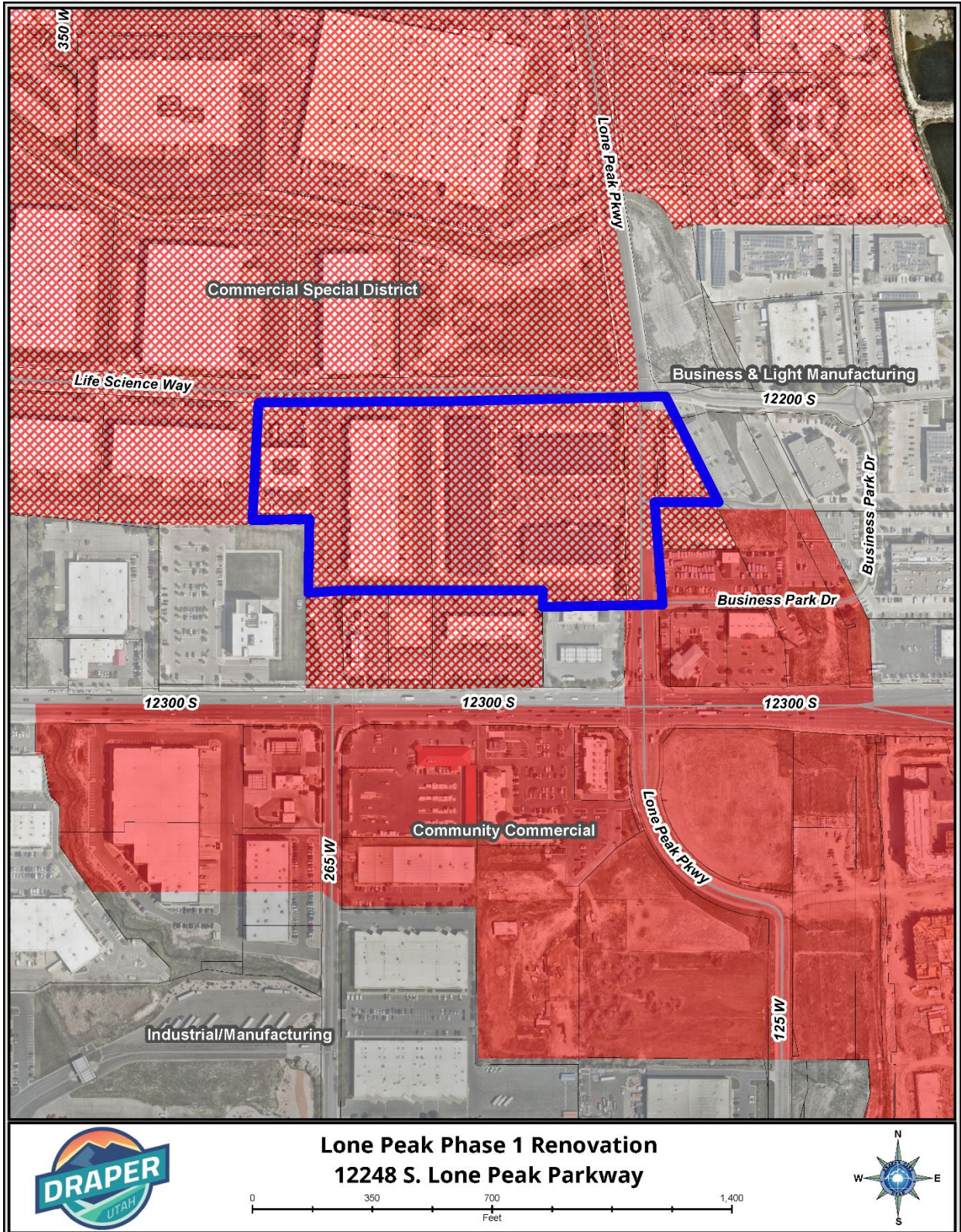
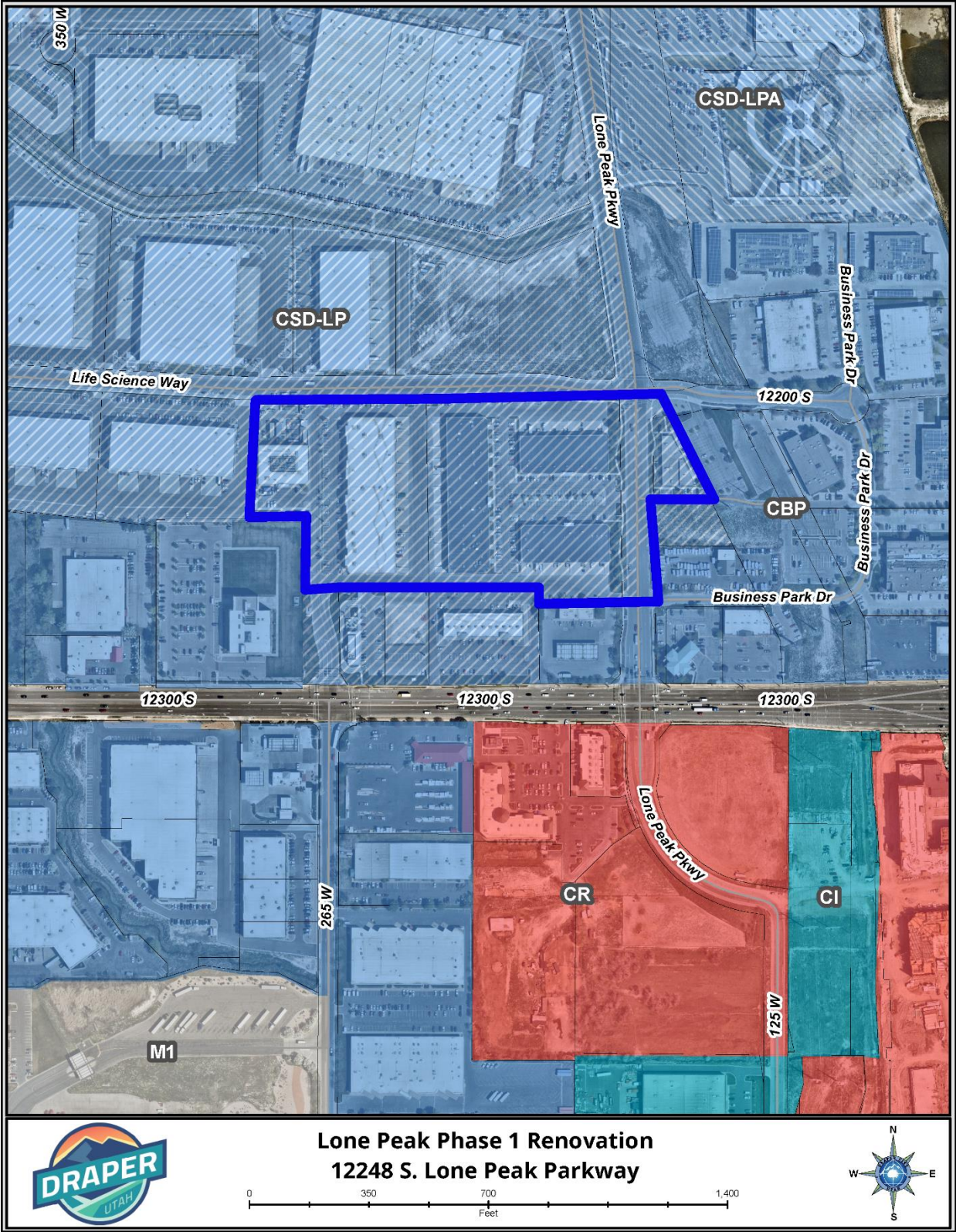
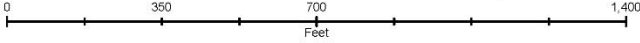


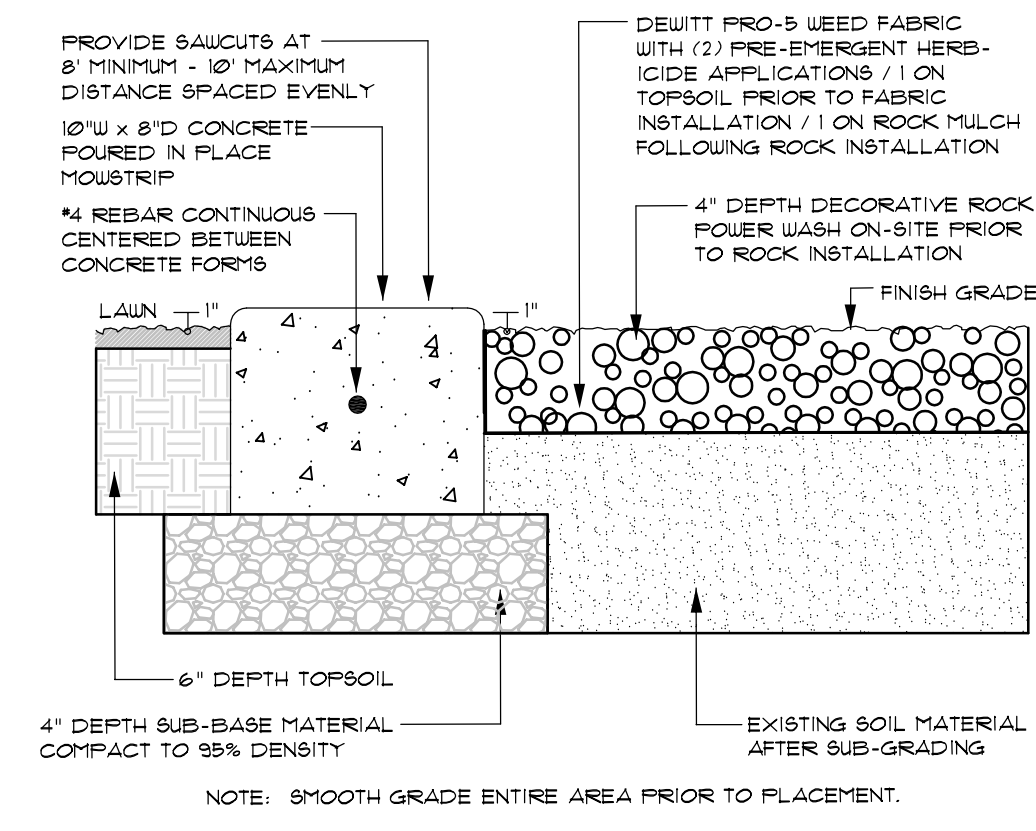
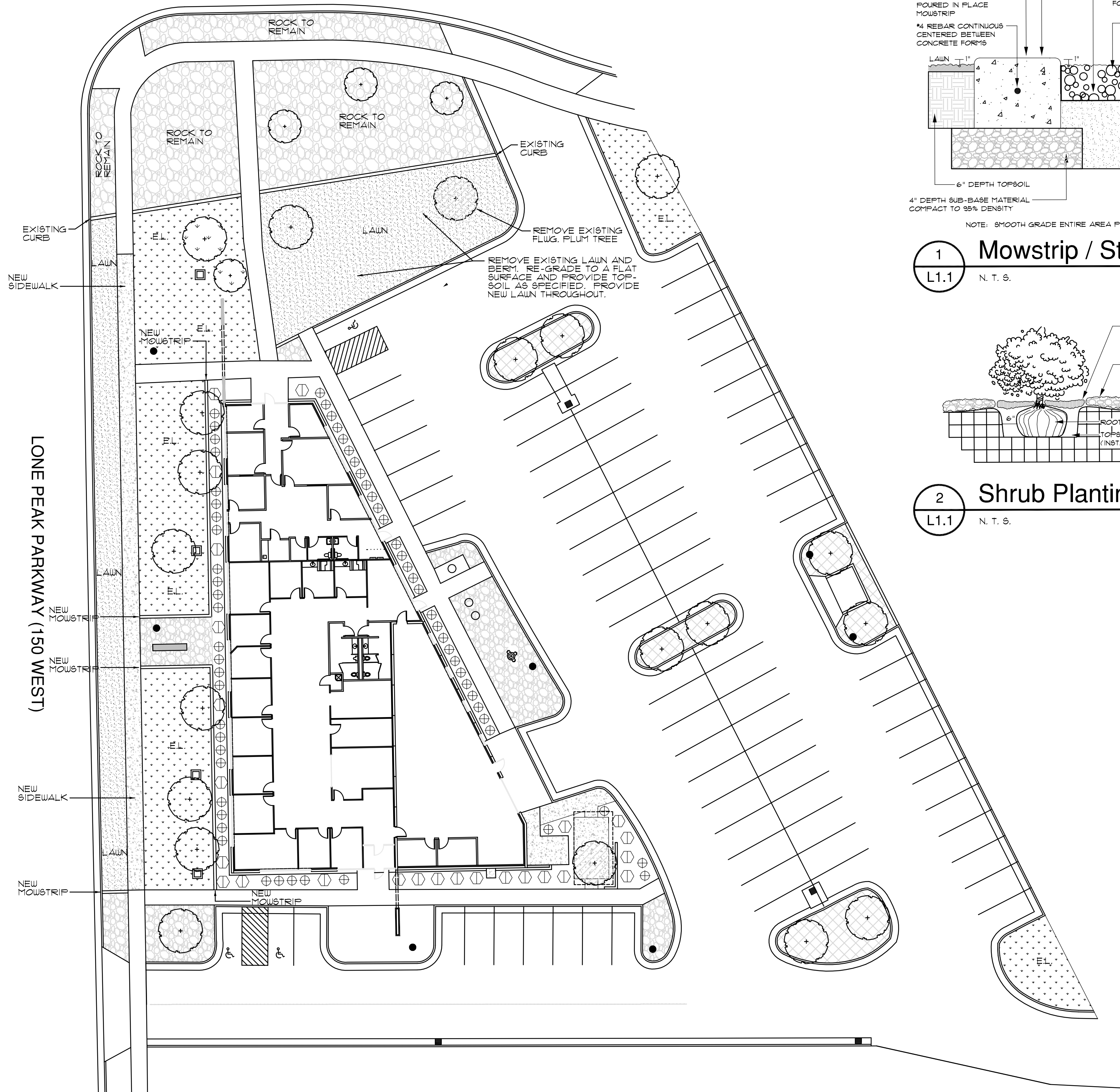
EXHIBIT E  
ZONING MAP



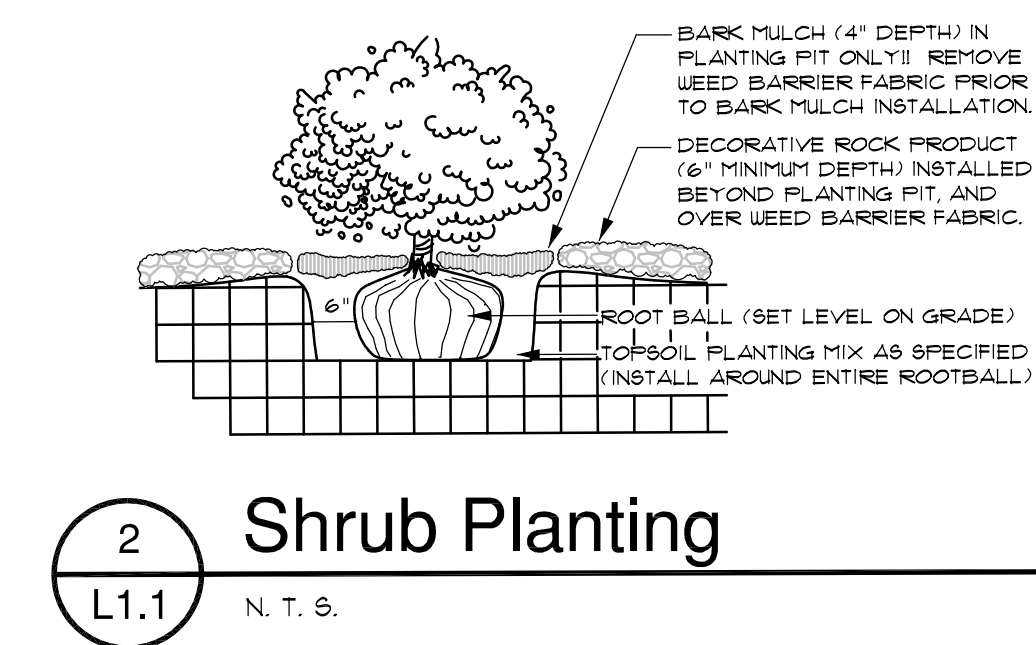
Lone Peak Phase 1 Renovation  
12248 S. Lone Peak Parkway



**EXHIBIT F**  
**SITE PLAN/LANDSCAPE PLANS**



**1 Mowstrip / Stone Mulch**  
N. T. S.



**2 Shrub Planting**  
N. T. S.

**Legend**

Symbol	Description	Remarks
	Concrete Mowstrip / Poured In Place / 10'W x 8'D Dimension See Detail I, Drawing L11.	Install In True Straight Lines 4 Flush To All Curbs, Walks 4 Other Surfaces. Provide 4" Depth Base Material And Compact Sub-grade And Material To Minimum 95%.
	Existing Lawn Area / To Be Protected And Maintained During Construction Operations.	Where Repairs Or Alterations Are Required, Install New Over A 6" Depth Of Existing Or Import Topsoil. Where Grade Changes Or Patching Occurs, Blend Grade To Create Smooth Transition.
	New Lawn Areas / Sod Material To Be Composed Of Drought Tolerant Varieties.	Install In Areas Shown, And Over A 6" Depth Of Import Topsoil. Sod Material To Be Composed Of Multiple Drought Tolerant Bluegrass Varieties. Provide Cutsheet Of Exact Product.
	Decorative Rock / 'Mustang Gray' Product / 1" - 1 1/2" Size / Delivered To Site 'Un-Washed'	In These Areas, Remove Existing Rock Product And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Used Barrier Fabric 4 Pre-Emergent.
	Decorative Rock / 'Mustang Gray' Product / 1" - 1 1/2" Size / Delivered To Site 'Un-Washed'	In These Areas, Remove Existing Lawn And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Used Barrier Fabric 4 Pre-Emergent.
	New Or Existing Planting Area / Install Decorative Rock Product As Described Above.	In These Areas, Remove Existing Plant Materials 4 Rock Mulch. Prepare Area To Proper Sub-grade Per Requirements. Install New Plantings, Rock Mulch, Used Barrier Fabric 4 Pre-Emergent.

**Plant List (TREES)**

Quan.	Symbol	Description	Common Name	Remarks
NA		Existing Tree	Varies	To Be Protected And Maintained During Construction And Beyond
NA		Existing Tree	Varies	To Be Removed Prior To New Walk And Other Construction Installation

**Plant List (ORNAMENTAL GRASSES)**

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
25		Calamagrostis acut. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon 18" - 24" Ht.	
0		Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	5 Gallon 18" - 24" Ht.	
61		Fennisetum alopec. 'Hamein'	Hamein Dw. Fountain Grass	5 Gallon 15" - 18" Ht.	
0		Sesleria autumnalis	Autumn Moor Grass	2 Gallon 12" - 15" Ht.	

\* Plant quantities are provided for convenience ONLY!! The contractor shall provide and install all plants either shown or noted on the plans.

**Planting Notes**

- All lawn areas shall receive a 6 inch depth of topsoil. Topsoil in planting beds shall be limited to the actual planting hole for individual plantings. Topsoil material is not available at the site and must be imported from an approved local source. All topsoil shall be of a sandy loam consistency. The contractor shall supply a sample and chemical analysis of the proposed topsoil from a reputable topsoil company. The chemical analysis shall be of an acceptable range as compared to the "Topsoil Quality Guidelines" table shown on these drawings.
- Prior to placement of topsoil, all subgrade areas shall be covered by scarifying the soil to a 6 inch depth, by the use of mechanical means, in order to create a transition layer between soils.
- All plant material holes shall be dug a minimum twice the diameter of the rootball and level with bottom of plant container. Sub-grade material shall be removed from the site, or used in site backfill prior to topsoil placement.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation. A pre-mixed soil medium can be used as an alternative.
- Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per recommendations.
- Upon completion of planting operations, all plant pits and trees wells shall receive a 4 inch depth of fine ground bark mulch cover. The actual bed areas shall receive a minimum 4 inch depth of decorative stone, the specified type is 'Mustang Gray', and shall match the same rock used on existing new buildings. All areas shall receive 'DeWitt' Pro-5 weed barrier fabric prior to installation. Pre-emergent herbicide to be applied to all areas, one application on topsoil prior to fabric installation, the other on top of decorative stone following the installation. All rock to be power washed on-site by contractor, using whatever means necessary, prior to rock installation.
- In decorative rock beds, cut the fabric around the water ring of each plant, then apply the 4" depth of bark product inside water ring to extents specified. The remainder of the planter bed shall receive the decorative rock to depth specified, over the weed barrier fabric and 2 pre-emergent herbicide applications.
- All lawn areas shall be installed using a water conserving mixture, and shall be composed of multiple drought tolerant Bluegrass varieties. Provide cutsheet of product and supplier, with locally grown products preferred.
- Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days min) and shall include mowing, weeding, pruning and one fertilization.
- The project shall be swept clean of dirt and debris prior to completion of the project, and on a daily basis, as determined by the Owner/contractor.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and acceptance by Owner.

**Sub-Grade Requirements**

- LAWN AREAS:** Nine (9) inches below finish grade. This will allow for the installation of a six inch depth of topsoil along with the sodding material, leaving the top of sodding 1 inch below finish grade of adjacent concrete and hardscape areas. Existing lawn areas requiring repair may already contain the required amount of topsoil.
- SHRUB AREAS:** Five (5) inches below finish grade. This will allow for the installation of a four inch minimum depth of decorative rock mulch and weed barrier fabric, leaving it 1 inch below finish grade of adjacent concrete and hardscape areas. New topsoil material is limited to the actual planting hole for individual plantings.
- ROCK 'ONLY' AREAS:** Five (5) inches below finish grade. This will allow for the installation of a four inch minimum depth of decorative rock mulch and weed barrier fabric, leaving it 1 inch below finish grade of adjacent concrete and hardscape areas.
- COORDINATION:** The Landscape Contractor shall meet early on in the construction process with the earthwork/grading contractor to discuss and ensure that all sub-grade elevations, per these requirements, are established and provided.

**Submittal Requirements**

- The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments 4 import topsoil in order to obtain approval to be used on the project, and prior to any shipment to the site. Failure to provide this in a timely manner will in no way affect the construction schedule and time for project completion.
- All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of

**Pre-construction Meeting / Site Inspections**

- A pre-construction meeting shall be held prior to the contractor beginning major work on the project. This will include Owner's property management and construction personnel, general contractor, landscape and/or irrigation contractor, as well as landscape architect. All questions or concerns to any project items shall be brought to attention at that time. Locations of required irrigation supply connections, controller locations and electrical supply, general sub-grading elevations, project schedules and plant material availability and quality are typical items of main concern.
- Following completion of sub-grading operations by the earthwork contractor, the landscape and/or irrigation contractor, general contractor and Owner's property management personnel shall review all sub-grade elevations, ensuring that the proper levels, prior to topsoil installation have been achieved.
- The landscape contractor shall be responsible for the proper and accurate layout and placement of all plant materials as shown on the drawings. Any layout conflicts with existing site elements or changes in the site plan shall be brought to the attention of the landscape architect for resolution.
- For trees and other materials purposely placed in alignment with parking stall layout, if parking striping has not been completed at the time of installation, the landscape contractor shall coordinate with the general contractor and striping sub-contractor to accurately measure parking stalls to ensure proper tree placements.
- The landscape architect shall perform progress site inspections at times most critical during the course of construction. The landscape contractor, if needing any design clarification, shall provide a minimum 24 hour advanced notice in order to schedule on-site meetings with the landscape architect.

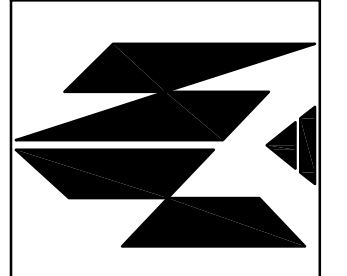
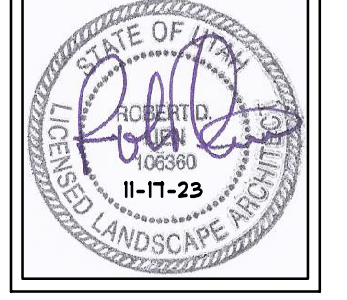
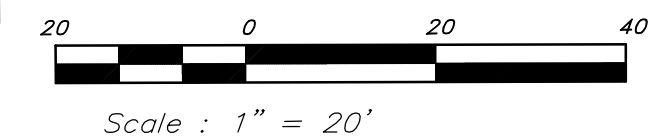
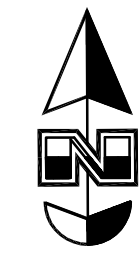
**Planting General Notes**

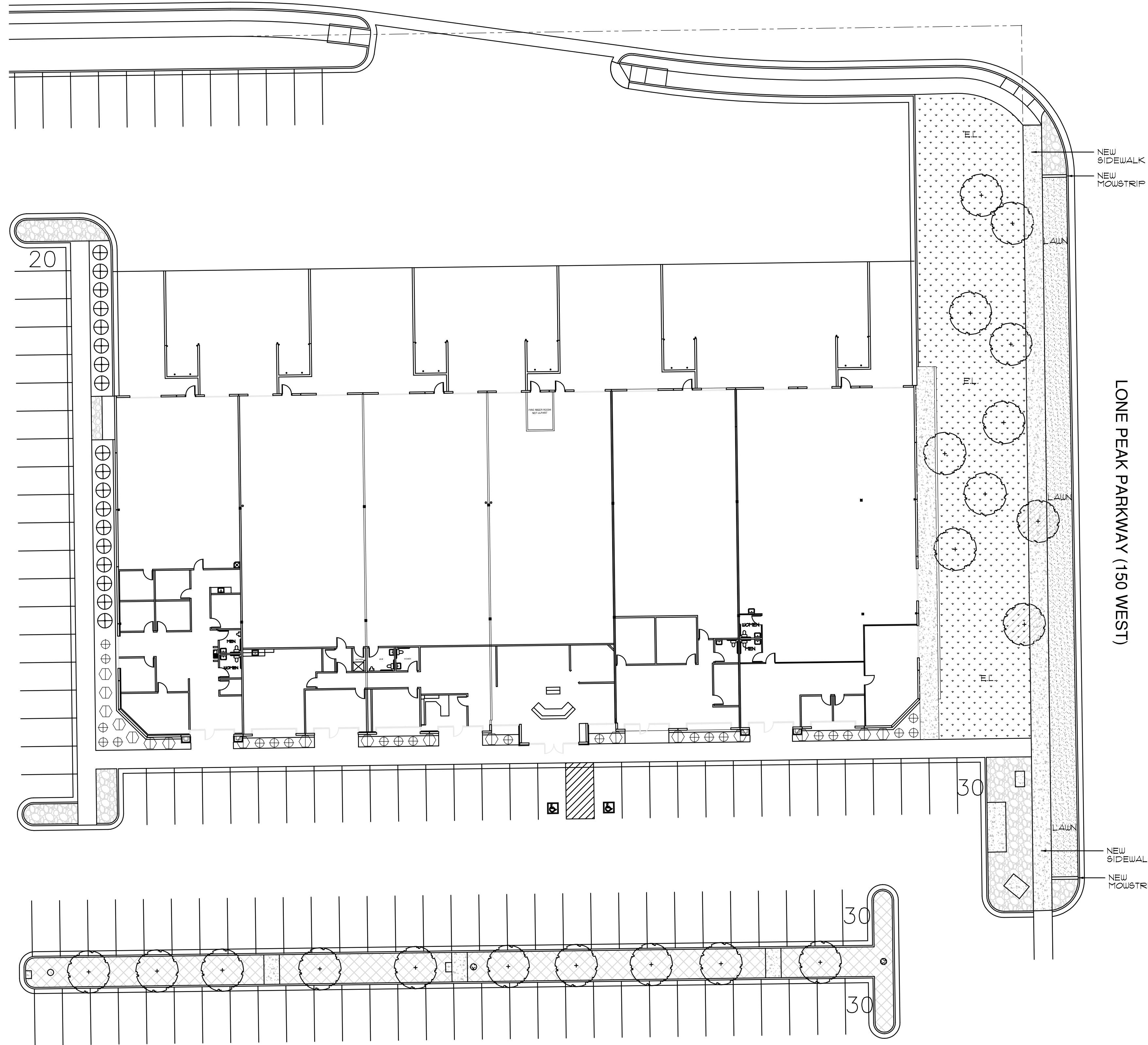
- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
- The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified scale.
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate their work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2"-1" below all walks, curbs, etc.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the rootballs shall be planted flush with the finish grade.

**TIMPANOGOS BUILDING**  
12217 S. Lone Peak Parkway

Landscape Architect

RDL Design Company, Inc.  
1020 East Yale Avenue  
Salt Lake City, Utah 84105  
Phone: 801-647-3114  
Email: raldesign@comcast.net





### Legend

Symbol	Description	Remarks
—	Concrete Mowstrip / Poured In Place / 10'W x 8'D Dimension See Detail I, Drawing L1.1.	Install In True Straight Lines 4 Flush To All Curbs, Walks 4 Other Surfaces. Provide 4" Depth Base Material And Compact Sub-grade And Material To Minimum 95%.
E.L.	Existing Lawn Area / To Be Protected And Maintained During Construction Operations.	Where Repairs Or Alterations Are Required, Install New Over A 6" Depth Of Existing Or Import Topsoil. Where Grade Changes Or Patching Occurs, Blend Grade To Create Smooth Transition.
LAWN	New Lawn Areas / Sod Material To Be Composed Of Drought Tolerant Varieties.	Install In Areas Shown, And Over A 6" Depth Of Import Topsoil. Sod Material To Be Composed Of Multiple Drought Tolerant Bluegrass Varieties. Provide Cutsheet Of Exact Product.
Decorative Rock	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Rock Product And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric 4 Pre-Emergent.
Decorative Rock	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Lawn And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric 4 Pre-Emergent.
No Patch	New Or Existing Planting Area / Install Decorative Rock Product As Described Above.	In These Areas, Remove Existing Plant Materials 4 Rock Mulch. Prepare Area To Proper Sub-grade Per Requirements. Install New Plantings, Rock Mulch, Weed Barrier Fabric 4 Pre-Emergent.

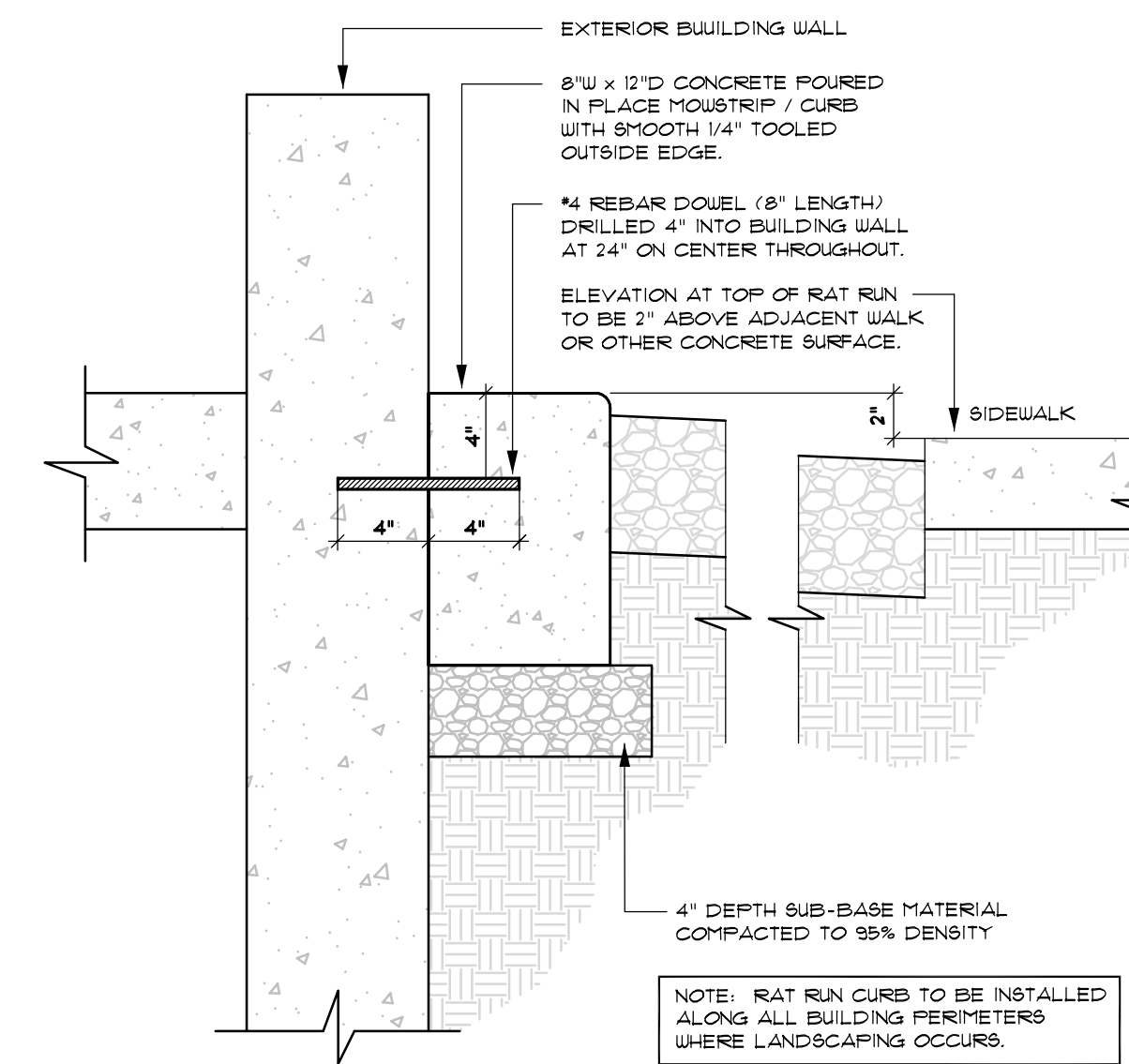
### Plant List (TREES)

Quan.	Symbol	Description	Common Name	Remarks
NA	+	Existing Tree	Varies	To Be Protected And Maintained During Construction And Beyond
NA	+	Existing Tree	Varies	To Be Removed Prior To New Walk And Other Construction Installation

### Plant List (ORNAMENTAL GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
18	⊕	Calamagrostis acut. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	18" - 24" Ht.
18	⊕	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	5 Gallon	18" - 24" Ht.
20	⊕	Femisetum alopecuroides 'Hamein'	Hamein Dw. Fountain Grass	5 Gallon	15" - 18" Ht.
0	⊕	Setaria autumnalis	Autumn Moor Grass	2 Gallon	12" - 15" Ht.

\*\* Plant quantities are provided for convenience ONLY!! The contractor shall provide and install all plants either shown or noted on the plans.



### 1 Rat Run Curb

L1.2 N.T.S.

### TOPSOIL QUALITY GUIDELINES (All Soil Tests 4 Chemical Analysis Reports Shall Contain The Following Minimum Information)

Topsoil Sample Spec	pH	Soluble Salts (dSm or mmol/cm)	Sodium Absorp. Ratio (SAR)	Organic Matter %	Sand %	Silt %	Clay %	Texture Class
Ideal	5.5-7.5	<2	<3	>2.0	<10	<10	<30	Loam (L), Silt Loam (SL)
Acceptable	5.0-8.2	<4	3-15 (pH 5.0-6.5), 6-15 (pH 6.5-8.2)	>1.0	<10	<10	<30	Sandy Clay Loam (SCL), Sandy Loam (SL), Clay Loam (CL), Silt Clay Loam (SCL)
Suspect	>8.2	>4	>10	<1.0	>10	>10	>30	Loamy Sand (LS), Sandy Clay (SC), Silty Clay (S/C), Sand (S), Silt (Si), Clay (C)
Nutrient Specification	Nitrogen (ppm)	Phosphorus (ppm)	Potassium (ppm)	Iron (ppm)				
Specification	>20	>15	>150	>10	(" " represents less than, " " represents greater than, "=" represents equal to)			

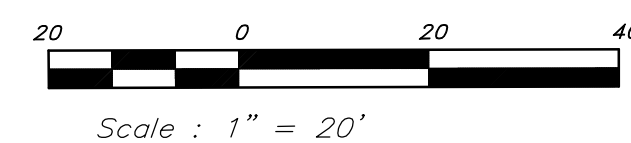
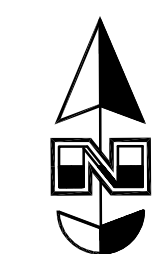
## OLYMPUS BUILDING

12218 S. Lone Peak Parkway

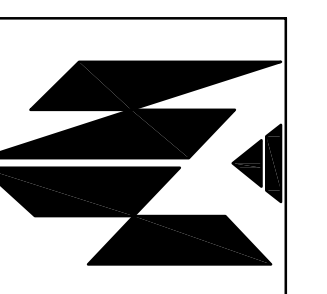
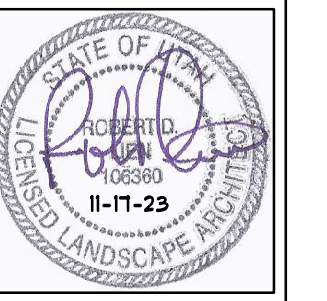
Landscape Architect

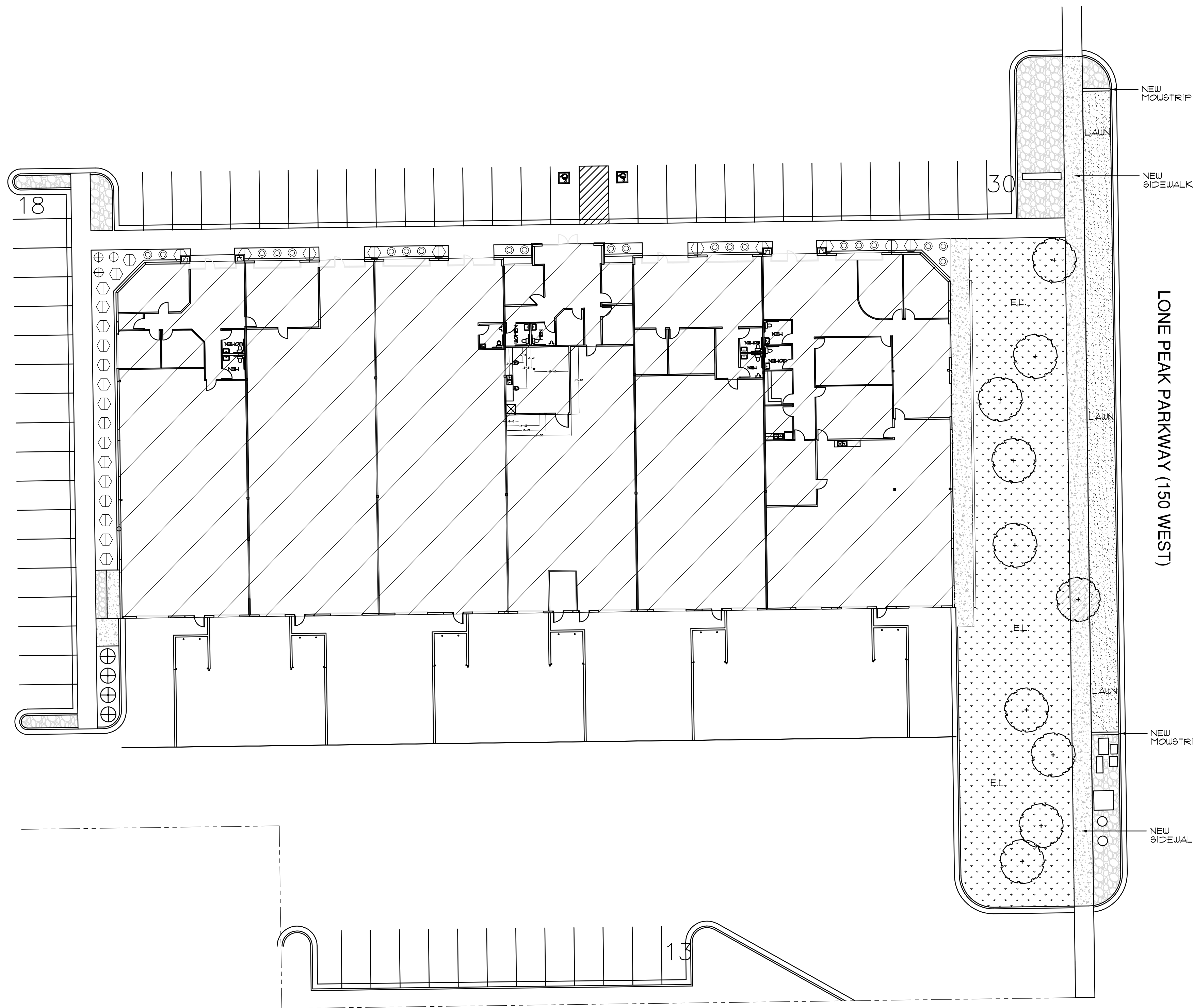
RDL Design Company, Inc.  
1020 East Yale Avenue  
Salt Lake City, Utah 84105

Phone : 801-647-3114  
Email : raldesign@comcast.net



Scale : 1" = 20'





### Legend

Symbol	Description	Remarks
	Concrete Moustrip / Poured In Place / 10'W x 8'D Dimension See Detail I, Drawing L11.	Install In True Straight Lines & Flush To All Curbs, Walks, & Other Surfaces. Provide 4" Depth Base Material And Compact Sub-grade And Material To Minimum 95%.
	Existing Lawn Area / To Be Protected And Maintained During Construction Operations.	Where Repairs Or Alterations Are Required, Install New Over A 6" Depth Of Existing Or Import Topsoil. Where Grade Changes Or Patching Occurs, Blend Grade To Create Smooth Transition.
	New Lawn Areas / Sod Material To Be Composed Of Drought Tolerant Varieties.	Install In Areas Shown, And Over A 6" Depth Of Import Topsoil. Sod Material To Be Composed Of Multiple Drought Tolerant Bluegrass Varieties. Provide Cutsheet Of Exact Product.
	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Rock Product And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric & Pre-Emergent.
	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Lawn And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric & Pre-Emergent.
	New Or Existing Planting Area / Install Decorative Rock Product As Described Above.	In These Areas, Remove Existing Plant Materials & Rock Mulch. Prepare Area To Proper Sub-grade Per Requirements. Install New Plantings, Rock Mulch, Weed Barrier Fabric & Pre-Emergent.

### Plant List (TREES)

Quan.	Symbol	Description	Common Name	Remarks
NA		Existing Tree	Varies	To Be Protected And Maintained During Construction And Beyond
NA		Existing Tree	Varies	To Be Removed Prior To New Walk And Other Construction Installation

### Plant List (ORNAMENTAL GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
21		Calamagrostis acut. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	18" - 24" Ht.
4		Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	5 Gallon	18" - 24" Ht.
3		Fennisetum alopec. 'Hamein'	Hamein Dw. Fountain Grass	5 Gallon	15" - 18" Ht.
21		Setaria autumnalis	Autumn Moor Grass	2 Gallon	12" - 15" Ht.

\*\* Plant quantities are provided for convenience ONLY!! The contractor shall provide and install all plants either shown or noted on the plans.

PROJECT NUMBER

XX-XX

REVISIONS

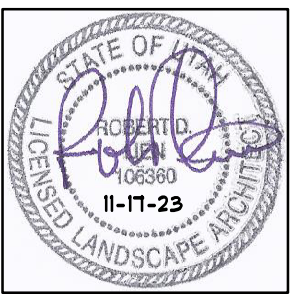
SHEET TITLE

LANDSCAPE PLAN

PROJECT/OWNER

LONE PEAK BIOTECH  
PHASE 1 REMODEL  
LONE PEAK PARKWAY  
DRAPER, UT.  
PRICE LONE PEAK  
230 EAST SOUTH TEMPLE, SLC, UT.

ARCHITECT



NICHOLS • NAYLOR  
ARCHITECTS  
10459 SOUTH 1300 WEST, SUITE 201  
SOUTH JORDAN, UTAH 84095 • (801) 487-3330

## RAINIER BUILDING

12278 S. Lone Peak Parkway

Landscape Architect

RDL Design Company, Inc.  
1020 East Yale Avenue  
Salt Lake City, Utah 84105

Phone : 801-647-3114  
Email : raldesign@comcast.net



Scale : 1" = 20'



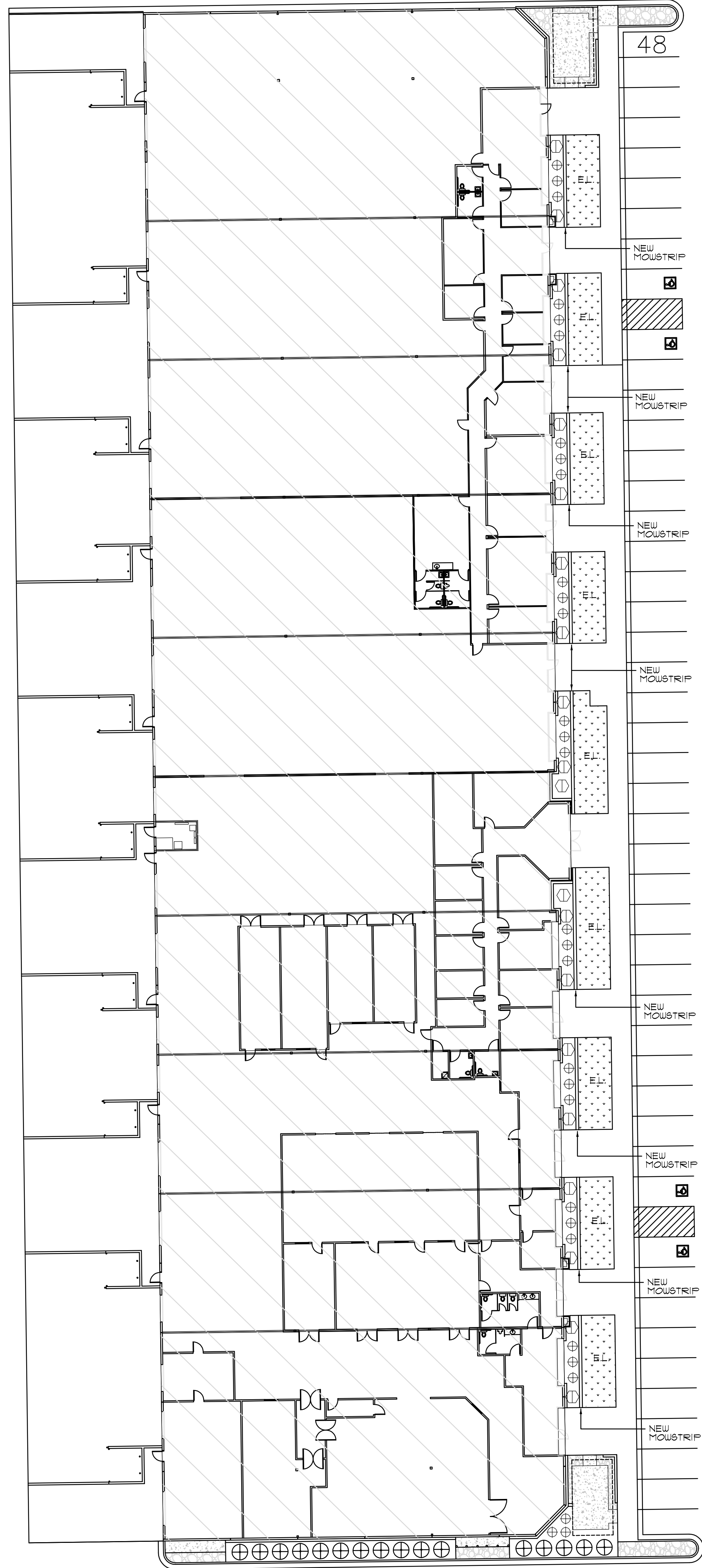
DATE

11-17-2023

SHEET NUMBER

L1.3





48

### Legend

Symbol	Description	Remarks
	Concrete Moustrip / Poured In Place / 10'W x 8'D Dimension See Detail I, Drawing L11.	Install In True Straight Lines & Flush To All Curbs, Walks & Other Surfaces. Provide 4" Depth Base Material And Compact Sub-grade And Material To Minimum 95%.
	Existing Lawn Area / To Be Protected And Maintained During Construction Operations.	Where Repairs Or Alterations Are Required, Install New Over A 6" Depth Of Existing Or Import Topsoil. Where Grade Changes Or Patching Occurs, Blend Grade To Create Smooth Transition.
	New Lawn Areas / Sod Material To Be Composed Of Drought Tolerant Varieties.	Install In Areas Shown, And Over A 6" Depth Of Import Topsoil. Sod Material To Be Composed Of Multiple Drought Tolerant Bluegrass Varieties. Provide Cutsheet Of Exact Product.
	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Rock Product And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric & Pre-Emergent.
	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Lawn And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric & Pre-Emergent.
	New Or Existing Planting Area / Install Decorative Rock Product As Described Above.	In These Areas, Remove Existing Plant Materials & Rock Mulch. Prepare Area To Proper Sub-grade Per Requirements. Install New Plantings, Rock Mulch, Weed Barrier Fabric & Pre-Emergent.

### Plant List (TREES)

Quan.	Symbol	Description	Common Name	Remarks
NA		Existing Tree	Varies	To Be Protected And Maintained During Construction And Beyond
NA		Existing Tree	Varies	To Be Removed Prior To New Walk And Other Construction Installation

### Plant List (ORNAMENTAL GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
20		Calamagrostis acut. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	18" - 24" Ht.
16		Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	5 Gallon	18" - 24" Ht.
30		Fennisetum alopec. 'Hamein'	Hamein Dm. Fountain Grass	5 Gallon	15" - 18" Ht.
0		Sesleria autumnalis	Autumn Moor Grass	2 Gallon	12" - 15" Ht.

\*\* Plant quantities are provided for convenience ONLY!! The contractor shall provide and install all plants either shown or noted on the plans.

PROJECT NUMBER

XX-XX

REVISIONS

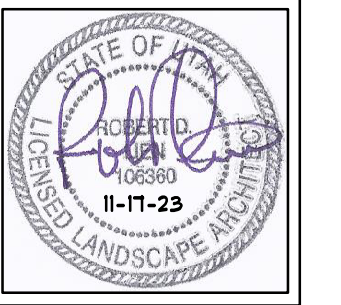
SHEET TITLE

LANDSCAPE PLAN

PROJECT/OWNER

LONE PEAK BIOTECH  
 PHASE 1 REMODEL  
 LONE PEAK PARKWAY  
 DRAPER, UT.  
 PRICE LONE PEAK  
 230 EAST SOUTH TEMPLE, SLC, UT.

ARCHITECT



NICHOLS • NAYLOR  
 A R C H I T E C T S  
 10459 SOUTH 1300 WEST, SUITE 201  
 SOUTH JORDAN, UTAH 84095 • (801) 487-3330

## EVEREST BUILDING

12248 S. Lone Peak Parkway

Landscape Architect

RDL Design Company, Inc.  
 1020 East Yale Avenue  
 Salt Lake City, Utah 84105

Phone : 801-647-3114  
 Email : raldesign@comcast.net



Scale : 1" = 20'

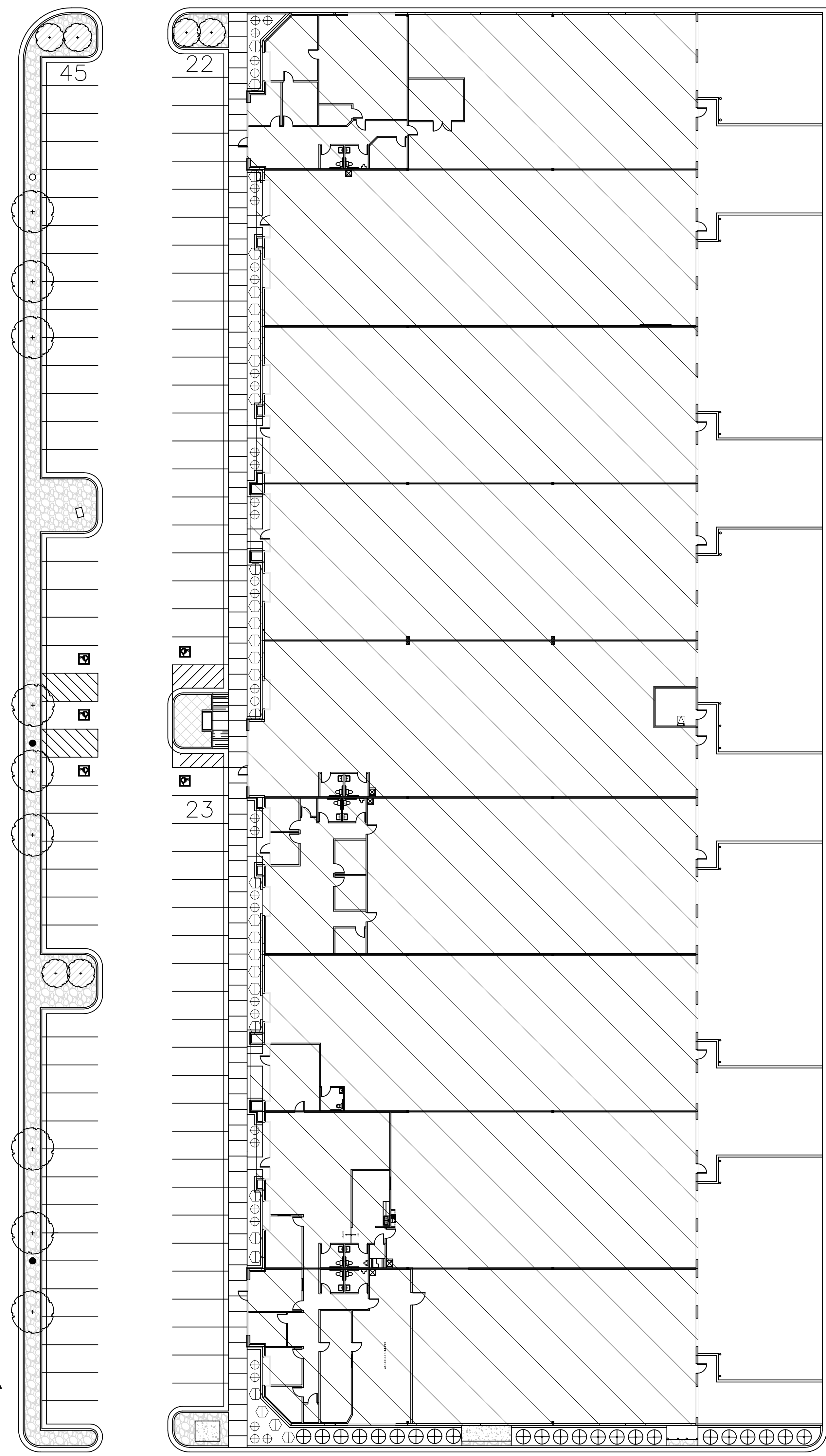


DATE

11-17-2023

SHEET NUMBER

L1.4



### Legend

Symbol	Description	Remarks
	Concrete Mowstrip / Poured In Place / 10'W x 8'D Dimension See Detail I, Drawing L11.	Install In True Straight Lines & Flush To All Curbs, Walks & Other Surfaces. Provide 4" Depth Base Material And Compact Sub-grade And Material To Minimum 95%.
	Existing Lawn Area / To Be Protected And Maintained During Construction Operations.	Where Repairs Or Alterations Are Required, Install New Over A 6" Depth Of Existing Or Import Topsoil. Where Grade Changes Or Patching Occurs, Blend Grade To Create Smooth Transition.
	New Lawn Areas / Sod Material To Be Composed Of Drought Tolerant Varieties.	Install In Areas Shown, And Over A 6" Depth Of Import Topsoil. Sod Material To Be Composed Of Multiple Drought Tolerant Bluegrass Varieties. Provide Cutsheet Of Exact Product.
	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Rock Product And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric & Pre-Emergent.
	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Lawn And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric & Pre-Emergent.
	New Or Existing Planting Area / Install Decorative Rock Product As Described Above.	In These Areas, Remove Existing Plant Materials & Rock Mulch. Prepare Area To Proper Sub-grade Per Requirements. Install New Plantings, Rock Mulch, Weed Barrier Fabric & Pre-Emergent.

### Plant List (TREES)

Quan.	Symbol	Description	Common Name	Remarks
NA		Existing Tree	Varies	To Be Protected And Maintained During Construction And Beyond
NA		Existing Tree	Varies	To Be Removed Prior To New Walk And Other Construction Installation

### Plant List (ORNAMENTAL GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
31		Calamagrostis acut. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	18" - 24" Ht.
23		Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	5 Gallon	18" - 24" Ht.
34		Fennisetum alopec. 'Hamein'	Hamein Dw. Fountain Grass	5 Gallon	15" - 18" Ht.
0		Sesleria autumnalis	Autumn Moor Grass	2 Gallon	12" - 15" Ht.

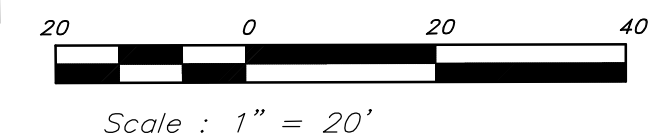
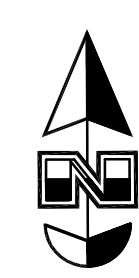
\*\* Plant quantities are provided for convenience ONLY!! The contractor shall provide and install all plants either shown or noted on the plans.

## DENALI BUILDING

228 W. 12300 S.

Landscape Architect

RDL Design Company, Inc.  
1020 East Yale Avenue  
Salt Lake City, Utah 84105  
Phone : 801-647-3114  
Email : raldesign@comcast.net

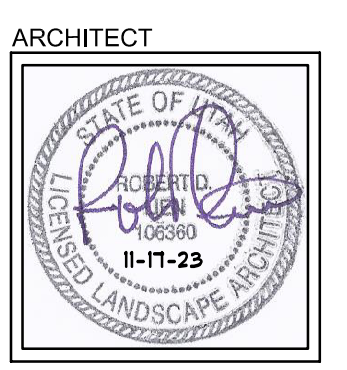


PROJECT NUMBER  
XX-XX

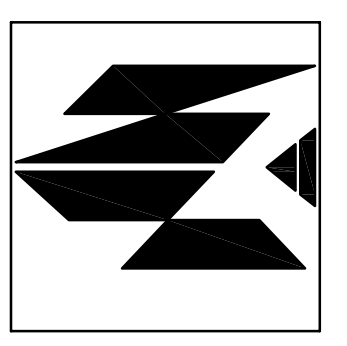
REVISIONS

SHEET TITLE  
**LANDSCAPE PLAN**

PROJECT/OWNER  
**LONE PEAK BIOTECH  
PHASE 1 REMODEL**  
LONE PEAK PARKWAY  
DRAPER, UT.  
PRICE LONE PEAK  
230 EAST SOUTH TEMPLE, SLC, UT.



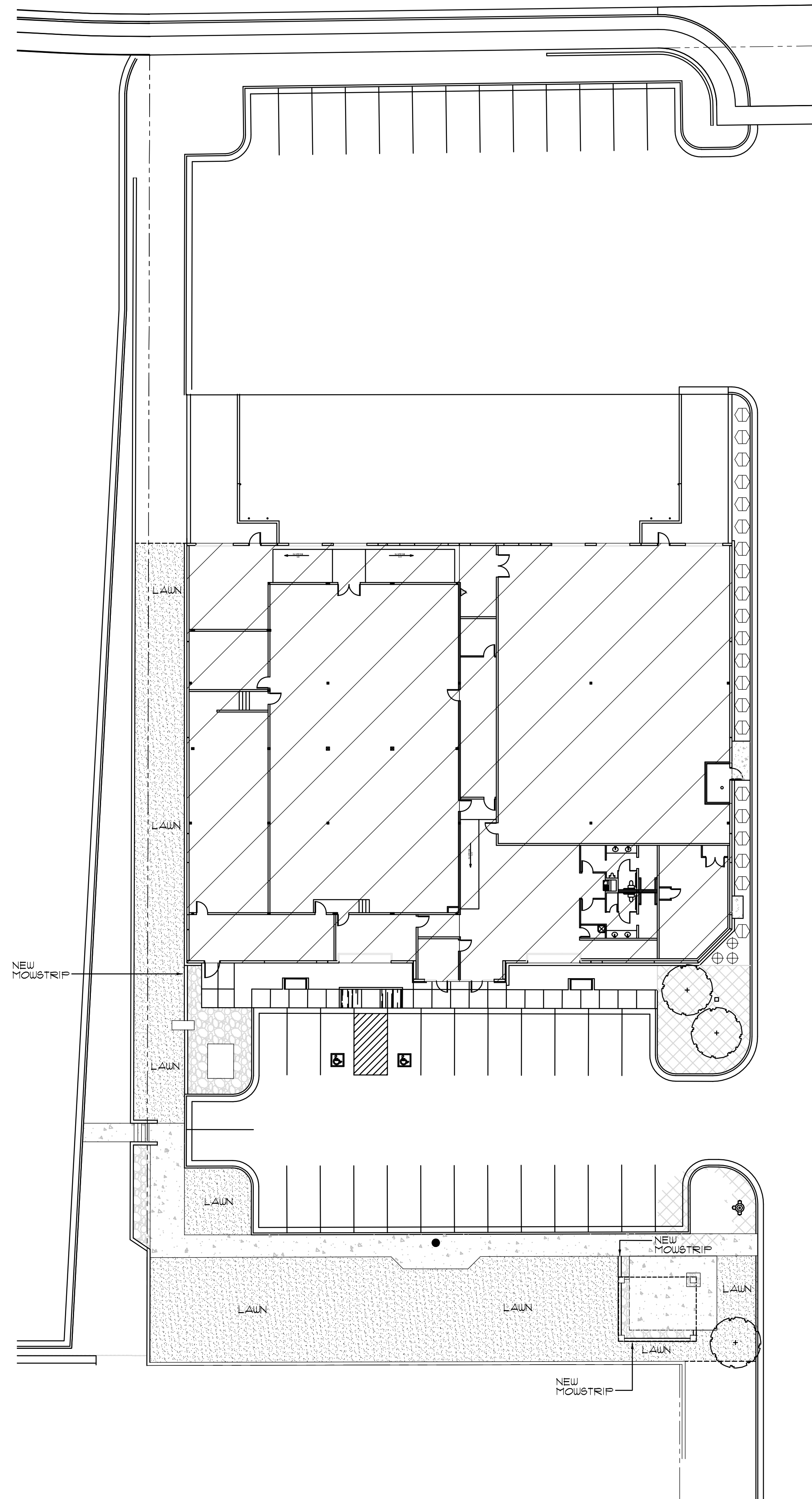
**NICHOLS • NAYLOR**  
ARCHITECTS  
10459 SOUTH 1300 WEST, SUITE 201  
SOUTH JORDAN, UTAH 84095 • (801) 487-3330



DATE  
11-17-2023

SHEET NUMBER  
**L1.5**

Life Science Way (12200 South)



### Legend

Symbol	Description	Remarks
	Concrete Mowstrip / Poured In Place / 10'W x 8'D Dimension See Detail I, Drawing L11.	Install In True Straight Lines & Flush To All Curbs, Walks, & Other Surfaces. Provide 4" Depth Base Material And Compact Sub-grade And Material To Minimum 95%.
	Existing Lawn Area / To Be Protected And Maintained During Construction Operations.	Where Repairs Or Alterations Are Required, Install New Over A 6" Depth Of Existing Or Import Topsoil. Where Grade Changes Or Patching Occurs, Blend Grade To Create Smooth Transition.
	New Lawn Areas / Sod Material To Be Composed Of Drought Tolerant Varieties.	Install In Areas Shown, And Over A 6" Depth Of Import Topsoil. Sod Material To Be Composed Of Multiple Drought Tolerant Bluegrass Varieties. Provide Cutsheet Of Exact Product.
	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Rock Product And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric & Pre-Emergent.
	Decorative Rock / "Mustang Gray" Product / 1" - 1 1/2" Size / Delivered To Site "Un-Washed"	In These Areas, Remove Existing Lawn And Discard Off-Site. Prepare Area To Proper Sub-grade Per Requirements. Install New Rock Product, Weed Barrier Fabric & Pre-Emergent.
	New Or Existing Planting Area / Install Decorative Rock Product	In These Areas, Remove Existing Plant Materials & Rock Mulch. Prepare Area To Proper Sub-grade Per Requirements. Install New Plantings, Rock Mulch, Weed Barrier Fabric & Pre-Emergent.

### Plant List (TREES)

Quan.	Symbol	Description	Common Name	Remarks
NA		Existing Tree	Varies	To Be Protected And Maintained During Construction And Beyond
NA		Existing Tree	Varies	To Be Removed Prior To New Walk And Other Construction Installation

### Plant List (ORNAMENTAL GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
21		Calamagrostis acut. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	18" - 24" Ht.
0		Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	5 Gallon	18" - 24" Ht.
3		Fennisetum alopec. 'Hamein'	Hamein Dw. Fountain Grass	5 Gallon	15" - 18" Ht.
0		Sesleria autumnalis	Autumn Moor Grass	2 Gallon	12" - 15" Ht.

\*\* Plant quantities are provided for convenience ONLY!! The contractor shall provide and install all plants either shown or noted on the plans.

## SHASTA BUILDING

264 W. 12300 S.

Landscape Architect

RDL Design Company, Inc.  
1020 East Yale Avenue  
Salt Lake City, Utah 84105

Phone : 801-647-3114  
Email : raldesign@comcast.net



Scale : 1" = 20'



PROJECT NUMBER

XX-XX

REVISIONS

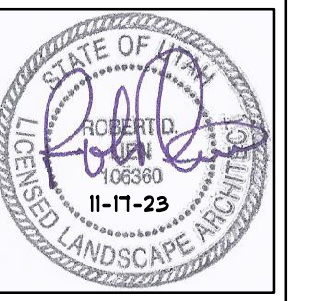
SHEET TITLE

LANDSCAPE PLAN

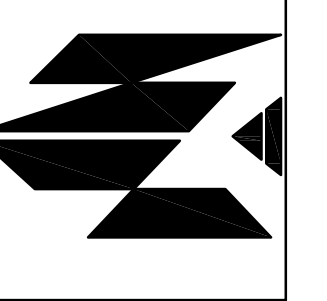
PROJECT/OWNER

LONE PEAK BIOTECH  
PHASE 1 REMODEL  
LONE PEAK PARKWAY  
DRAPER, UT.  
PRICE LONE PEAK  
230 EAST SOUTH TEMPLE, SLC, UT.

ARCHITECT



NICHOLS • NAYLOR  
ARCHITECTS  
10459 SOUTH 1300 WEST, SUITE 201  
SOUTH JORDAN, UTAH 84095 • (801) 487-3330



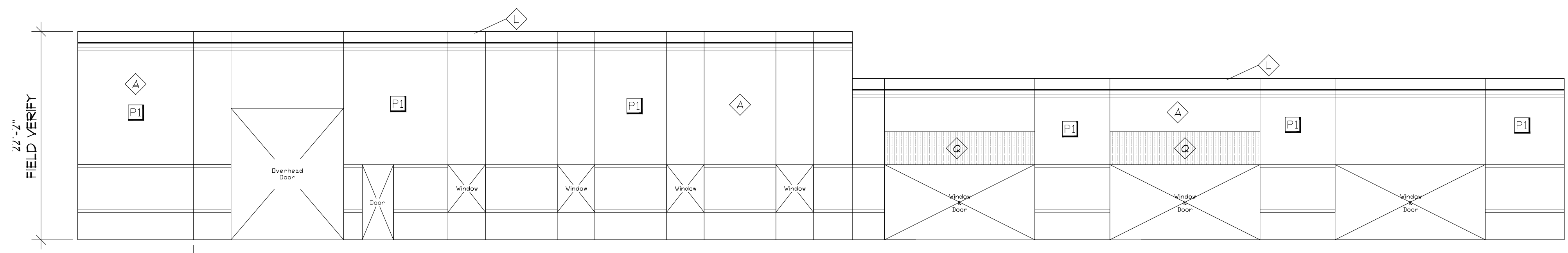
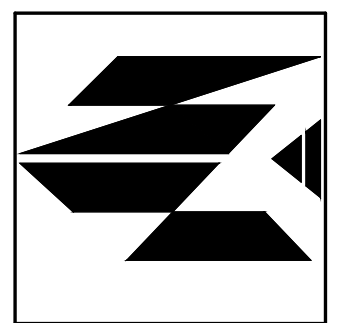
DATE

11-17-2023

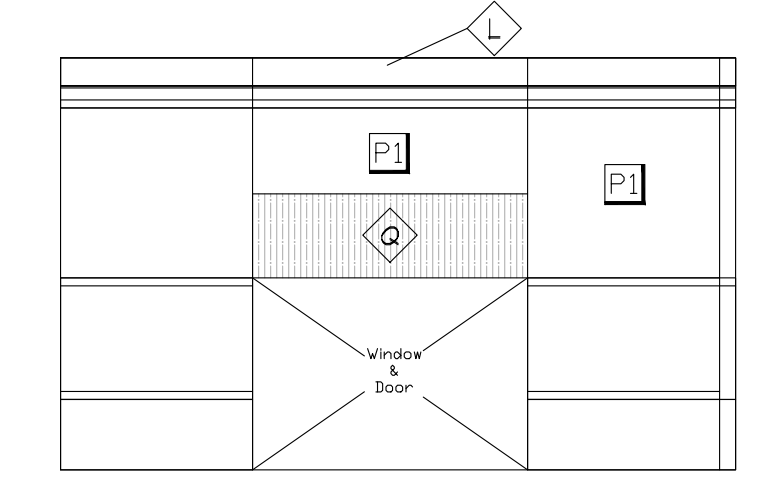
SHEET NUMBER

L1.6

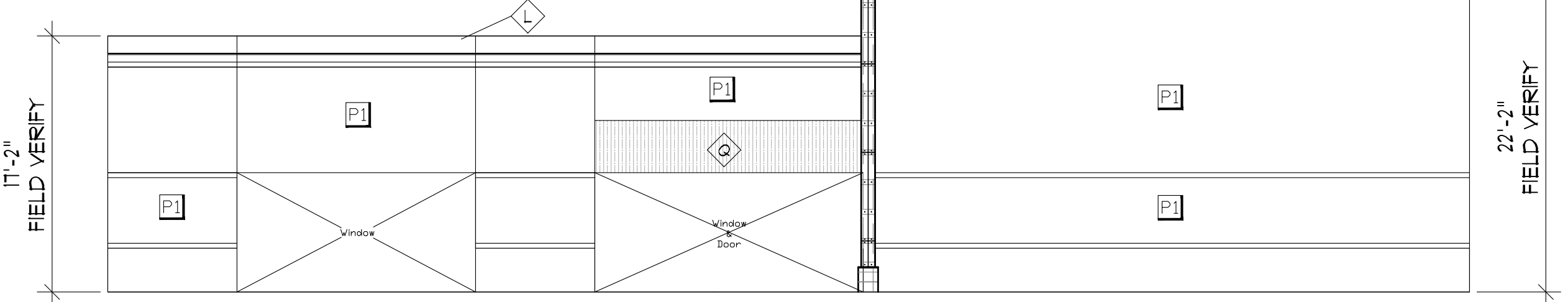
**EXHIBIT G  
ELEVATIONS**



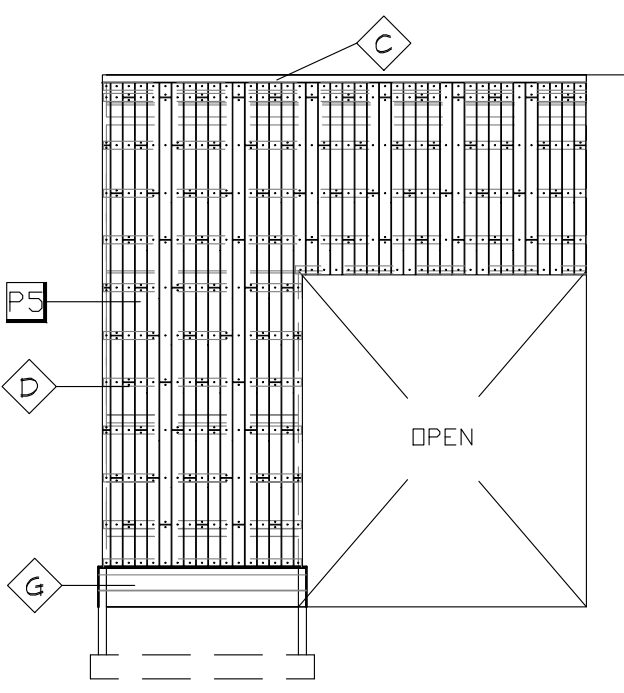
TIMPANOGOS  
**1 EAST ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"



TIMPANOGOS PARTIAL  
**2 NORTH ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"



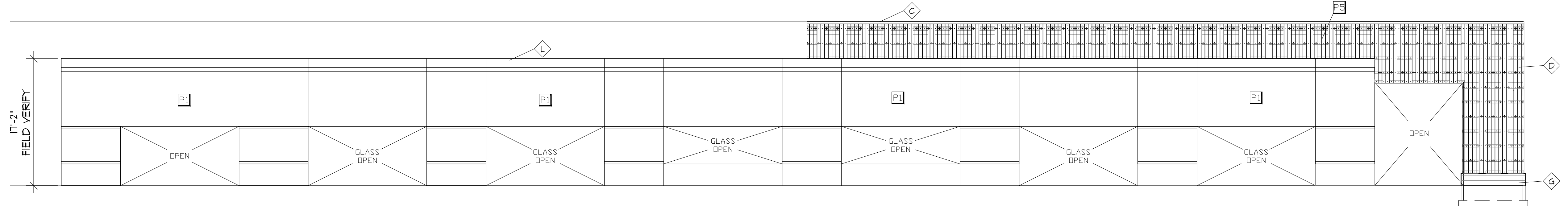
TIMPANOGOS  
**3 SOUTH ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"



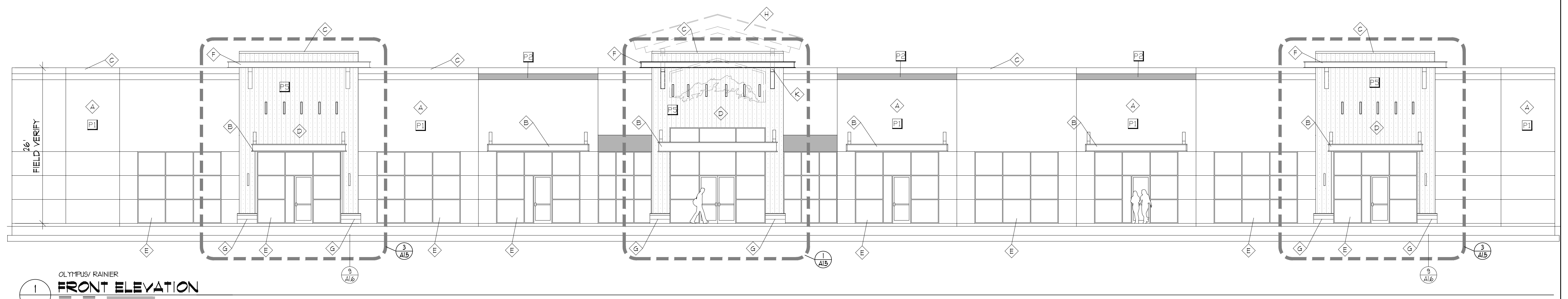
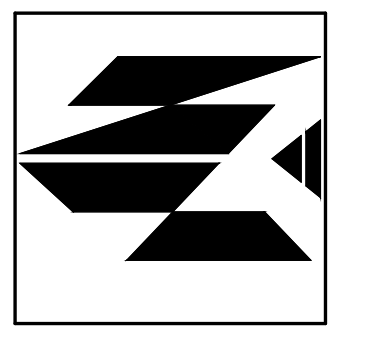
TIMPANOGOS PARTIAL  
**4 EAST ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"

KEY NOTES	
A	EXISTING CONCRETE TILT PANEL TO BE RE-PAINTED
B	EXISTING STEEL BEAM CANOPY TO BE REMOVED- REPAINTED AND RE-INSTALLED
C	NEW GALVANIZED METAL WALL CAP OVER PRESSURE TREATED P ANCHOR TO EXISTING TILT PANEL W/ 3/8" TITAN BOLTS @ 32" O.C.
D	OKO SKIN CEMENTITIOUS SIDING OVER (2) LAYERS 3/4" MARINE GRADE PLYWOOD FURRING STRIPS OVER LIQUID APPLIED AIR BARRIER- COLOR BLACK
E	EXISTING STOREFRONT WINDOW SYSTEM TO RE-MAIN
F	W/2X6 STEEL BEAM CANOPY PAINTED
G	4" HONED CMU VENEER BASE
H	EXISTING ROOF OVERBUILD TO BE REMOVED- CONCRETE TILT PANEL TO BE CUT TO LEVEL SHOWN
J	EXISTING 6" STEEL PIPE BOLLARD RE- PAINTED SAFETY YELLOW
K	EXISTING TUBE STEEL BRACE TO BE REMOVED- RE FINISHED AND RE-INSTALLED AS SHOWN
L	EXISTING METAL WALL CAP TO BE RE-PAINTED
M	EXISTING HOLLOW METAL DOOR RE- PRIMED AND RE-PAINTED
N	EXISTING METAL FRAMED EIFS CORNICE TO BE REMOVED
P	EXISTING EIFS TO BE RE-PAINTED
Q	FABRIC AWNING TO BE REMOVED- RE-COVERED AND RE-INSTALLED
R	NEW LED LIGHT FIXTURE- INSTALLED IN EXISTING FIXTURE LOCATION
S	NEW DOCK DOOR NUMBERS- STENCIL PROVIDED BY OWNER- COLOR BLACK

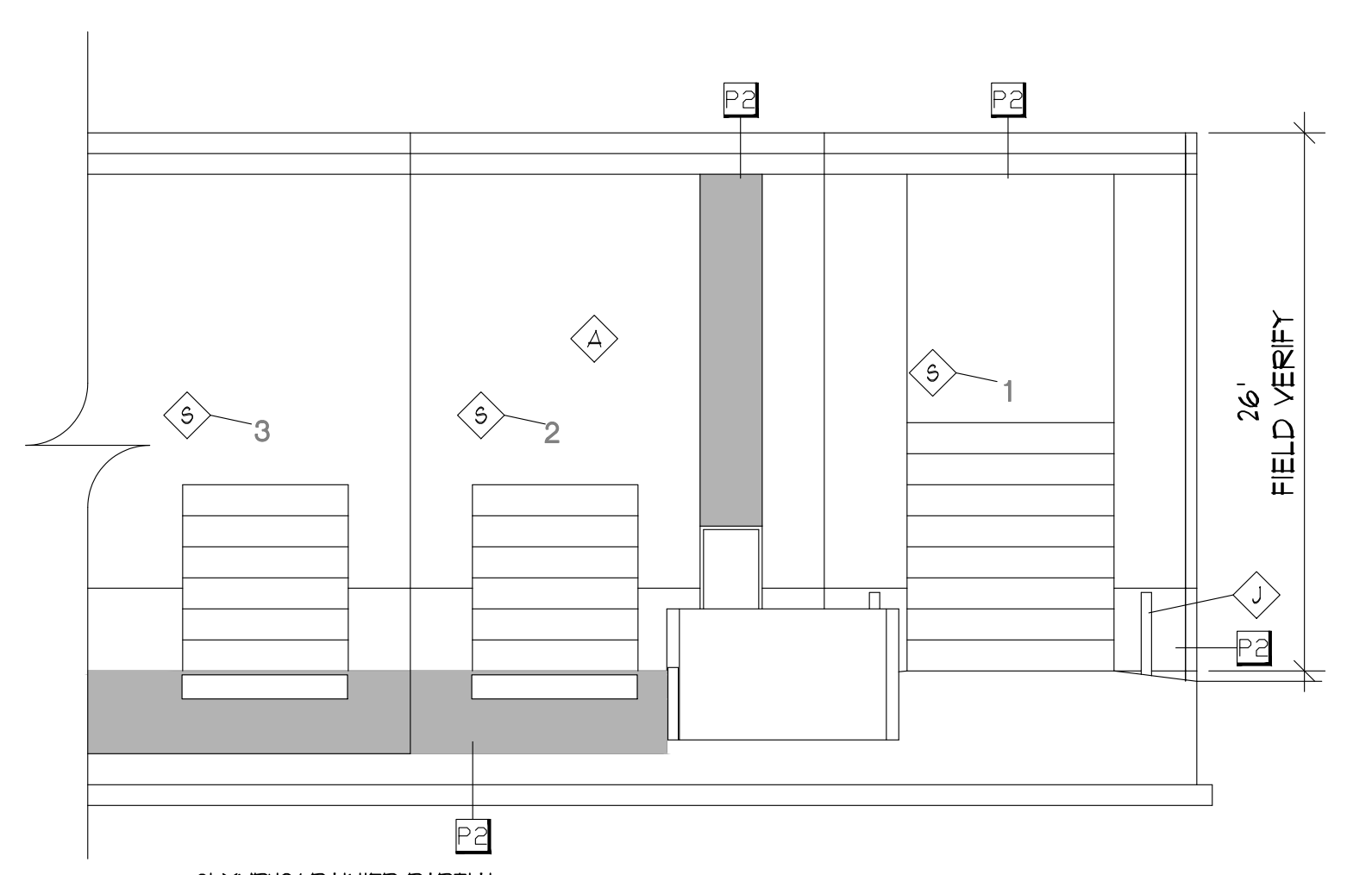
COLOR SCHEDULE	
COLOR	DESCRIPTION
P1	SHERWIN WILLIAMS SW6258 "TRICORN BLACK" MATTE SHEEN
P2	SHERWIN WILLIAMS SW1655 200% "STAMPED CONCRETE" MATTE SHEEN
P3	SHERWIN WILLIAMS SW6258 "TRICORN BLACK" SEMI GLOSS SHEEN
P4	SHERWIN WILLIAMS SW1655 200% "STAMPED CONCRETE" SEMI GLOSS SHEEN
P5	OKO SKIN CEMENTITIOUS SIDING- INSTALLED VERTICALLY 1/2" OFFSET PER MANUF. RECOMMENDATIONS
P6	PAINTED DOCK DOOR NUMBERS 2'-8" ABOVE OPENING. SHERWIN WILLIAMS SW 6258 "TRICORN BLACK". OWNER TO PROVIDE STENCILS
P7	4" HONED CONCRETE BLOCK VENEER SUNROC "BLACK"



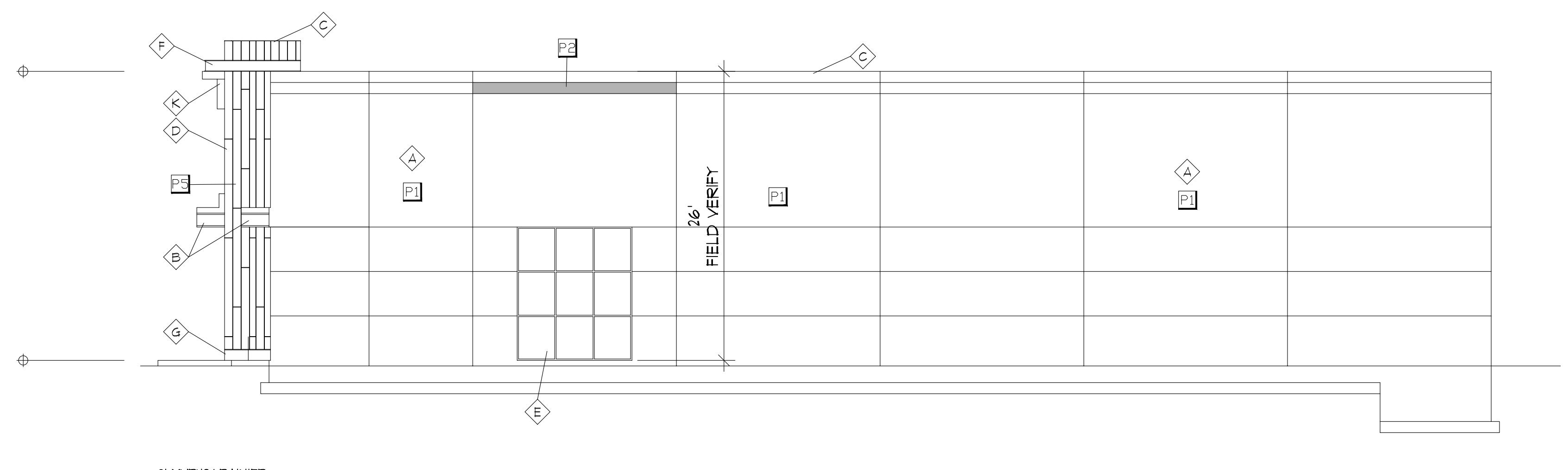
TIMPANOGOS  
**5 WEST ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"



1  
 ALL  
 OLYMPUS/ RAINIER  
**FRONT ELEVATION**  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"



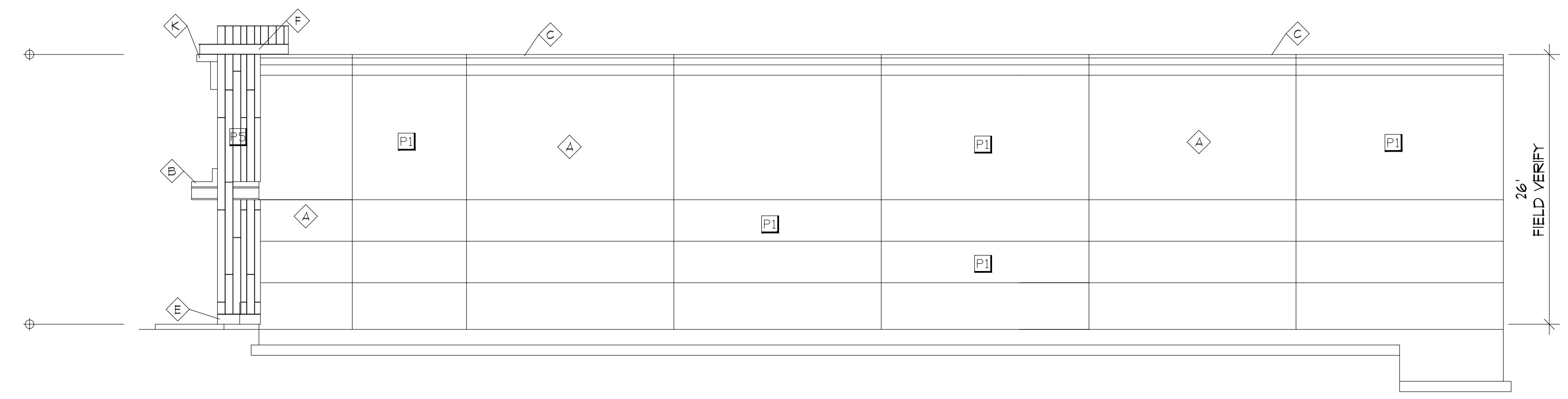
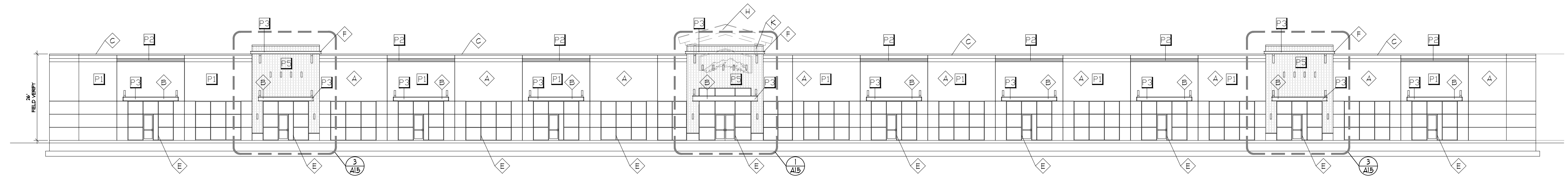
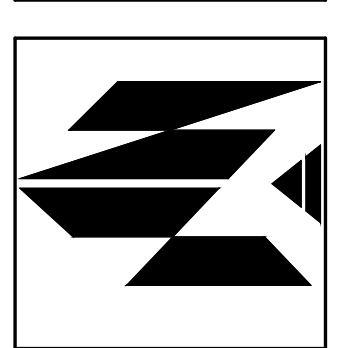
2  
 ALL  
 OLYMPUS/ RAINIER PARTIAL  
**REAR ELEVATION**  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"



3  
 ALL  
 OLYMPUS/ RAINIER  
**SIDE ELEVATION**  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"

KEY NOTES	
A	EXISTING CONCRETE TILT PANEL TO BE RE-PAINTED AND RE-INSTALLED
B	EXISTING STEEL BEAM CANOPY TO BE REMOVED- REPAINTED AND RE-INSTALLED
C	NEW GALVANIZED METAL WALL CAP OVER PRESSURE TREATED IR ANCHOR TO EXISTING TILT PANEL W/ 3/8" TITAN BOLTS @ 32" O.C.
D	OKO SKIN CEMENTITIOUS SIDING OVER (2) LAYERS 3/4" MARINE GRADE PLYWOOD FURRING STRIPS OVER LIQUID APPLIED AIR BARRIER- COLOR BLACK
E	EXISTING STOREFRONT WINDOW SYSTEM TO RE-MAIN
F	1/2x1/2 STEEL BEAM CANOPY PAINTED
G	4" HONED CMU VENEER BASE
H	EXISTING ROOF OVERBUILD TO BE REMOVED- CONCRETE TILT PANEL TO BE CUT TO LEVEL SHOWN
J	EXISTING 6" STEEL PIPE BOLLARD RE- PAINTED SAFETY YELLOW
K	EXISTING TUBE STEEL BRACE TO BE REMOVED- RE FINISHED AND RE-INSTALLED AS SHOWN
L	EXISTING METAL WALL CAP TO BE RE-PAINTED
M	EXISTING HOLLOW METAL DOOR RE- PRIMED AND RE-PAINTED
N	EXISTING METAL FRAMED EIFS CORNICE TO BE REMOVED
P	EXISTING EIFS TO BE RE-PAINTED
Q	FABRIC AWNING TO BE REMOVED- RE-COVERED AND RE-INSTALLED
R	NEW LED LIGHT FIXTURE- INSTALLED IN EXISTING FIXTURE LOCATION
S	NEW DOCK DOOR NUMBERS- STENCIL PROVIDED BY OWNER- COLOR BLACK

COLOR SCHEDULE	
COLOR	DESCRIPTION
P1	SHERWIN WILLIAMS SW6258 "TRICORN BLACK" MATTE SHEEN
P2	SHERWIN WILLIAMS SW1655 200% "STAMPED CONCRETE" MATTE SHEEN
P3	SHERWIN WILLIAMS SW6258 "TRICORN BLACK" SEMI GLOSS SHEEN
P4	SHERWIN WILLIAMS SW1655 200% "STAMPED CONCRETE" SEMI GLOSS SHEEN
P5	OKO SKIN CEMENTITIOUS SIDING- INSTALLED VERTICALLY 1/2" OFFSET PER MANUF. RECOMMENDATIONS
P6	PAINTED DOCK DOOR NUMBERS 2'-8" ABOVE OPENING. SHERWIN WILLIAMS SW 6258 "TRICORN BLACK", OWNER TO PROVIDE STENCILS
P7	4" HONED CONCRETE BLOCK VENEER SUNROC "BLACK"



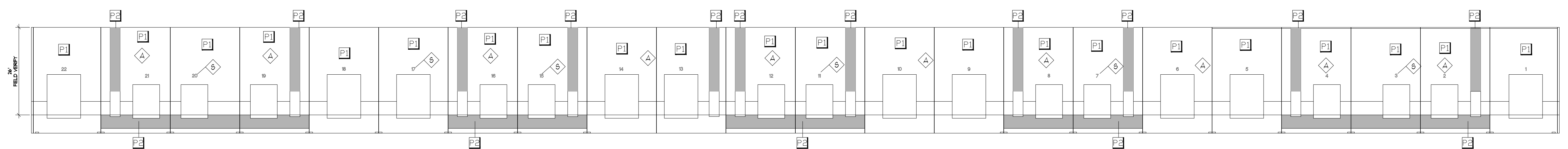
EVEREST  
**2 NORTH AND SOUTH ELEVATIONS**  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"

**KEY NOTES**

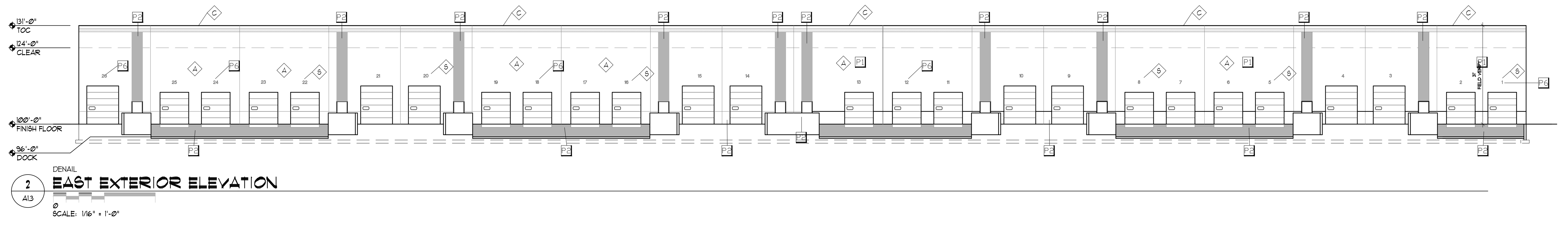
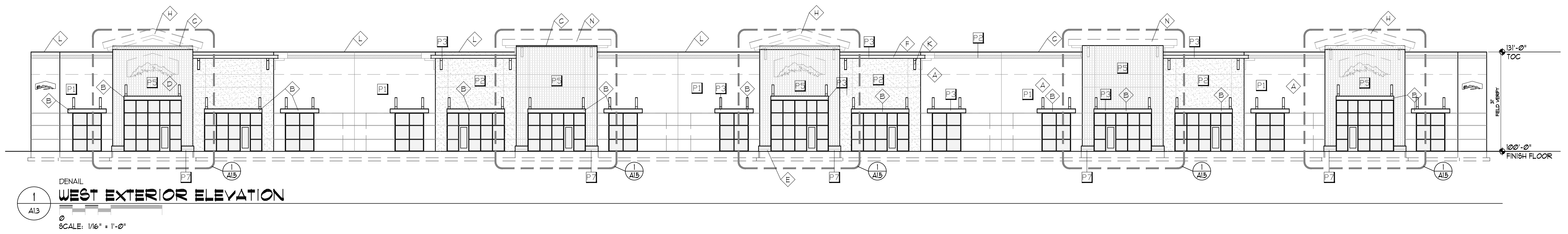
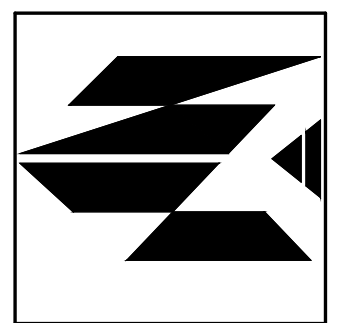
A	EXISTING CONCRETE TILT PANEL TO BE RE-PAINTED
B	EXISTING STEEL BEAM CANOPY TO BE REMOVED- REPAINTED AND RE-INSTALLED
C	NEW GALVANIZED METAL WALL CAP OVER PRESSURE TREATED IE ANCHOR TO EXISTING TILT PANEL W/ 1" TITAN BOLTS @ 32" O.C.
D	OKO SKIN CEMENTITIOUS SIDING OVER (2) LAYERS 3/4" MARINE GRADE PLYWOOD FURRING STRIPS OVER LIQUID APPLIED AIR BARRIER- COLOR BLACK
E	EXISTING STOREFRONT WINDOW SYSTEM TO RE-MAIN
F	W/2x16 STEEL BEAM CANOPY PAINTED
G	4" HONED CMU VENEER BASE
H	EXISTING ROOF OVERBUILD TO BE REMOVED- CONCRETE TILT PANEL TO BE CUT TO LEVEL SHOWN
I	EXISTING 6" STEEL PIPE BOLLARD RE- PAINTED SAFETY YELLOW
K	EXISTING TUBE STEEL BRACE TO BE REMOVED- RE FINISHED AND RE-INSTALLED AS SHOWN
L	EXISTING METAL WALL CAP TO BE RE-PAINTED
M	EXISTING HOLLOW METAL DOOR RE- PRIMED AND RE-PAINTED
N	EXISTING METAL FRAMED EIFS CORNICE TO BE REMOVED
P	EXISTING EIFS TO BE RE-PAINTED
Q	FABRIC AWNING TO BE REMOVED- RE-COVERED AND RE-INSTALLED
R	NEW LED LIGHT FIXTURE- INSTALLED IN EXISTING FIXTURE LOCATION
S	NEW DOCK DOOR NUMBERS- STENCIL PROVIDED BY OWNER- COLOR BLACK

**COLOR SCHEDULE**

COLOR	DESCRIPTION
P1	SHERWIN WILLIAMS SW6758 "TRICORN BLACK" MATTE SHEEN
P2	SHERWIN WILLIAMS SW1655 200% "STAMPED CONCRETE" MATTE SHEEN
P3	SHERWIN WILLIAMS SW6758 "TRICORN BLACK" SEMI GLOSS SHEEN
P4	SHERWIN WILLIAMS SW1655 200% "STAMPED CONCRETE" SEMI GLOSS SHEEN
P5	OKO SKIN CEMENTITIOUS SIDING- INSTALLED VERTICALLY ↓ OFFSET PER MANUF. RECOMMENDATIONS
P6	PAINTED DOCK DOOR NUMBERS 2'-8" ABOVE OPENING, SHERWIN WILLIAMS SW 6758 "TRICORN BLACK", OWNER TO PROVIDE STENCILS
P7	4" HONED CONCRETE BLOCK VENEER SUNROC "BLACK"

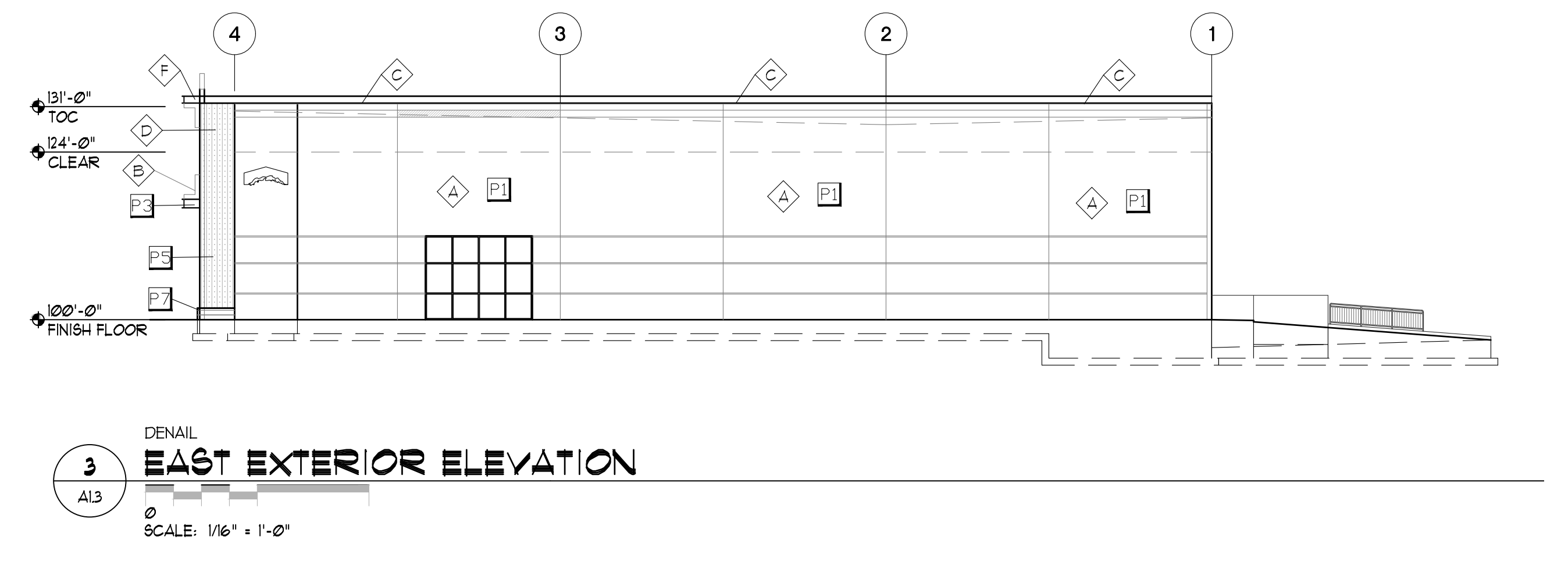


EVEREST  
**3 WEST EXTERIOR ELEVATION**  
 0 2 4 6 8 16 FEET  
 SCALE: 1/16" = 1'-0"

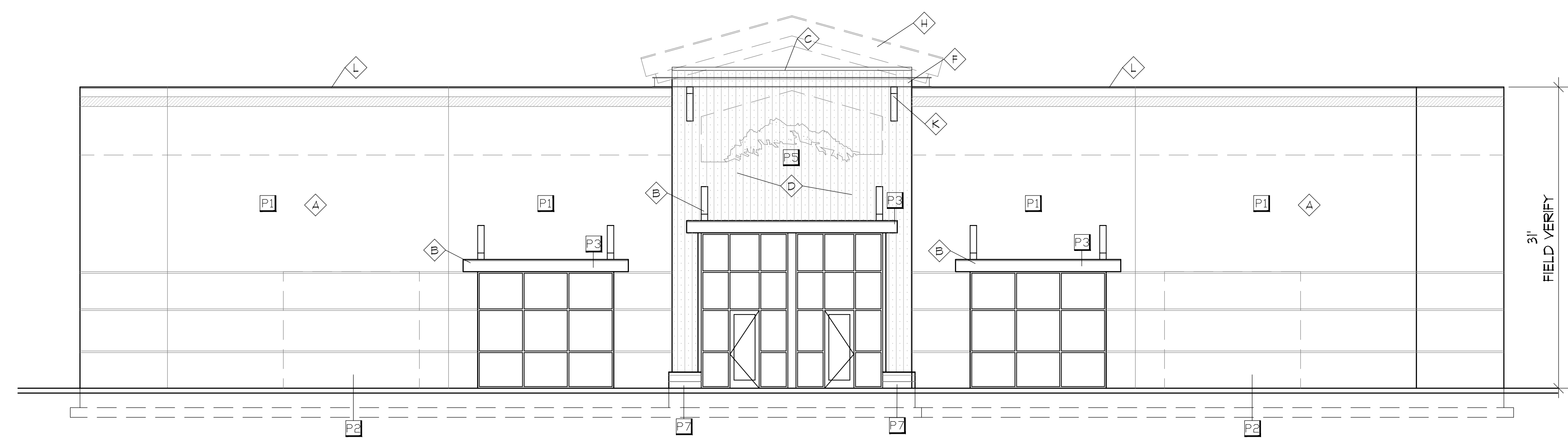
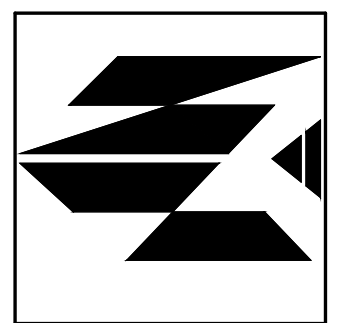


KEY NOTES	
A	EXISTING CONCRETE TILT PANEL TO BE RE-PAINTED
B	EXISTING STEEL BEAM CANOPY TO BE REMOVED- REPAINTED AND RE-INSTALLED
C	NEW GALVANIZED METAL WALL CAP OVER PRESSURE TREATED BE ANCHOR TO EXISTING TILT PANEL W/ 3/8" TITAN BOLTS @ 32" O.C.
D	OKO SKIN CEMENTITIOUS SIDING OVER (2) LAYERS 3/4" MARINE GRADE PLYWOOD FURRING STRIPS OVER LIQUID APPLIED AIR BARRIER- COLOR BLACK
E	EXISTING STOREFRONT WINDOW SYSTEM TO RE-MAIN
F	W12x16 STEEL BEAM CANOPY PAINTED
G	4" HONED CMU VENEER BASE
H	EXISTING ROOF OVERBUILD TO BE REMOVED- CONCRETE TILT PANEL TO BE CUT TO LEVEL SHOWN
I	EXISTING 6" STEEL PIPE BOLLARD RE- PAINTED SAFETY YELLOW
J	EXISTING TUBE STEEL BRACE TO BE REMOVED- RE FINISHED AND RE-INSTALLED AS SHOWN
K	EXISTING METAL WALL CAP TO BE RE-PAINTED
L	EXISTING HOLLOW METAL DOOR RE- PRIMED AND RE-PAINTED
M	EXISTING METAL FRAMED EIFS CORNICE TO BE REMOVED
N	EXISTING EIFS TO BE RE-PAINTED
O	FABRIC AWNING TO BE REMOVED- RE-COVERED AND RE-INSTALLED
P	NEW LED LIGHT FIXTURE- INSTALLED IN EXISTING FIXTURE LOCATION
Q	NEW DOCK DOOR NUMBERS- STENCIL PROVIDED BY OWNER- COLOR BLACK

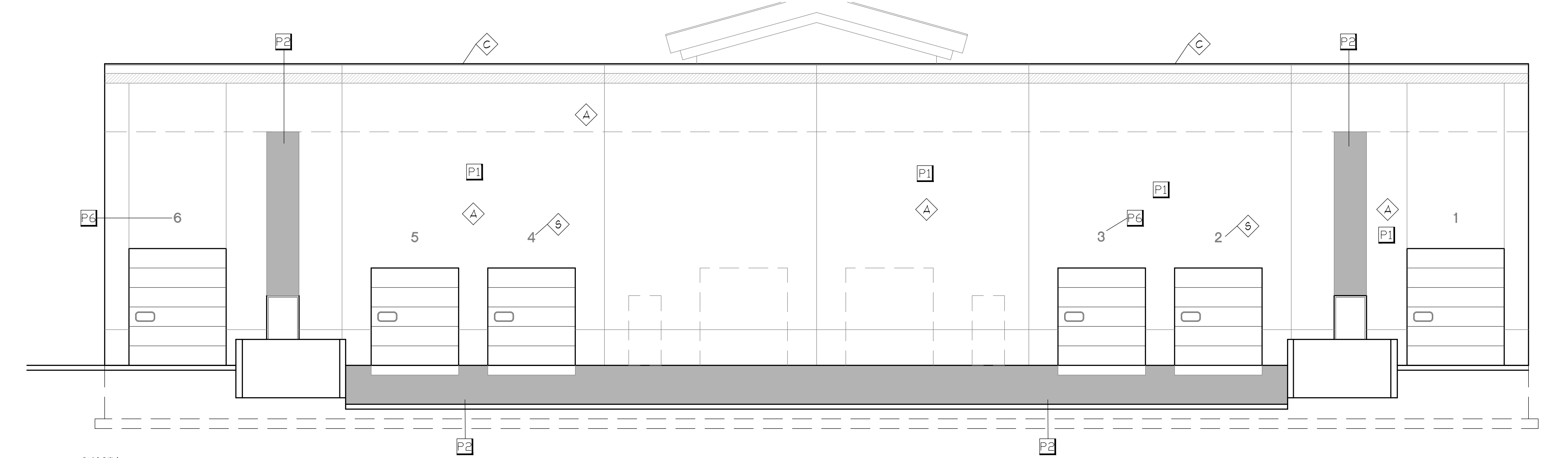
COLOR SCHEDULE	
COLOR	DESCRIPTION
P1	SHERWIN WILLIAMS SW6258 "TRICORN BLACK" MATTE SHEEN
P2	SHERWIN WILLIAMS SW7655 200% "STAMPED CONCRETE" MATTE SHEEN
P3	SHERWIN WILLIAMS SW6258 "TRICORN BLACK" SEMI GLOSS SHEEN
P4	SHERWIN WILLIAMS SW7655 200% "STAMPED CONCRETE" SEMI GLOSS SHEEN
P5	OKO SKIN CEMENTITIOUS SIDING- INSTALLED VERTICALLY 1/2 OFFSET PER MANUF. RECOMMENDATIONS
P6	PAINTED DOCK DOOR NUMBERS 2'-8" ABOVE OPENING. SHERWIN WILLIAMS SW 6258 "TRICORN BLACK" OWNER TO PROVIDE STENCILS
P7	4" HONED CONCRETE BLOCK VENEER SUNROC "BLACK"



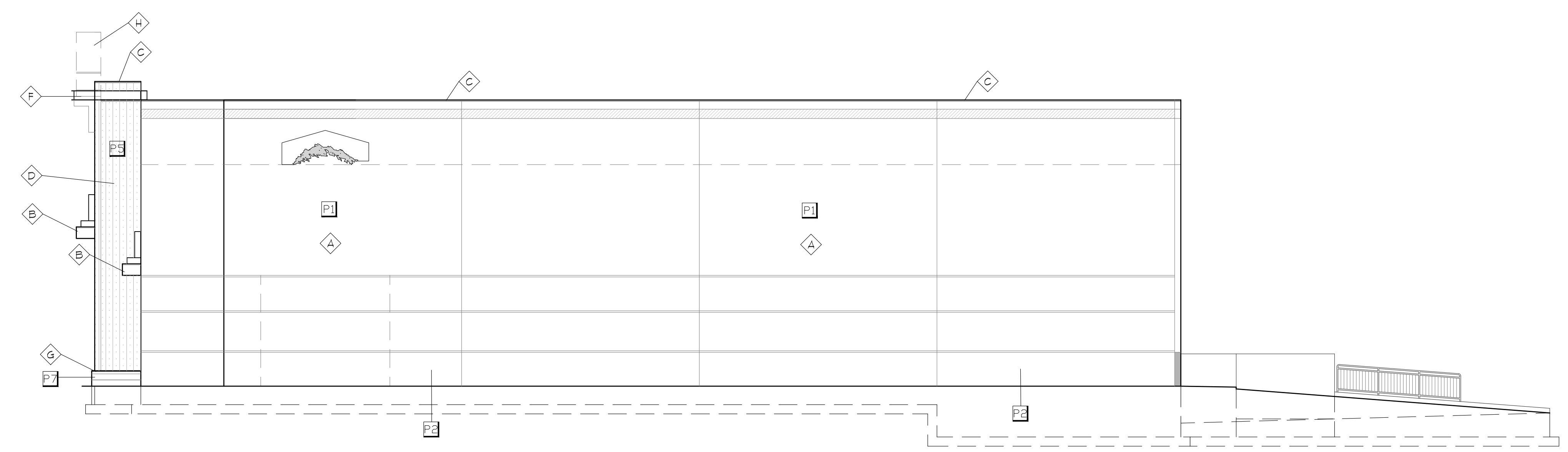




SHASTA  
**1 SOUTH EXTERIOR ELEVATION**  
 SCALE: 1/8" = 1'-0"



SHASTA  
**3 NORTH EXTERIOR ELEVATION**  
 SCALE: 1/16" = 1'-0"



SHASTA  
**2 EAST / WEST EXTERIOR ELEVATION**  
 SCALE: 1/8" = 1'-0"

KEY NOTES	
(A)	EXISTING CONCRETE TILT PANEL TO BE RE-PAINTED
(B)	EXISTING STEEL BEAM CANOPY TO BE REMOVED- REPAINTED AND RE-INSTALLED
(C)	NEW GALVANIZED METAL WALL CAP OVER PRESSURE TREATED IE ANCHOR TO EXISTING TILT PANEL W/ 3/8" TITAN BOLTS @ 32" O.C.
(D)	OKO SKIN CEMENTITIOUS SIDING OVER (2) LAYERS 3/4" MARINE GRADE PLYWOOD FURRING STRIPS OVER LIQUID APPLIED AIR BARRIER- COLOR BLACK
(E)	EXISTING STOREFRONT WINDOW SYSTEM TO RE-MAIN
(F)	W2X16 STEEL BEAM CANOPY PAINTED
(G)	4" HONED CMU VENEER BASE
(H)	EXISTING ROOF OVERBUILD TO BE REMOVED- CONCRETE TILT PANEL TO BE CUT TO LEVEL SHOWN
(J)	EXISTING 6" STEEL PIPE BOLLARD RE- PAINTED SAFETY YELLOW
(K)	EXISTING TUBE STEEL BRACE TO BE REMOVED- RE FINISHED AND RE-INSTALLED AS SHOWN
(L)	EXISTING METAL WALL CAP TO BE RE-PAINTED
(M)	EXISTING HOLLOW METAL DOOR RE- PRIMED AND RE-PAINTED
(N)	EXISTING METAL FRAMED EIFS CORNICE TO BE REMOVED
(P)	EXISTING EIFS TO BE RE-PAINTED
(Q)	FABRIC AWNING TO BE REMOVED- RE-COVERED AND RE-INSTALLED
(R)	NEW LED LIGHT FIXTURE- INSTALLED IN EXISTING FIXTURE LOCATION
(S)	NEW DOCK DOOR NUMBERS- STENCIL PROVIDED BY OWNER- COLOR BLACK

COLOR SCHEDULE	
COLOR	DESCRIPTION
P1	SHERWIN WILLIAMS SW6258 'TRICORN BLACK' MATTE SHEEN
P2	SHERWIN WILLIAMS SW1655 200% 'STAMPED CONCRETE' MATTE SHEEN
P3	SHERWIN WILLIAMS SW6258 'TRICORN BLACK' SEMI GLOSS SHEEN
P4	SHERWIN WILLIAMS SW1655 200% 'STAMPED CONCRETE' SEMI GLOSS SHEEN
P5	OKO SKIN CEMENTITIOUS SIDING- INSTALLED VERTICALLY 1/2" OFFSET PER MANUF. RECOMMENDATIONS
P6	PAINTED DOCK DOOR NUMBERS 2'-8" ABOVE OPENING. SHERWIN WILLIAMS SW 6258 'TRICORN BLACK', OWNER TO PROVIDE STENCILS
P7	4" HONED CONCRETE BLOCK VENEER SUNROC 'BLACK'

REVISIONS

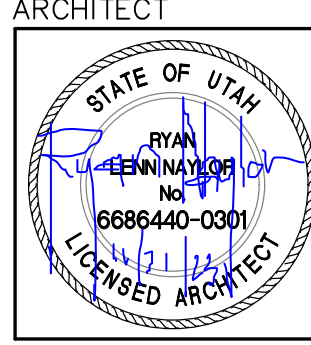
▲	ADDENDUM #1 8-05-2022
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SHEET TITLE

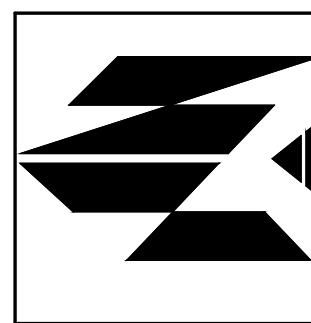
**ENLARGED ELEVATIONS**

PROJECT/OWNER

**LONE PEAK BUSINESS PARK - PHASE 1 REMODEL**  
 12300 SOUTH LONE PEAK PARKWAY  
 DRAPER CITY, UTAH  
 PRICE LONE PEAK COMPANY  
 230 EAST SOUTH TEMPLE, SLC, UT



**NICHOLS • NAYLOR**  
 ARCHITECTS  
 10459 SOUTH 1300 WEST SUITE 201  
 SOUTH JORDAN, UTAH 84095 (801) 487-3330

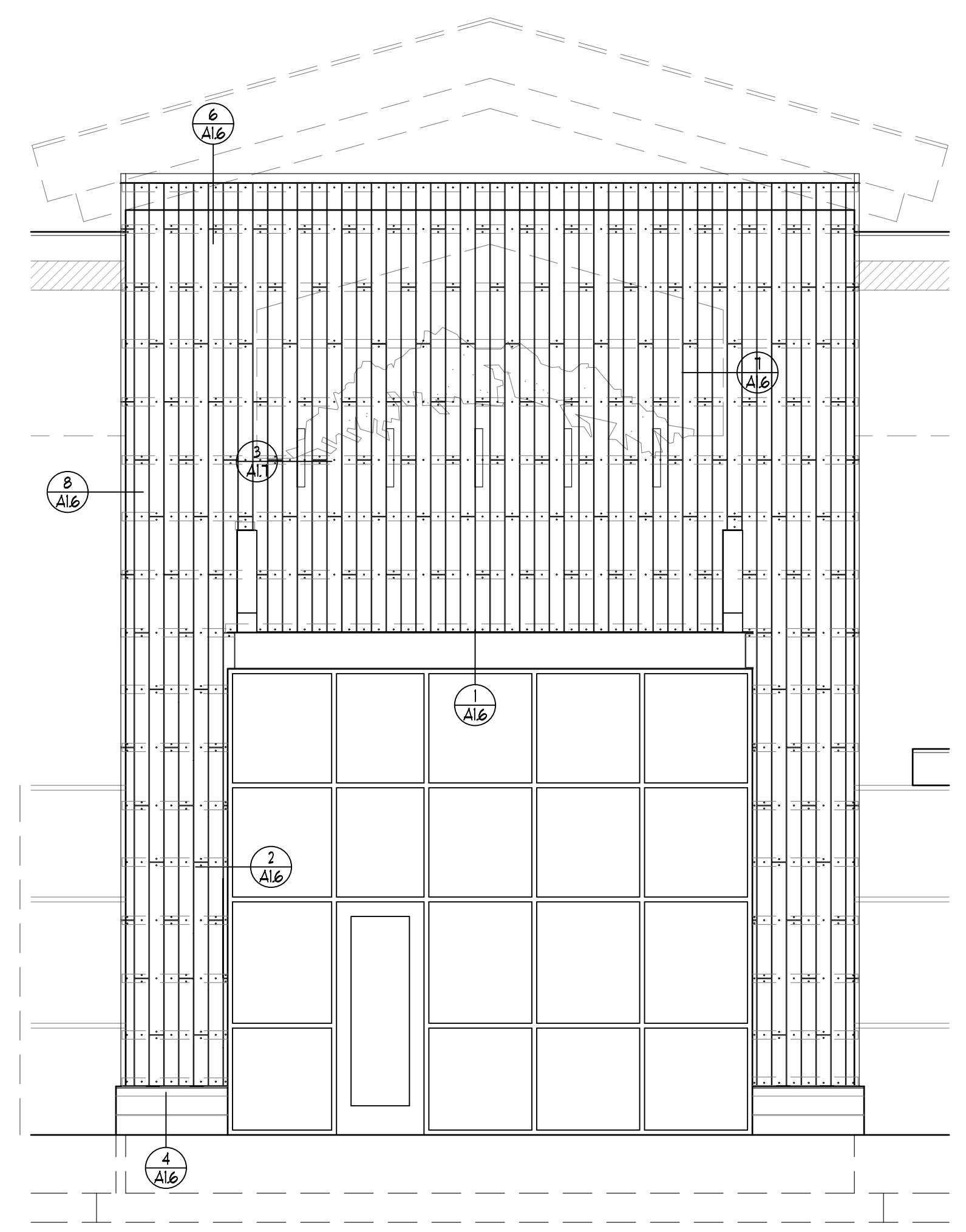


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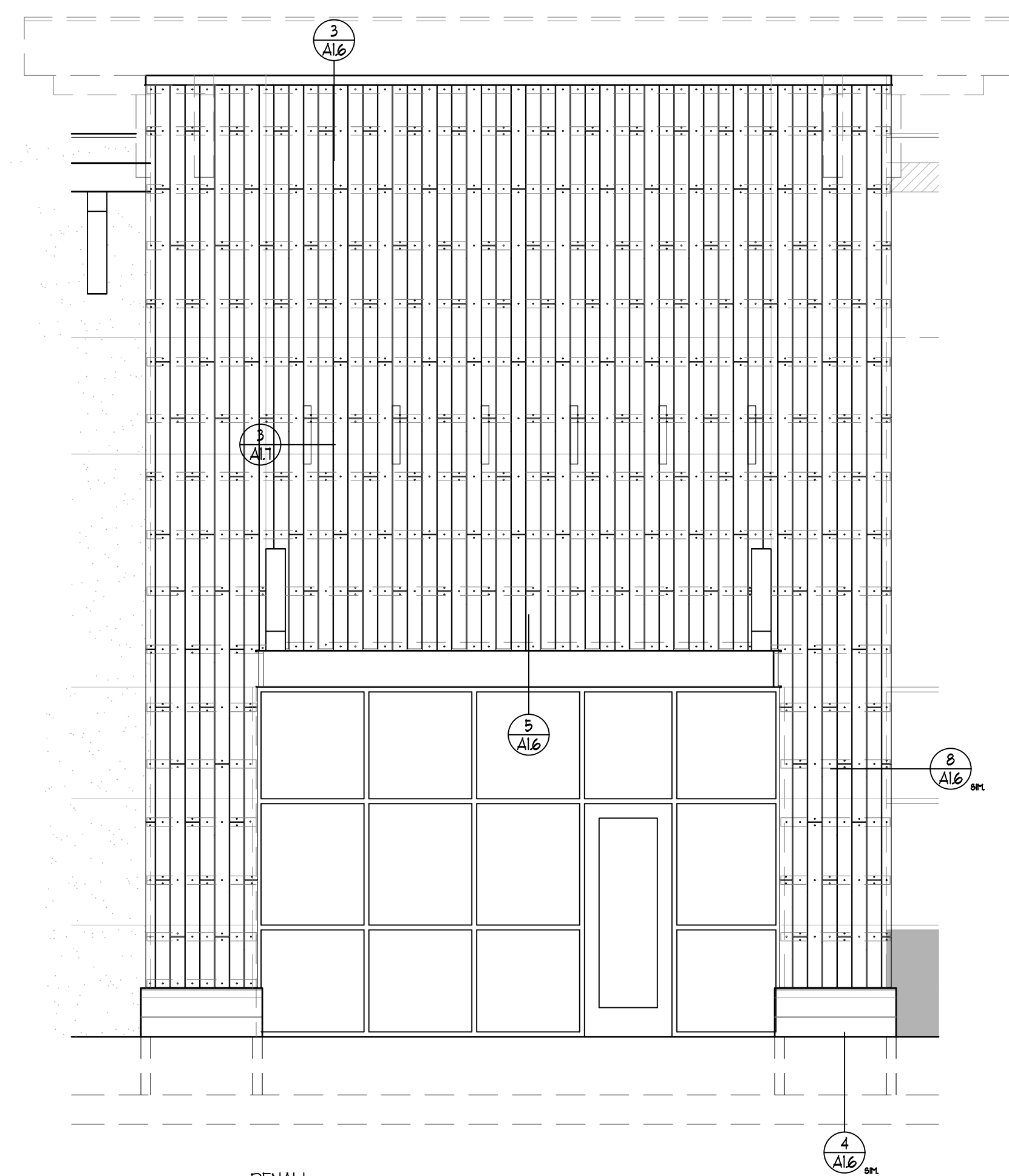
14 APRIL 2022

SHEET NUMBER

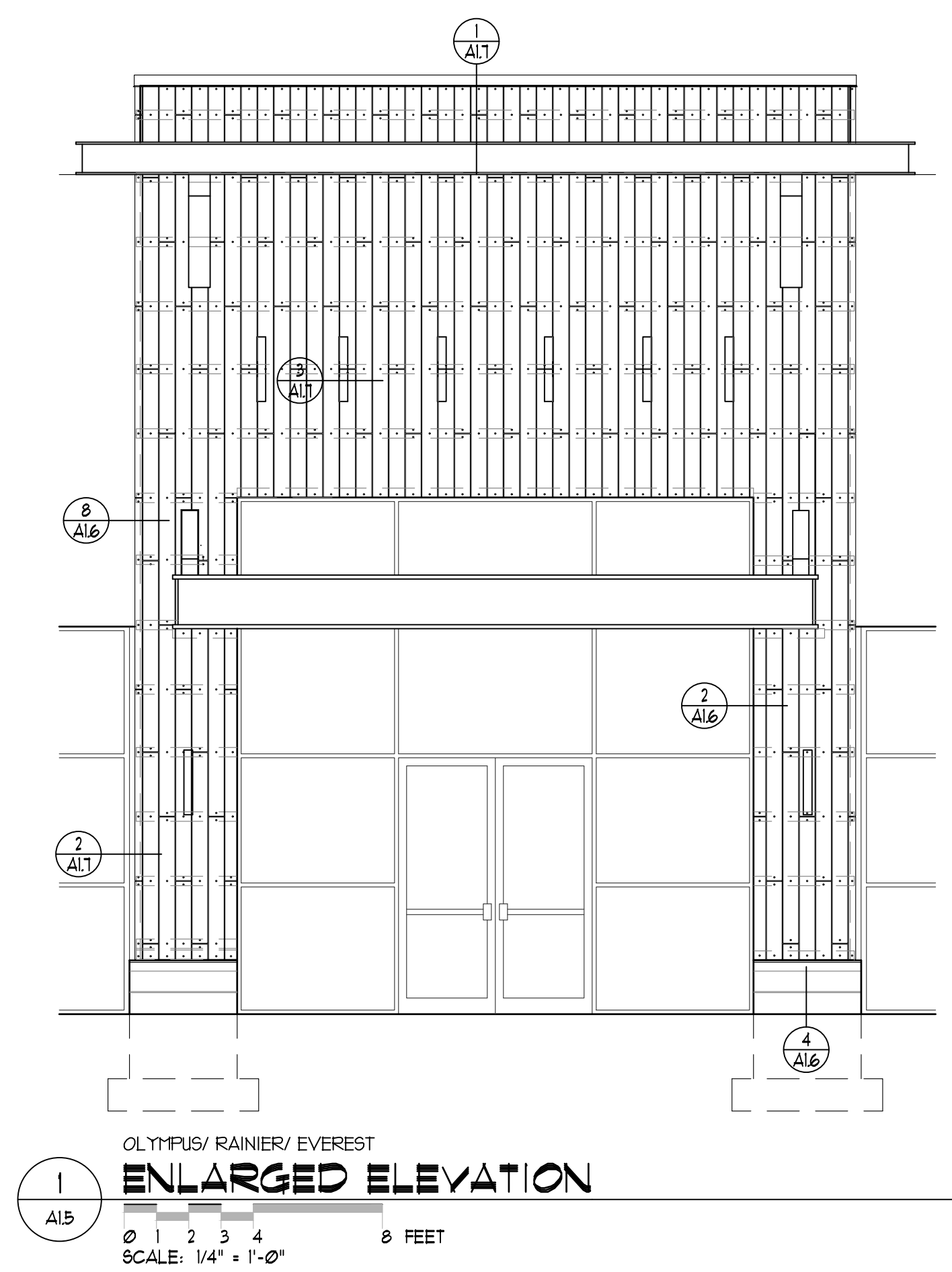
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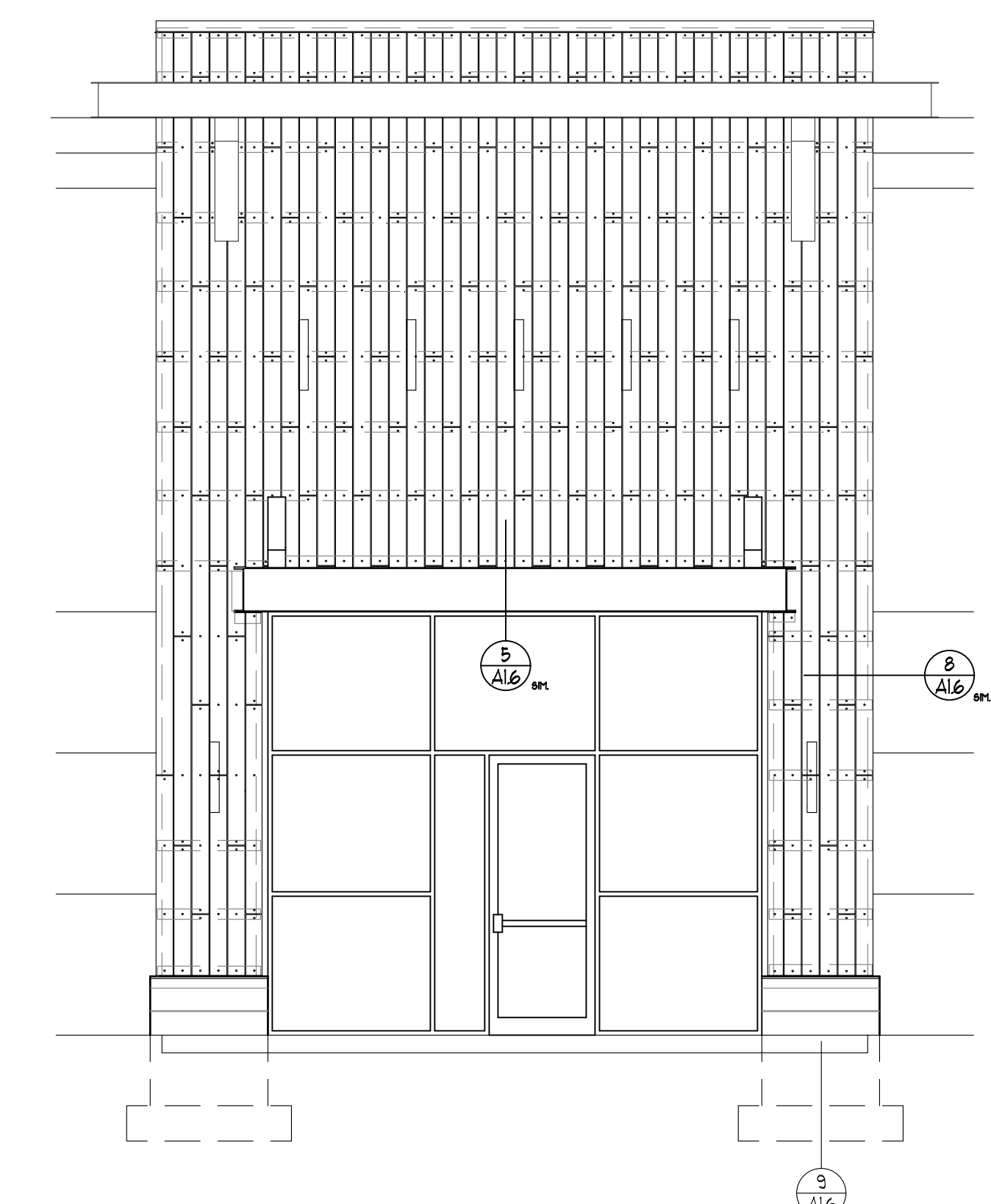
DENALI  
**4 ENLARGED ELEVATION**  
 SCALE: 1/4" = 1'-0"



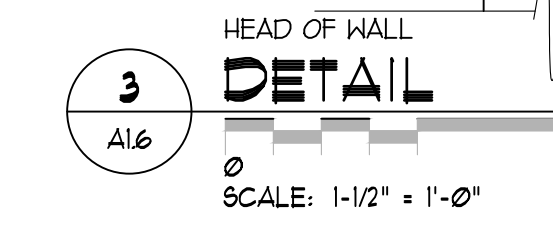
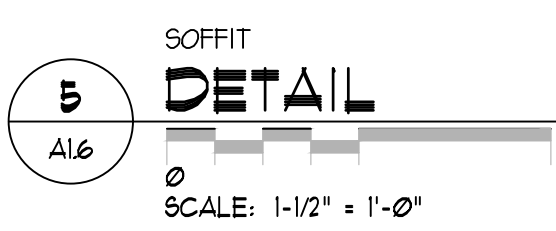
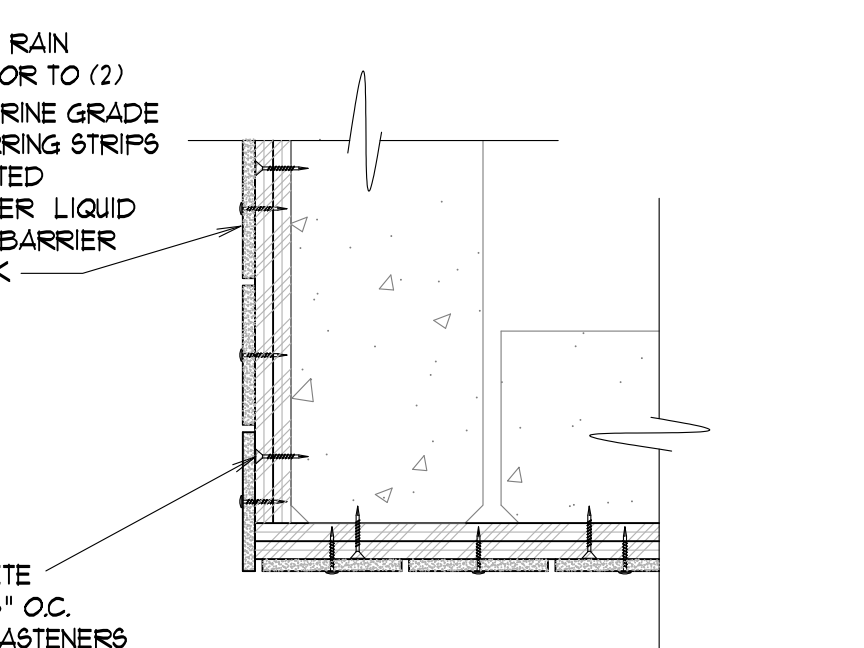
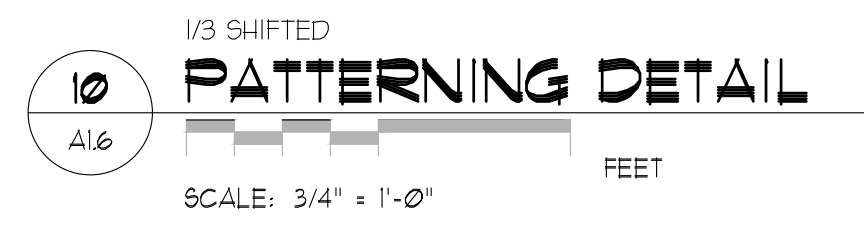
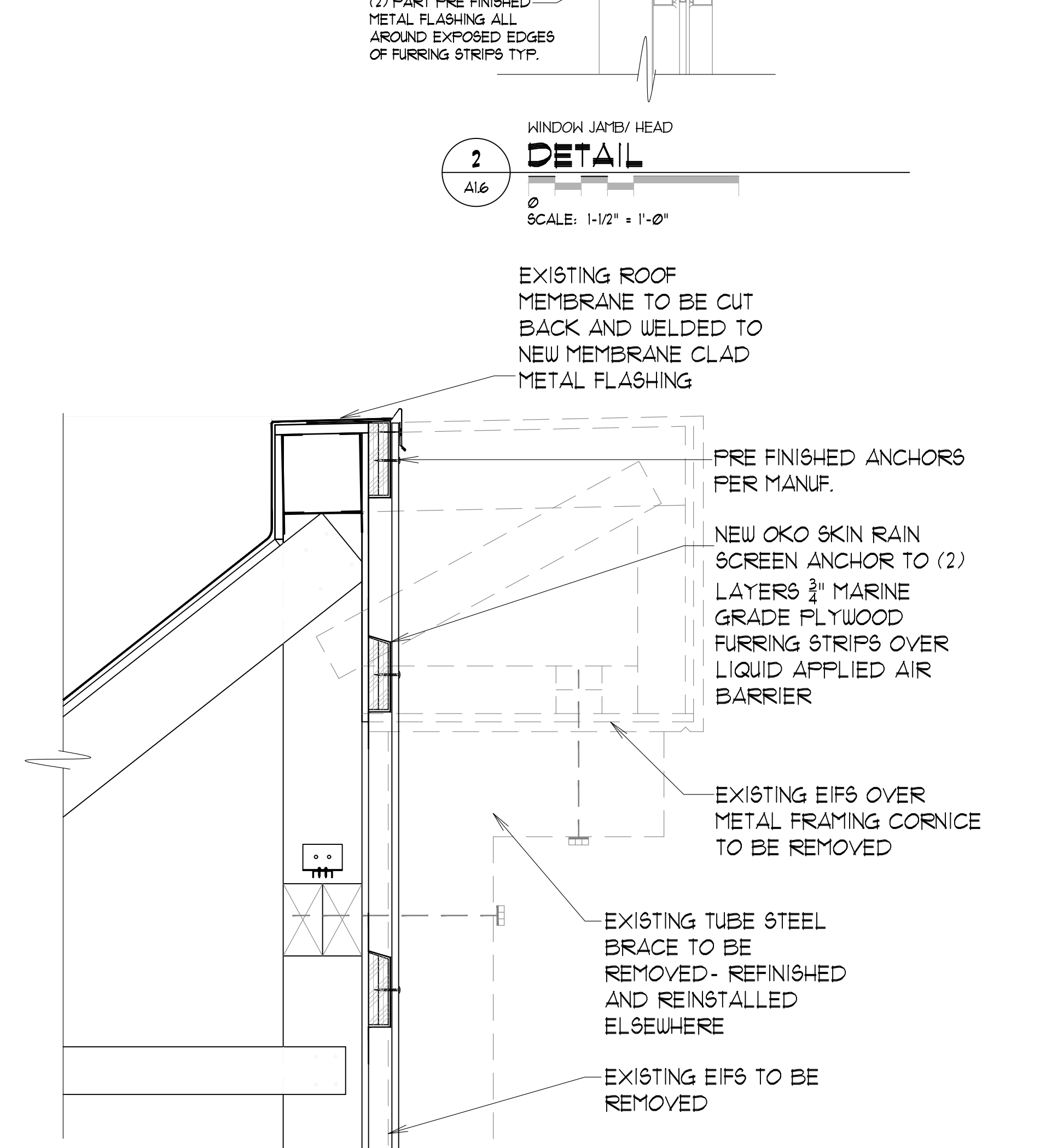
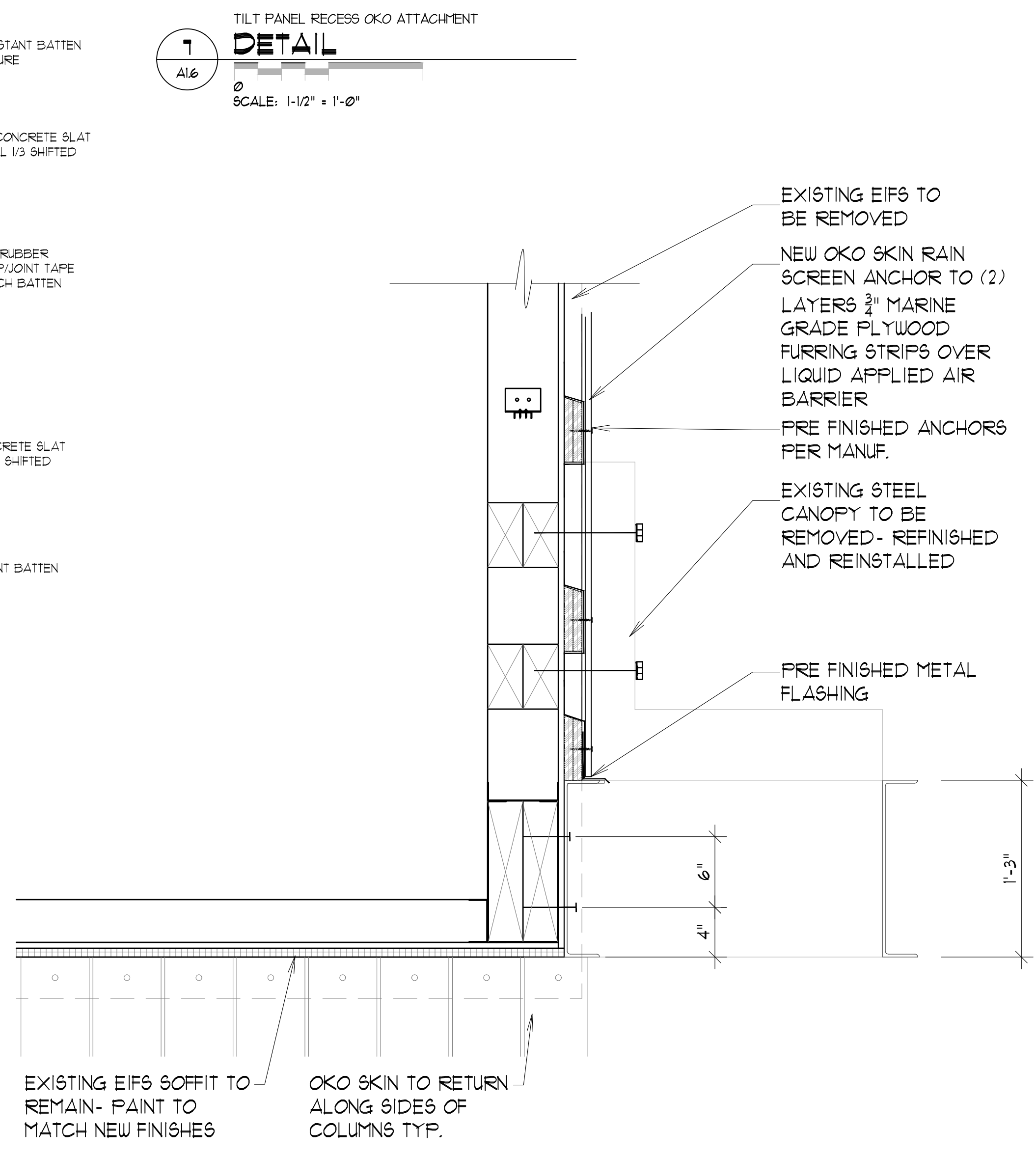
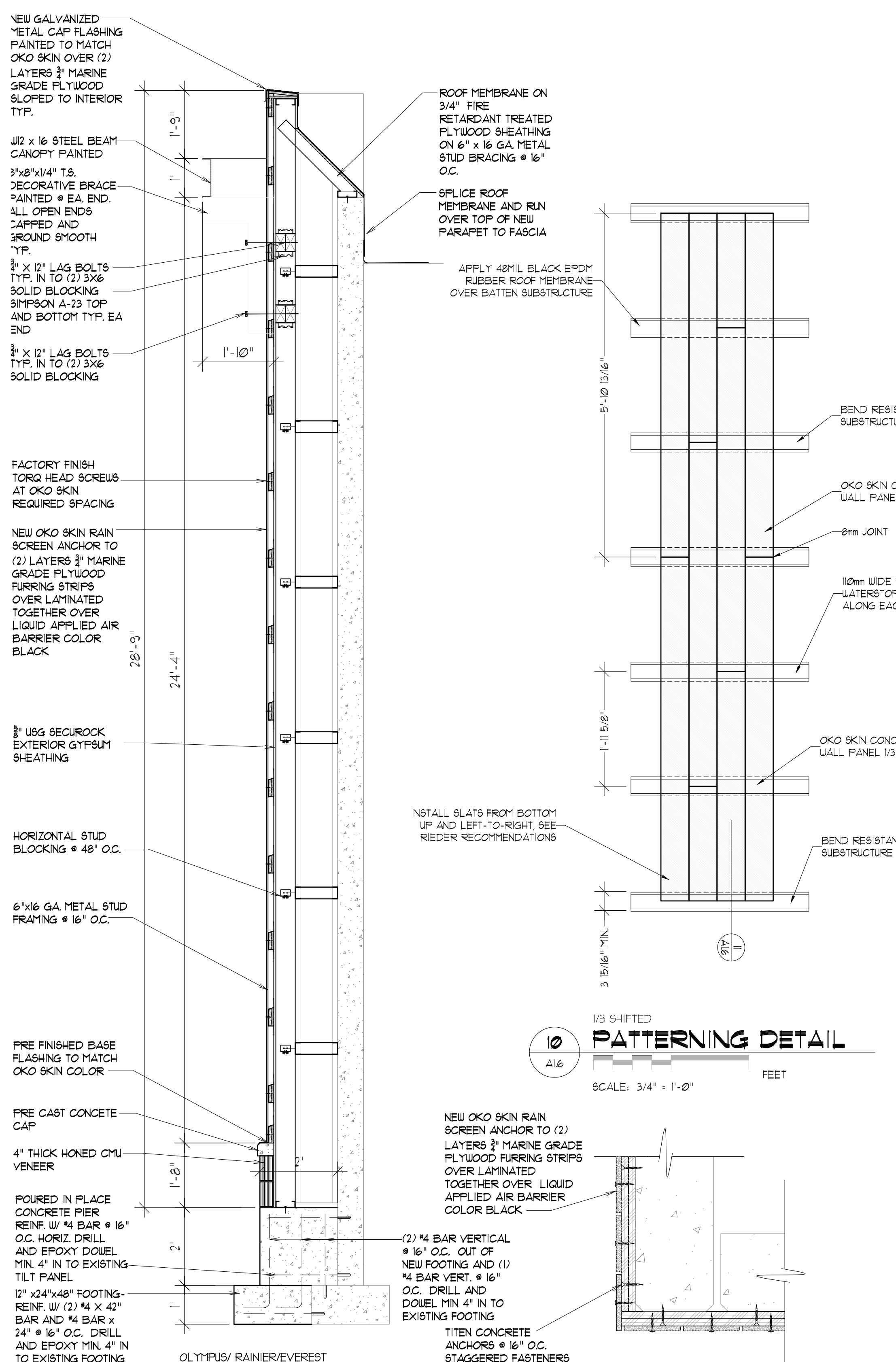
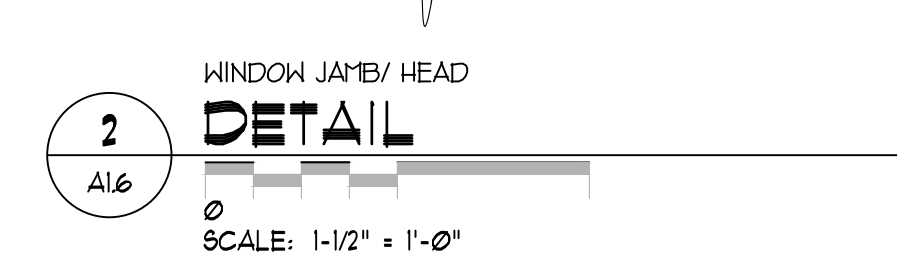
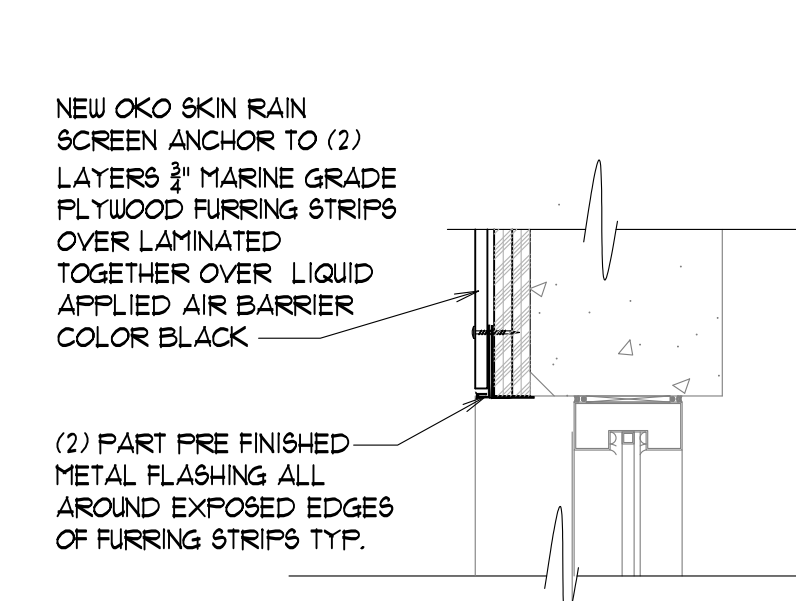
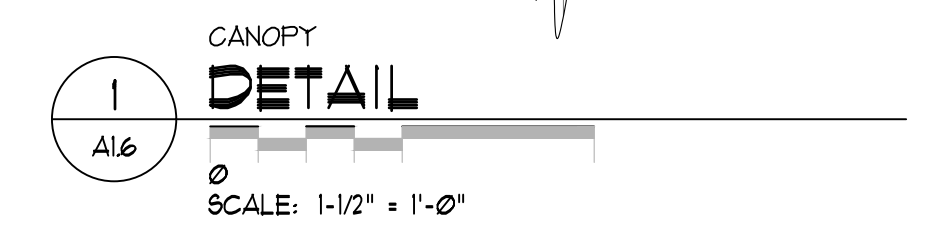
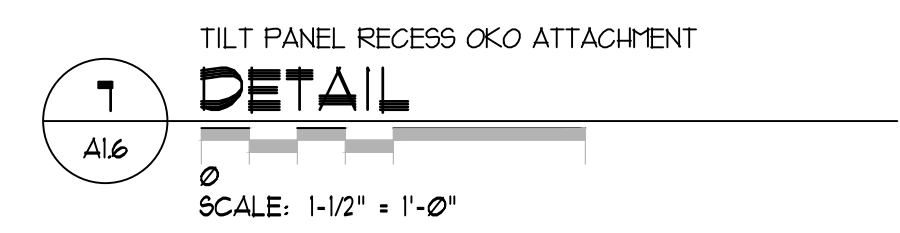
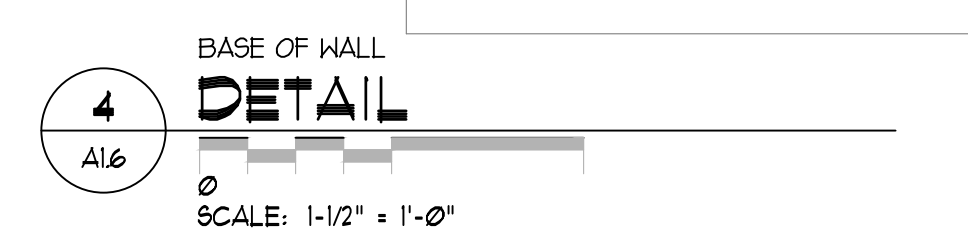
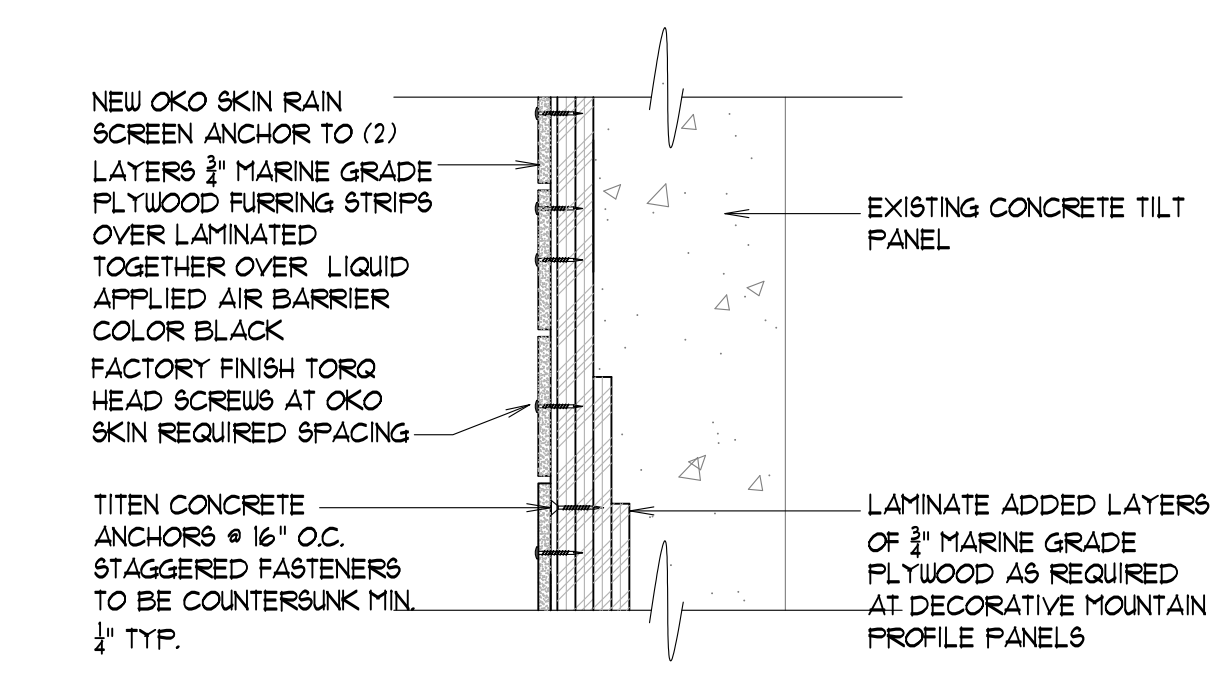
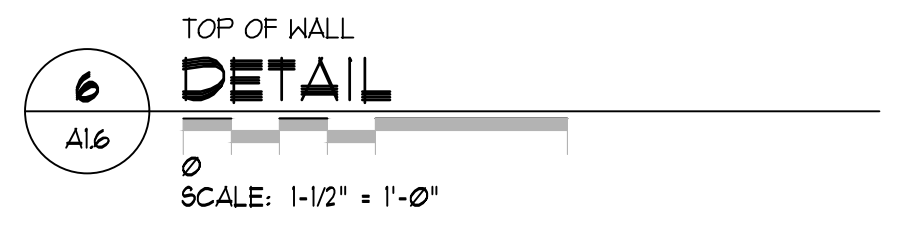
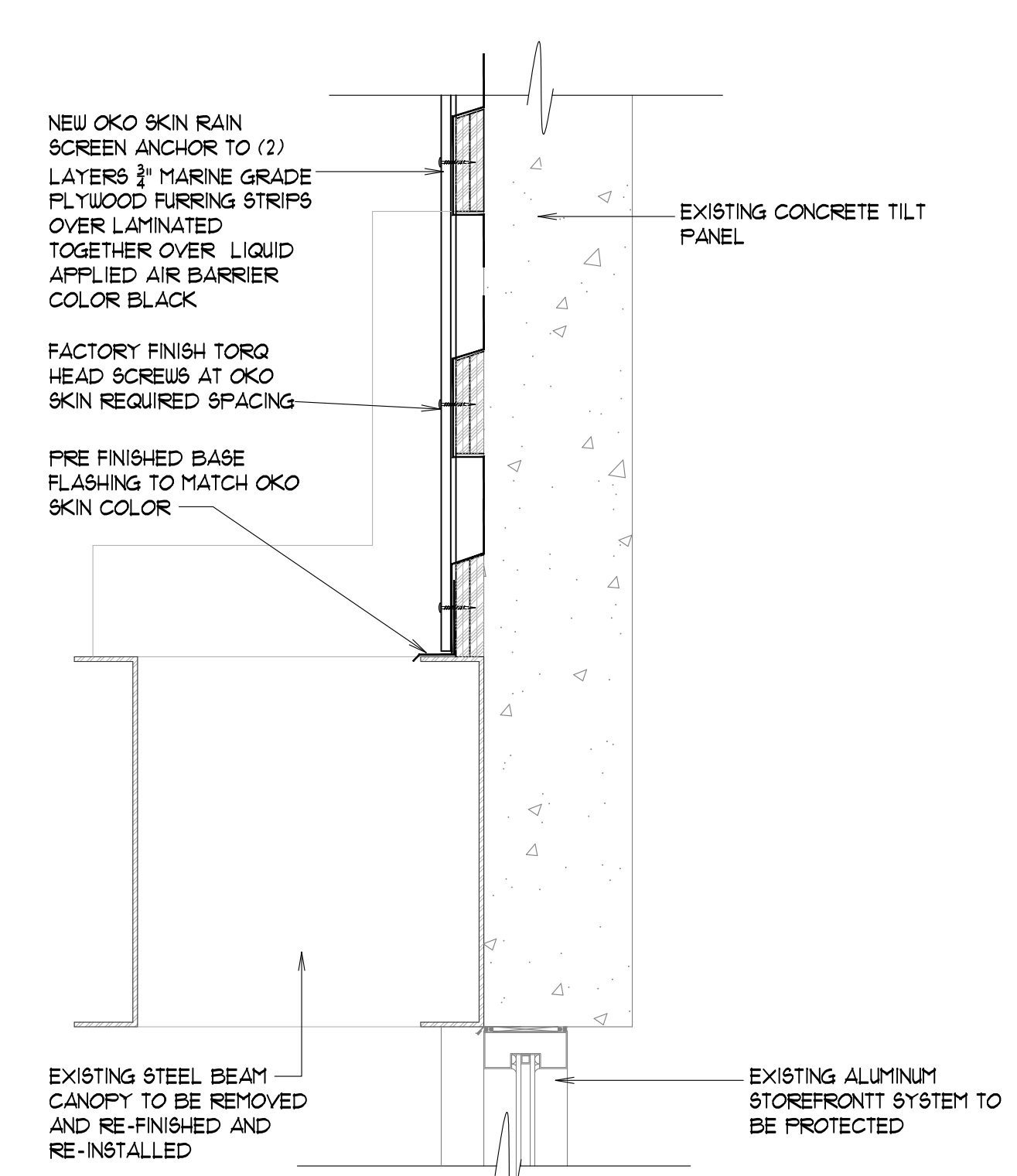
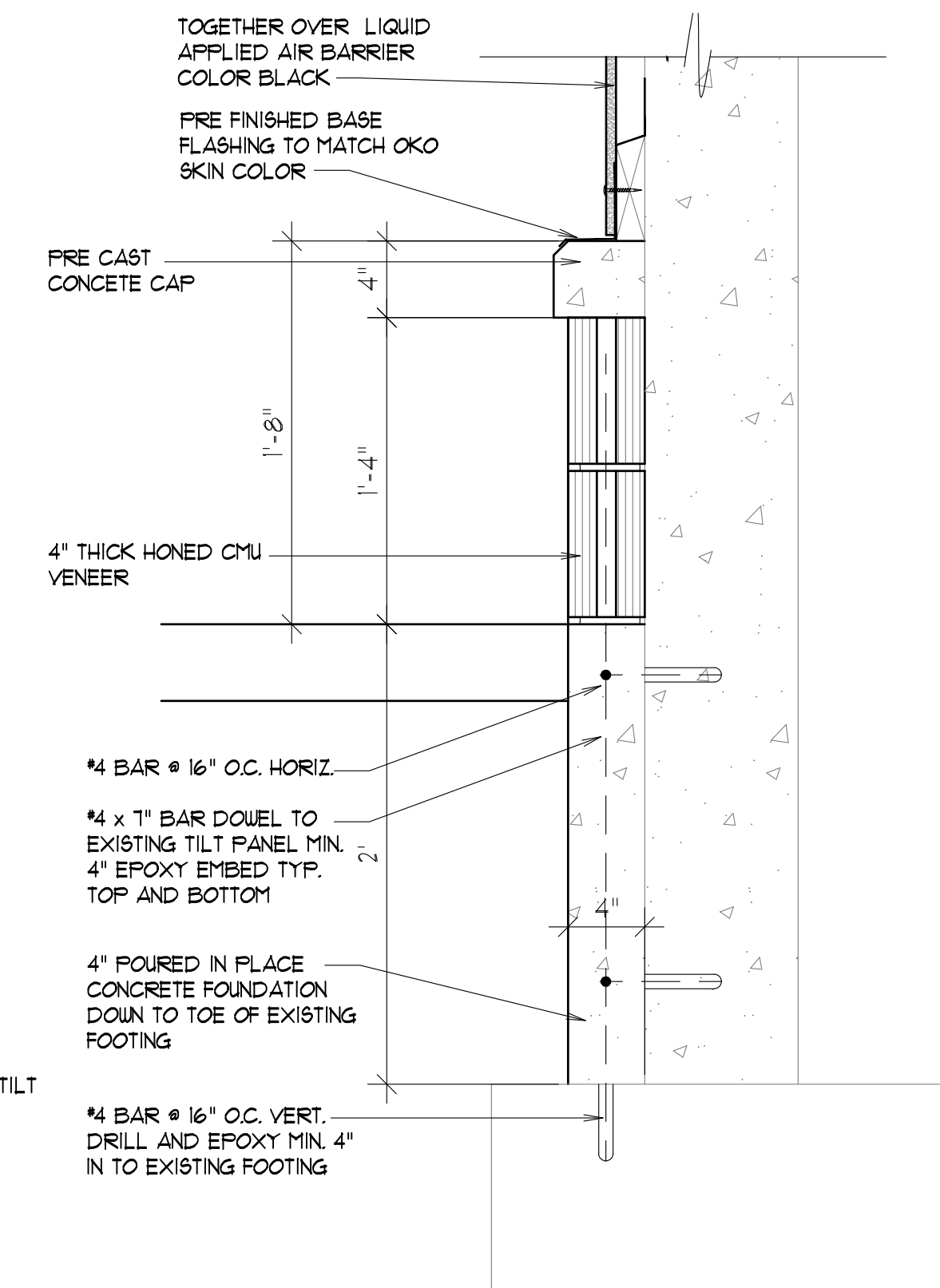
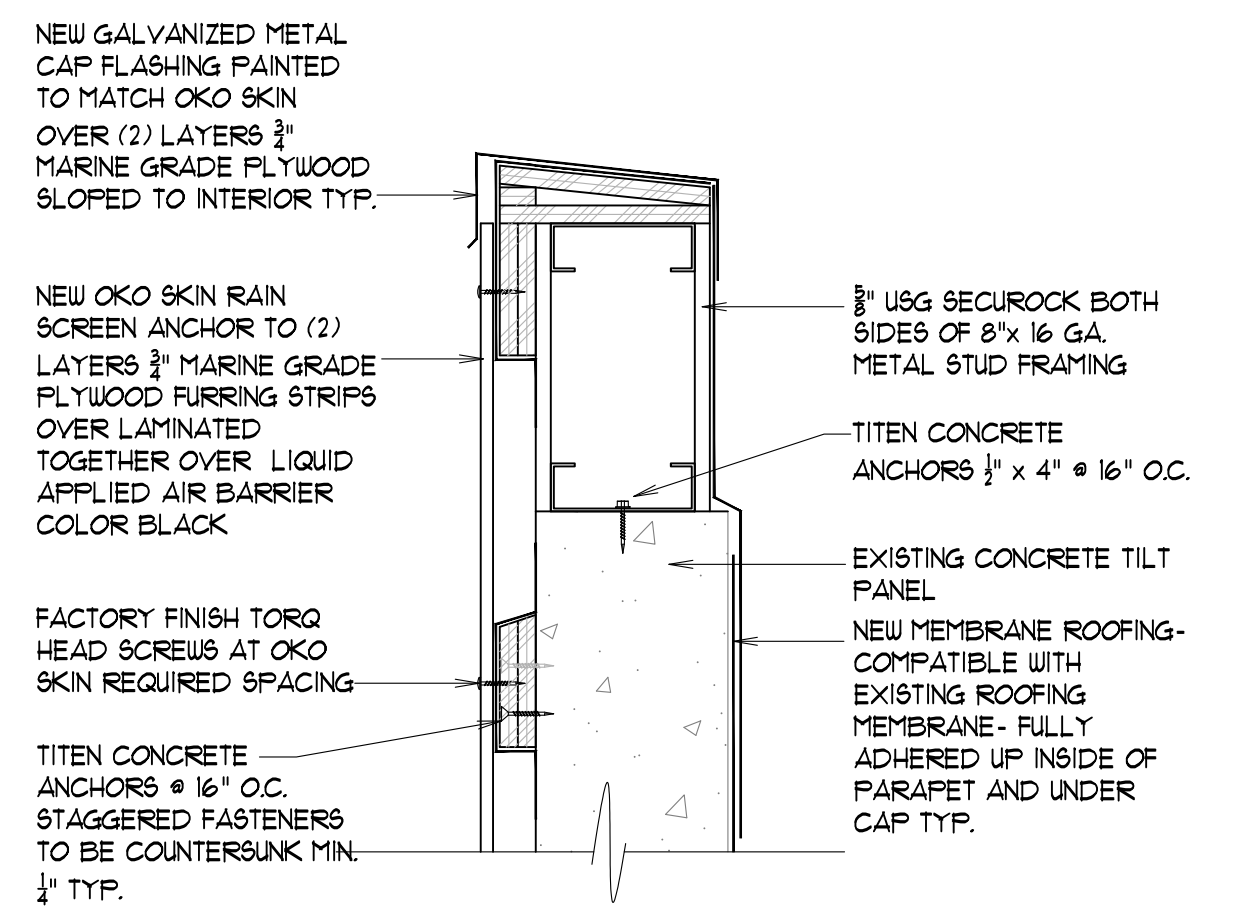
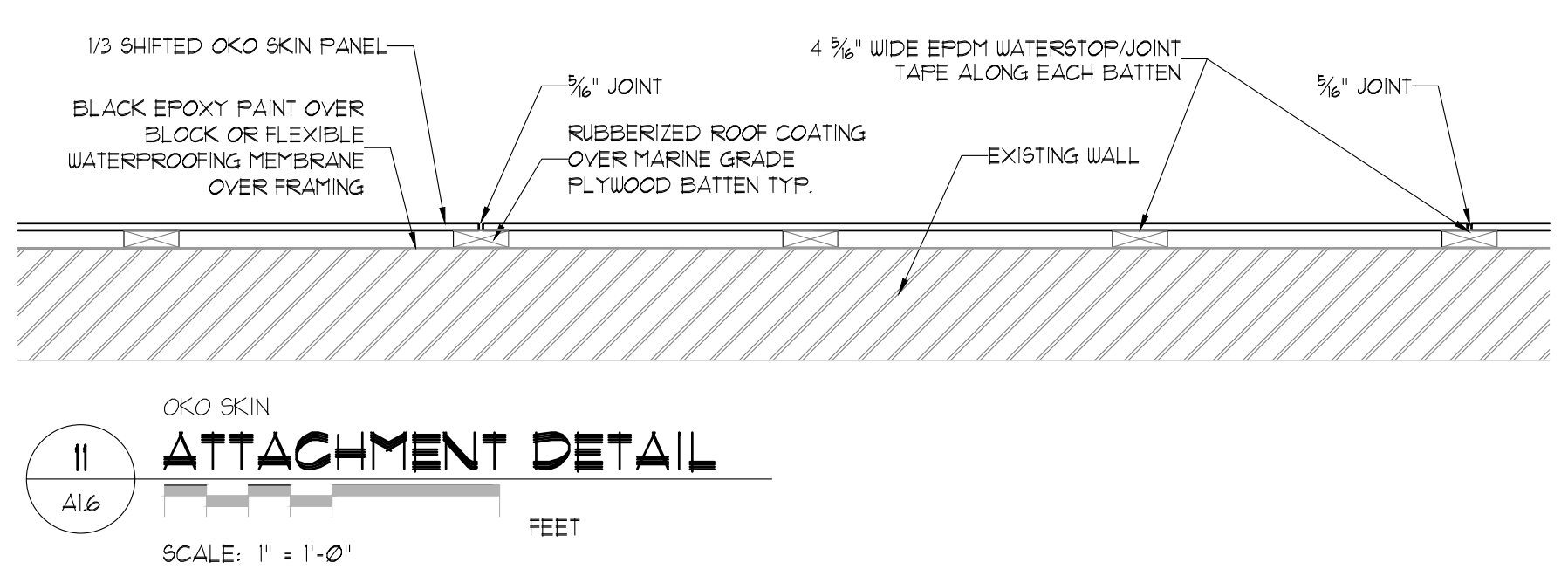
DENALI  
**5 ENLARGED ELEVATION**  
 SCALE: 1/4" = 1'-0"

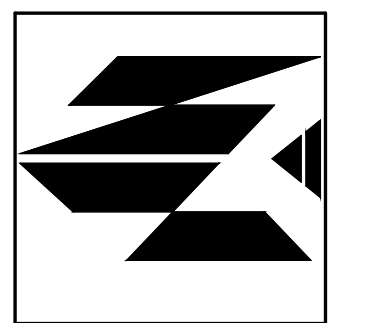


OLYMPUS/RAINIER/EVEREST  
**1 ENLARGED ELEVATION**  
 SCALE: 1/4" = 1'-0"

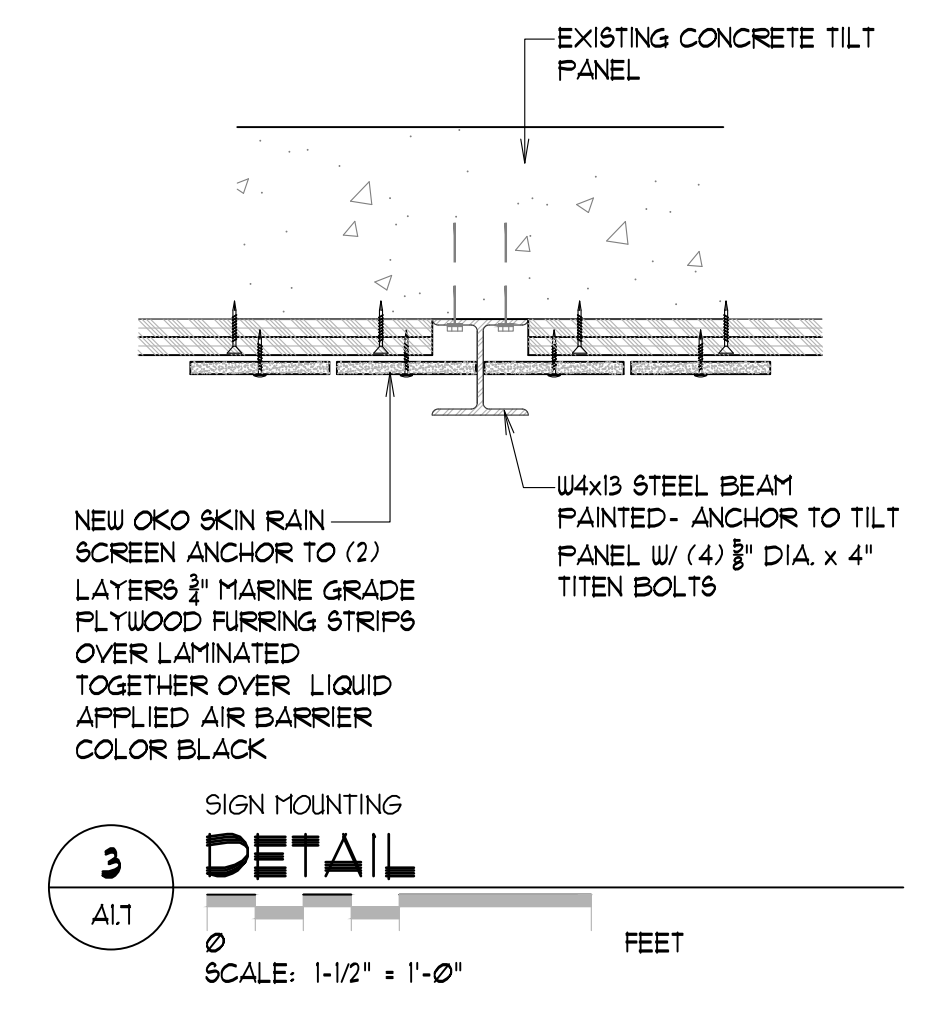
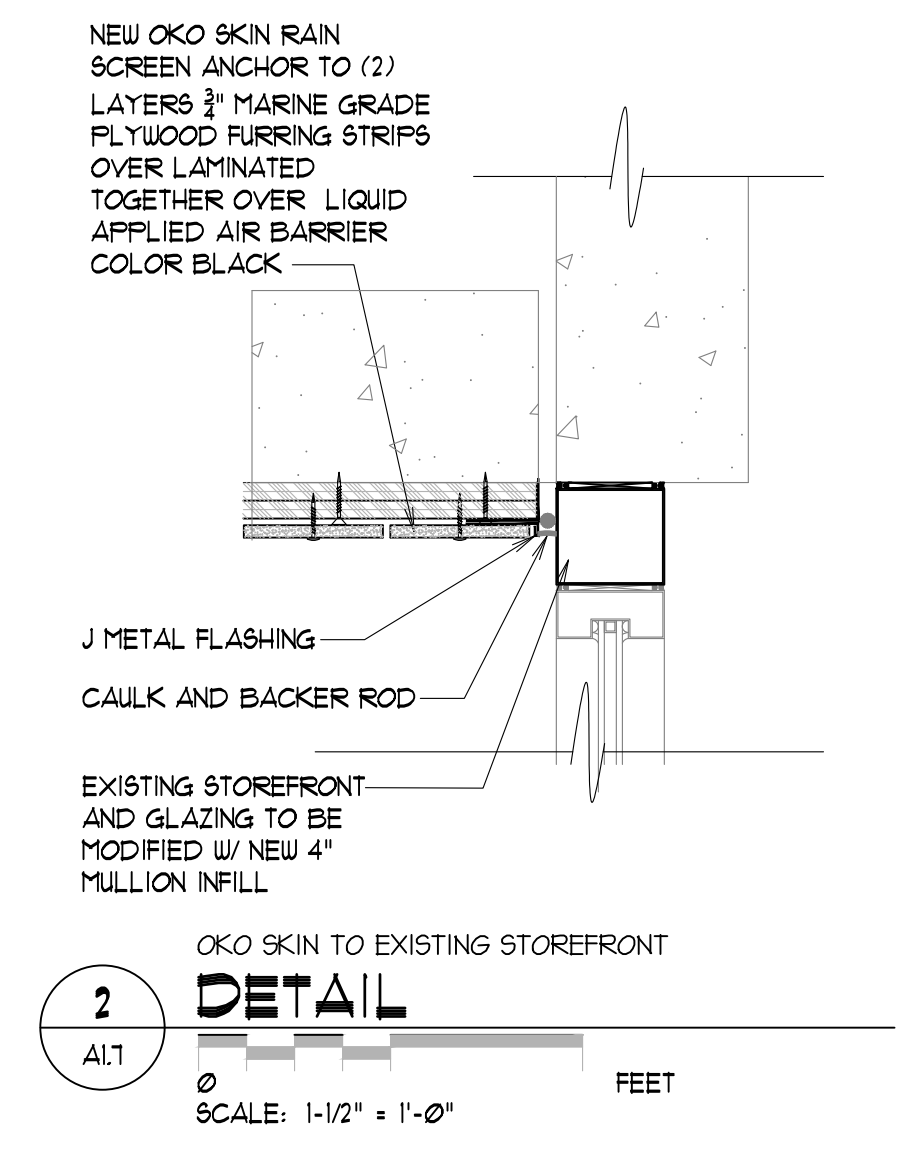
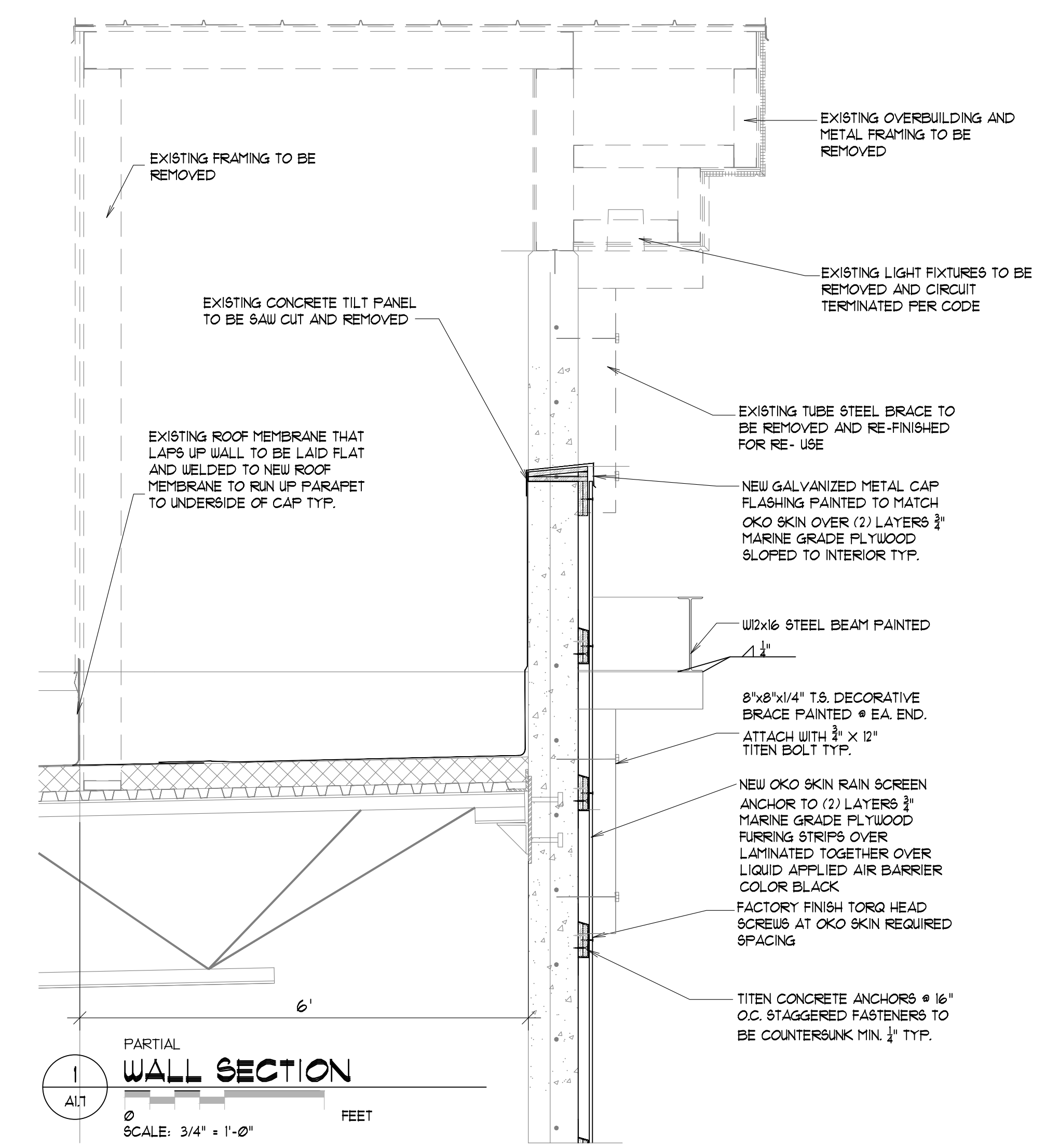


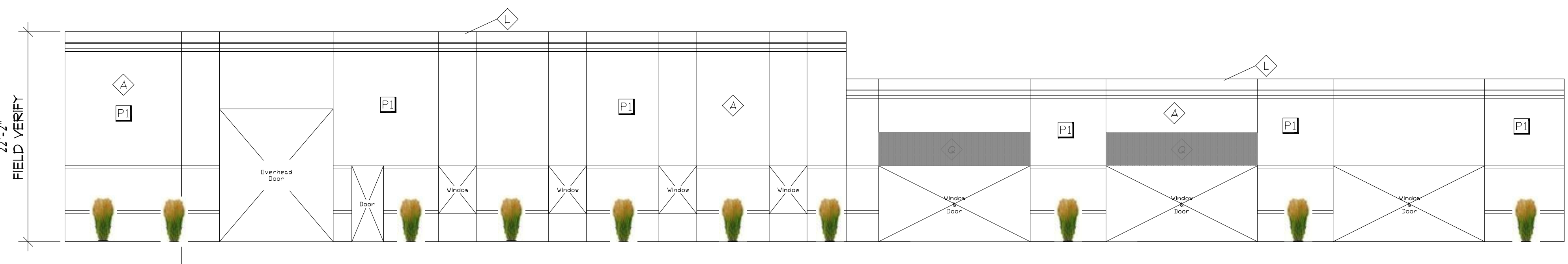
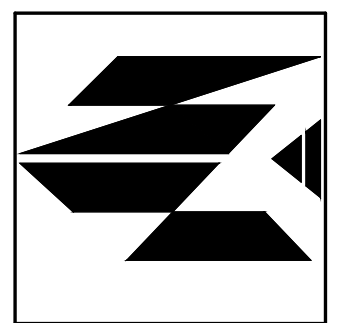
OLYMPUS/RAINIER/EVEREST  
**2 ENLARGED ELEVATION**  
 SCALE: 1/4" = 1'-0"



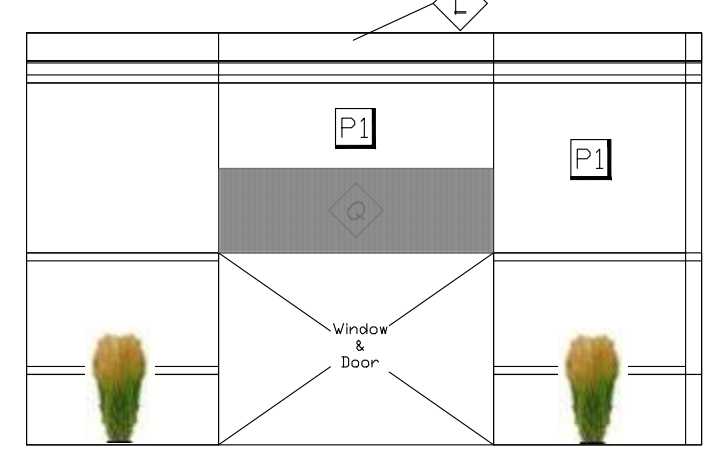


PAINT SPECIFICATIONS	
<b>ALUMINUM STOREFRONT SYSTEM</b>	
A. Non-Ferrous Metal: Galvanized and Aluminum.	
1. Urethane Systems; Waterbased:	
a. Gloss Finish:	
1) 1st Coat: S-W DTM Wash Primer, B71Y1 (3.4-6.4 mils wet, 0.7-1.3 mils dry)	
2) 2nd Coat: S-W Pro-Industrial Waterbased Acrolon 100 Gloss, B65-720 Series	
3) 3rd Coat: S-W Pro-Industrial Waterbased Acrolon 100 Gloss, B65-720 Series (4.0-8.0 mils wet, 1.8-3.6 mils dry per coat)	
b. Gloss Finish; Single Component:	
1) 1st Coat: S-W DTM Wash Primer, B71Y1 (3.4-6.4 mils wet, 0.7-1.3 mils dry)	
2) 2nd Coat: S-W Pro Industrial Pre-Catalyzed Waterbased Urethane Gloss, B65-120 Series.	
3) 3rd Coat: S-W Pro Industrial Pre-Catalyzed Waterbased Urethane Gloss, B65-120 Series (6.0-12.0 mils wet, 1.9-3.8 mils dry per coat).	
<b>CONCRETE TILT PANELS</b>	
<b>Power wash building</b>	
<b>Primer/conditioner:</b>	Ixon conditioner
<b>1st coat:</b>	conflex xl high build coating
<b>2nd coat:</b>	please provide a line item cost for a 2 <sup>nd</sup> coat of conflex xl high build coating
<b>EXTERIOR FERROUS METAL</b>	
	Semi-Gloss Finish
<b>Primer:</b>	Pro Industrial™ Pro-Cry® Universal Primer, B66-310
<b>1st coat:</b>	Pro Industrial™ Acrylic Semi-Gloss, B66-650 Series
<b>2nd coat:</b>	Pro Industrial™ Acrylic Semi-Gloss, B66-650 Series
<b>LIQUID APPLIED AIR BARRIER</b>	
FROSOCO CAT 5 RAIN SCREEN- INSTALLED PER MANUF. RECOMMENDATIONS	

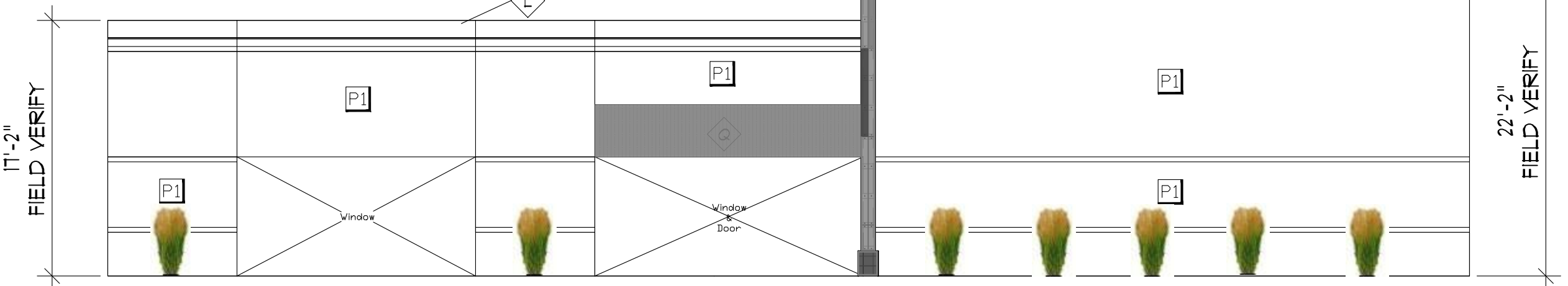




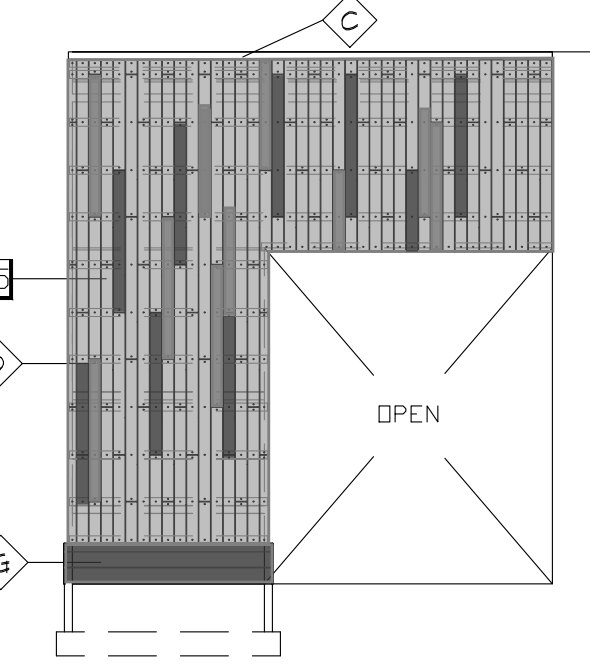
TIMPANOGOS  
**1 EAST ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"



TIMPANOGOS PARTIAL  
**2 NORTH ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"



TIMPANOGOS  
**3 SOUTH ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"



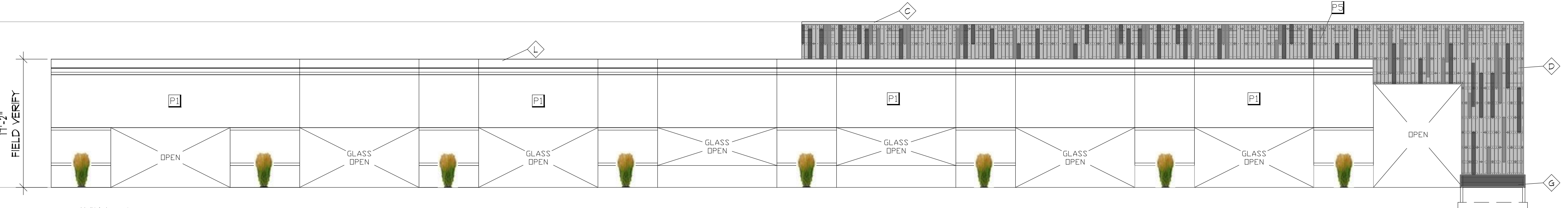
TIMPANOGOS PARTIAL  
**4 EAST ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"

**KEY NOTES**

- A EXISTING CONCRETE TILT PANEL TO BE RE-PAINTED
- B EXISTING STEEL BEAM CANOPY TO BE REMOVED- RE-PAINTED AND RE-INSTALLED
- C NEW GALVANIZED METAL WALL CAP OVER PRESSURE TREATED BE ANCHOR TO EXISTING TILT PANEL W/ 3/8" TITAN BOLTS @ 32" O.C.
- D OKO SKIN CEMENTITIOUS SIDING OVER (2) LAYERS 3/4" MARINE GRADE PLYWOOD FURRING STRIPS OVER LIQUID APPLIED AIR BARRIER- COLOR BLACK
- E EXISTING STOREFRONT WINDOW SYSTEM TO BE RE- FINISHED
- F W/2x16 STEEL BEAM CANOPY PAINTED
- G 4" HONED CMU VENEER BASE
- H EXISTING ROOF OVERBUILD TO BE REMOVED- CONCRETE TILT PANEL TO BE CUT TO LEVEL SHOWN
- I EXISTING 6" STEEL PIPE BOLLARD RE- PAINTED SAFETY YELLOW
- J EXISTING TUBE STEEL BRACE TO BE REMOVED- RE FINISHED AND RE-INSTALLED AS SHOWN
- K EXISTING METAL WALL CAP TO BE RE-PAINTED
- L EXISTING HOLLOW METAL DOOR RE- PRIMED AND RE-PAINTED
- M EXISTING METAL FRAMED EIFS CORNICE TO BE REMOVED
- N EXISTING EIFS TO BE RE-PAINTED
- P EXISTING FABRIC AWNING TO BE REMOVED- RE-COVERED AND RE-INSTALLED
- R NEW LED LIGHT FIXTURE- INSTALLED IN EXISTING FIXTURE LOCATION
- S NEW DOCK DOOR NUMBERS- STENCIL PROVIDED BY OWNER- COLOR BLACK

**COLOR SCHEDULE**

COLOR	DESCRIPTION
P1	SHERWIN WILLIAMS SW6258 "TRICORN BLACK" MATTE SHEEN
P2	SHERWIN WILLIAMS SW1655 200% "STAMPED CONCRETE" MATTE SHEEN
P3	SHERWIN WILLIAMS SW6258 "TRICORN BLACK" SEMI GLOSS SHEEN
P4	SHERWIN WILLIAMS SW1655 200% "STAMPED CONCRETE" SEMI GLOSS SHEEN
P5	OKO SKIN CEMENTITIOUS SIDING- INSTALLED VERTICALLY 1/2" OFFSET PER MANUF. RECOMMENDATIONS
P6	PAINTED DOCK DOOR NUMBERS 2'-8" ABOVE OPENING. SHERWIN WILLIAMS SW 6258 "TRICORN BLACK", OWNER TO PROVIDE STENCILS
P7	4" HONED CONCRETE BLOCK VENEER SUNROC "BLACK"

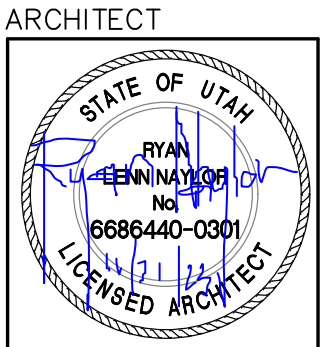


TIMPANOGOS  
**5 WEST ELEVATION**  
 A1.0  
 0 2 4 6 8 16 FEET  
 SCALE: 1/8" = 1'-0"

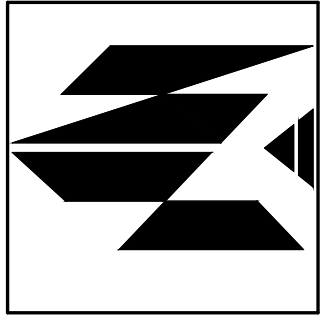
REVISIONS  
ADDENDUM #1  
8-05-2022

SHEET TITLE  
EXTERIOR ELEVATIONS

PROJECT/OWNER  
LONE PEAK BUSINESS  
PARK - PHASE 1 REMODE  
12300 SOUTH LONE PEAK PARKWAY  
DRAPER CITY, UTAH  
PRICE LONE PEAK COMPANY  
230 EAST SOUTH TEMPLE, SLC, UT



ARCHITECT  
NICHOLS • NAYLOR  
ARCHITECTS  
SUITE 201  
10459 SOUTH 1300 WEST  
SOUTH JORDAN, UTAH 84095  
(801) 487-3330

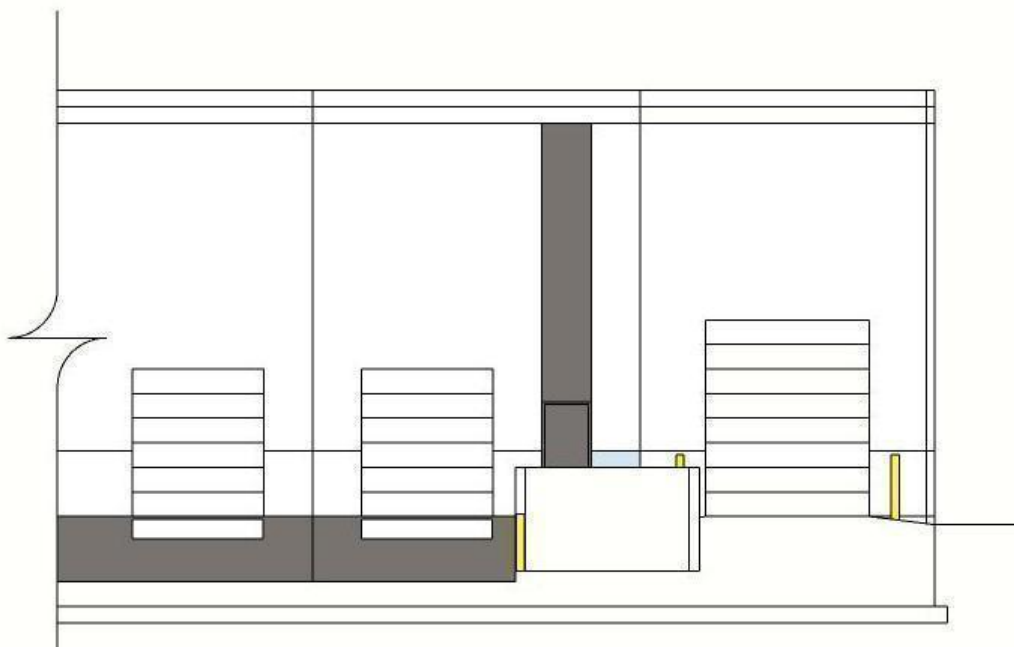


DATE  
14 APRIL 2022

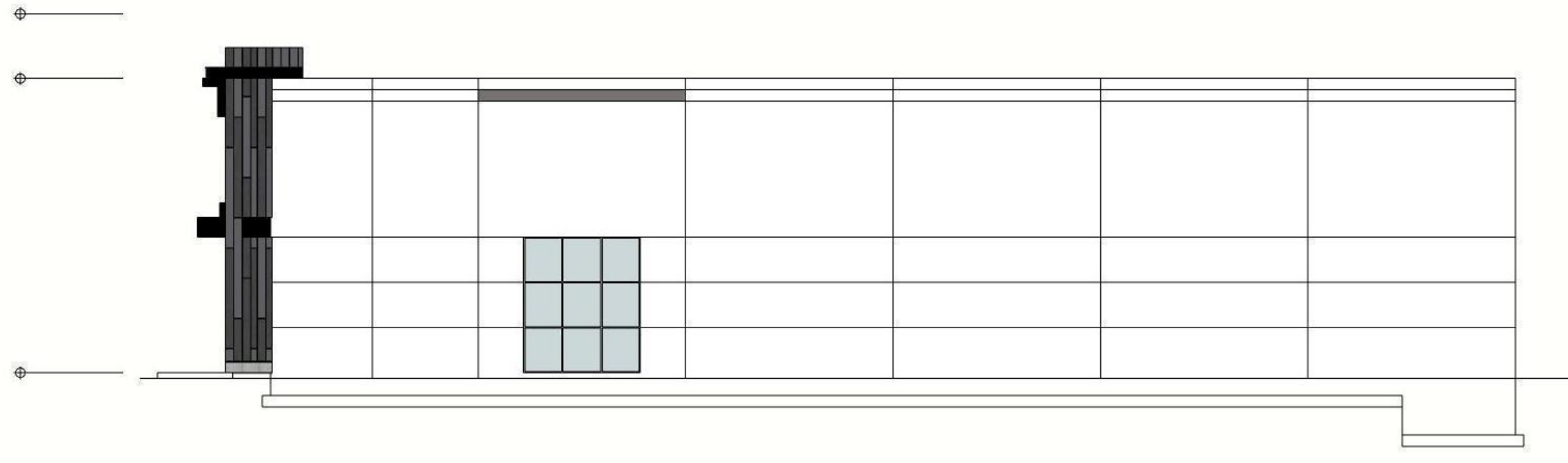
SHEET NUMBER  
A1.0



1 RAINIER  
ALL FRONT ELEVATION  
SCALE: 1/8" = 1'-0"  
16 FEET



2 OLYMPUS/RAINIER PARTIAL  
ALL REAR ELEVATION  
SCALE: 1/8" = 1'-0"  
16 FEET



3 OLYMPUS/RAINIER  
ALL SIDE ELEVATION  
SCALE: 1/8" = 1'-0"  
16 FEET



1 OLYMPUS  
ALL FRONT ELEVATION  
SCALE: 1/8" = 1'-0"  
16 FEET



1 EVEREST  
ALL2 EXTERIOR ELEVATION  
SCALE: 1/16" = 1'-0"