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**Development Review Committee**

1020 East Pioneer Road

Draper, UT 84020

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**STAFF REPORT**

May 15, 2024

**To:** Jennifer Jastremsky, Zoning Administrator

\_\_\_\_\_  
Approved

\_\_\_\_\_  
Date

**From:** Todd A. Draper, AICP, Planning Manager  
801-576-6335, [todd.draper@draperutah.gov](mailto:todd.draper@draperutah.gov)

**Re: Mister Car Wash- Site Plan Amendment Request**

Application No.: 2023-4511-SP

Applicant: Katherine Youdelman, representing Mister Car Wash and Realty  
Income Properties 5, LLC

Project Location: 387 E 12300 S

Current Zoning: CC (Community Commercial) Zone

Acreage: 1.47 Acres (Approximately 64,033 ft<sup>2</sup>)

Request: Request for approval of a Site Plan Amendment in the CC zone  
regarding the addition of self-service vacuums to an existing  
carwash.

**SUMMARY AND BACKGROUND**

This application is a request for approval of a Site Plan Amendment for approximately 1.47 acres located on the north side of 12300 South, at approximately 387 E 12300 S (Exhibit B & C). The property is currently zoned CC. The applicant is requesting that a Site Plan Amendment be approved to allow for the addition of self-service vacuums to an existing carwash.

The existing commercial carwash was built in approximately 2006 as a Platinum Car Care Carwash. A conditional use permit and commercial site plan were approved by the Planning Commission on November 17, 2005 which included the main car wash building and a vacuum canopy located northeast of the main building. A minor site plan



amendment was approved November 8, 2012 to add an additional vacuum island on the southern portion of the property. Although vacuums and a canopy were installed in the generally approved location on the south, the installation did not appear to strictly follow the approved plans. The property owner removed all vacuums from the site in 2022.

**ANALYSIS**

*General Plan and Zoning.*

<b>Table 1</b>	<b>General Plan and Zoning Designations</b>	<b>Exhibit</b>
Existing Land Use	Neighborhood Commercial	Exhibit D
Current Zoning	CC	Exhibit E
Proposed Use	Car Wash	
Adjacent Zoning		
East	CC	
West	CC	
North	RM2 (Residential, Multiple Family)	
South	CC	

The Neighborhood Commercial land use designation is characterized as follows:

*Neighborhood Commercial*

<b>LAND USE DESCRIPTION</b>	
<b>CHARACTERISTICS</b>	<ul style="list-style-type: none"> <li>• Small-scale commercial land uses that serve local residents in adjacent neighborhoods</li> <li>• Minimal impact in predominantly residential areas</li> <li>• Well-landscaped street frontages</li> <li>• Limited traffic access points and pedestrian access from surrounding residential areas</li> <li>• Don't overcrowd commercial lots; i.e., require adequate setback and landscape buffers</li> <li>• Screened parking and adequate ingress and egress to parking areas</li> <li>• Adequate drainage</li> <li>• Low noise standards</li> </ul>
<b>LAND USE MIX</b>	<ul style="list-style-type: none"> <li>• Small-scale commercial</li> <li>• Planned retail</li> <li>• Office</li> </ul>
<b>COMPATIBLE ZONING</b>	<ul style="list-style-type: none"> <li>• Neighborhood Commercial (CN)</li> <li>• Institutional Care (IC)</li> <li>• Commercial Services (CS)</li> </ul>
<b>LOCATION</b>	<ul style="list-style-type: none"> <li>• Adjacent to neighborhood</li> <li>• Along local roads</li> </ul>



According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CC zone is to “provide areas where commercial uses may be established which are generally oriented toward local residents rather than out of town patrons. Uses typical of this zone include planned retail and office development.”

Site Plan Layout. The site plan amendment (Exhibit F) shows the main car wash building located on the west of the property with vehicular access coming from the southeast. The original vacuum canopy northeast of the main car wash building also will remain and is currently used as an entrance canopy and pay station.

<b>Standard</b>	<b>DCMC Requirements</b>	<b>Proposal</b>	<b>Notes</b>
Lot/Parcel Size	n/a	1.47 acres	No change from existing
Street Frontage	n/a	245-feet	No change from existing
Setbacks-			
Front	n/a – per DCMC Chapter 23	83-feet	Complies. No change from existing
Rear	n/a – per DCMC Chapter 23	60-feet	Complies. No change from existing
East Side	n/a – per DCMC Chapter 23	167-feet	Complies. No change from existing
West Side	n/a – per DCMC Chapter 23	10-feet	Complies. No change from existing

The new vacuum area will be located directly east of the main car wash building and includes 14 self-service vacuum stalls, including an ADA stall. These will replace the existing 7 parking stalls adjacent to the main building. The existing pedestrian walkway adjacent to the building will be extended to the north adjacent to the new vacuum stalls. The pedestrian walkway is between seven and eleven feet (7'-11') wide. The main vacuum equipment will be maintained inside an enclosure located near the north end of the new vacuum area. Additional changes to the site include the addition and reconfiguration of landscape planter islands in the vicinity of the vacuum area addition and within the existing parking lot near the entrance.

Landscaping and Lot Coverage. The amended landscaping plan can be found in Exhibit G. The plans stamped by the landscape architect indicate that the new landscaping accounts for approximately 5.6% of the overall site and will meet the requirements of ordinance with a 79.3% coverage rate at maturity. Plant material quantities and locations, and other details as shown on the landscape plans have also been determined to comply with the requirements of ordinance. The landscaping will utilize a drip irrigation system as required, and will be waterwise, including the incorporation of low impact development principals



into the planter island near the entrance.

**Table 3 Landscaping Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Overall Landscaping Coverage	20%	28.6%	
Parking Lot Landscaping	7%	7.7%	Applicable to redeveloped area only.
Perimeter Landscaping	10-feet	Varies between 10-feet and 16.5-feet	No changes to depth of existing perimeter landscaping.
Buffer Landscaping	20 feet when next to Residential. Not required between uses in the same zone	15-feet on north, n/a to east and west.	Existing landscaping pre-dated residential use to the north.

Parking. According to the site plan layout (Exhibit F) the parking near the building will be changed to accommodate the proposed vacuum stalls. These are technically hybrid spaces in that they will also be available as regular parking for customers who need to access the building, specifically the ADA designated parking stall.

**Table 4 Parking Lot Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Parking Required (Min/Max)			
Car Wash	5-6 stalls, plus 5 queuing spaces per bay.	14 new vacuum spaces. 18 regular spaces. Queuing lanes remain unchanged with 5+ spaces per lane.	Ordinance does not address a limit on vacuum spaces. Other parking is existing.
Pedestrian Connections			
Cross Walks	Different material from parking lot required	n/a	Parking is immediately adjacent to the building walkway

Architecture. There will be no change to the exterior architecture of the buildings on site. The elevation drawings of the vacuum equipment can be found in Exhibit G. The vacuum

enclosure will be painted to match the existing buildings on site. The proposed architectural plans comply with ordinance requirements.

**Table 5 Architectural Design Requirements**

Standard	DCMC Requirements	Proposal	Notes
Enclosure Height	Up to 10-feet with Zoning Administrator approval	8.5-feet	
Screening	Walls or opaque fencing and landscaping	Wall and landscaping	

*Lighting.* The existing site lighting will not change. No new lighting has been proposed to be added to the new vacuum area or other redeveloped areas of the property.

*Previous Conditions of Approval.* The Planning Commission placed the following conditions of approval on the Commercial Site Plan Application on November 17, 2005:

1. That all conditions and codes of the Fire Department are met and adhered to.
2. That all conditions and codes of the Building Department are met and adhered to.
3. That all conditions and standards of the Engineering Department are met and adhered to.
4. That site lighting is designed according to Chapter 9-20, which limits pole sized to 20 feet, requires recessed lighting fixtures in order to minimize fugitive light.
5. That lighting details are submitted and approved by staff prior to issuance of building permits.
6. That all mechanical equipment is screened from view, whether it is contained within the building or within the mechanical room attached to the west of the building.
7. That a land disturbance permit is not issued until bond and fees are paid and a preconstruction meeting with a city inspector is scheduled.
8. That two fire hydrants at a maximum spacing of 450 ft., with a flow of 2250 gpm. Placed on site according to the site plan.
9. That the landscaping along 12300 South be bermed as shown on plans submitted to the City.
10. That three 2A 10BC Fire extinguishers are provided in the building.
11. That the required fire department access roads unobstructed with of 20' and height of 13'6" are designed and maintained to support the imposed loads of emergency apparatus. Surface shall be able to provide all weather driving capabilities shall have a inside turning radius of 28<sup>th</sup> and maximum grade of



- 10%.
12. That the building be constructed to look like the elevations and colors submitted to the Planning Department dated October 6, 2005 and submitted in [the] staff report dated November 14, 2005.
13. That permits for any signage be obtained from the City prior to erection of such signs.
14. That all bay doors (on north, south and east elevations) are colored a complementary color to the building other than white.

Additionally, the Planning Commission placed the following conditions of approval on the accompanying Conditional Use Permit Application on November 17, 2005:

1. That the hours of operation be limited to 7:00 am to 7 pm daily.
2. That any light in excess of 150 watts is not to be used after 10:30 p.m.
3. That all mechanical equipment is screened from view, whether it is contained within the building or within the mechanical room attached to the west of the building.
4. That the building be constructed to look like the elevations and colors submitted to the Planning Department dated October 6, 2005 and submitted in [the] staff report dated November 14, 2005.

The zoning administrator also placed the following conditions on property regarding the minor site plan amendment approved on November 8, 2012:

1. That two fire extinguishers are provided in accordance with Unified Fire Authority standards and as stated in Don Buckley's memo dated November 5, 2012.
2. That a storm water pollution prevention plan/erosion control detail shall be included in the plans to protect the storm water network during construction.
3. That a building permit is applied for and obtained prior to installation of the new equipment.

Criteria For Approval. The criteria for review and potential approval of an Amended Site Plan request are found in Sections 9-5-060(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

Site Plan Amendment 9-5-090 (E) and (H)

*E. Standards For Approval: The following standards shall apply to the approval of a site plan:*

1. *The entire site shall be developed at one time unless a phased development plan is approved.*

2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:

1. Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:
  - a. The proposed use is consistent with uses permitted on the site;
  - b. Existing uses were permitted when the site plan was approved, or have received a conditional use permit;
  - c. The proposed use and site will conform to applicable requirements of this Code;
  - d. The proposed expansion meets the approval standards of subsection E of this section;
  - e. The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and
2. If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.
3. If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.
4. Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.

## **REVIEWS**

Planning Division Review. The Draper City Planning Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Amended Site Plan submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

### **STAFF RECOMMENDATION**

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That the car wash continues to comply with all other prior conditions of approval relating to the original Conditional Use Permit and Commercial Site Plan approval.

The findings for approval as are follows:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.



## DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

**Brien Maxfield**

Digitally signed by Brien Maxfield  
DN: C=US, E=brien.maxfield@draperutah.gov,  
O=Draper, OU=Public Works - Engineering,  
CN=Brien Maxfield  
Date: 2024.05.24 10:29:27-06'00'

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Draper City Public Works Department

**Todd A. Draper**

Digitally signed by Todd A.  
Draper  
DN: C=US,  
E=todd.draper@draper.ut.us,  
O=Draper City Planning,  
CN= Todd A. Draper  
Date: 2024.05.24  
10:15:11-06'00'

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Draper City Planning Division

**Don Buckley**

Digitally signed by Don Buckley  
DN: C=US,  
E=don.buckley@draperutah.gov,  
O=Draper City Fire Department,  
OU=Fire Marshal, CN=Don Buckley  
Date: 2024.05.24 12:14:41-06'00'

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Draper City Fire Department

**Spencer DuShane**

Digitally signed by Spencer  
DuShane  
Date: 2024.05.24 13:57:49 -06'00'

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Draper City Legal Counsel

**Keith Collier**

Digitally signed by Keith Collier  
DN: C=US, E=keith.collier@draperutah.gov,  
O=Draper City, OU=Building Official, CN=Keith  
Collier  
Date: 2024.05.28 05:26:59-06'00'

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Draper City Building Division

## **EXHIBIT A DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

### Planning Division Review.

1. No additional comments.

### Engineering and Public Works Divisions Review.

1. When onsite changes are made to a site plan, per DCMC 9-5-090(H)(4), onsite drainage and public improvements are required to be brought into compliance with current code. Site improvements do not reach the threshold of amendment to require modifications to the storm drainage system.
2. Stormwater Maintenance Plan and Agreement are now required for every private storm drainage system, per DCMC 16-2-170. Submission of the maintenance plan is part of the site approval and will be required with the agreement. The maintenance agreement is a condition of approval; it is required to be executed and returned to the city prior to issuance of the Land Disturbance Permit for construction of the site.
3. Drawings are to be stamped and signed by a P.E. registered in Utah per Draper City Municipal Code (DCMC) 9-5-090(D)(1)(d).
4. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance.
5. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division.

### Building Division Review.

1. No additional comments.

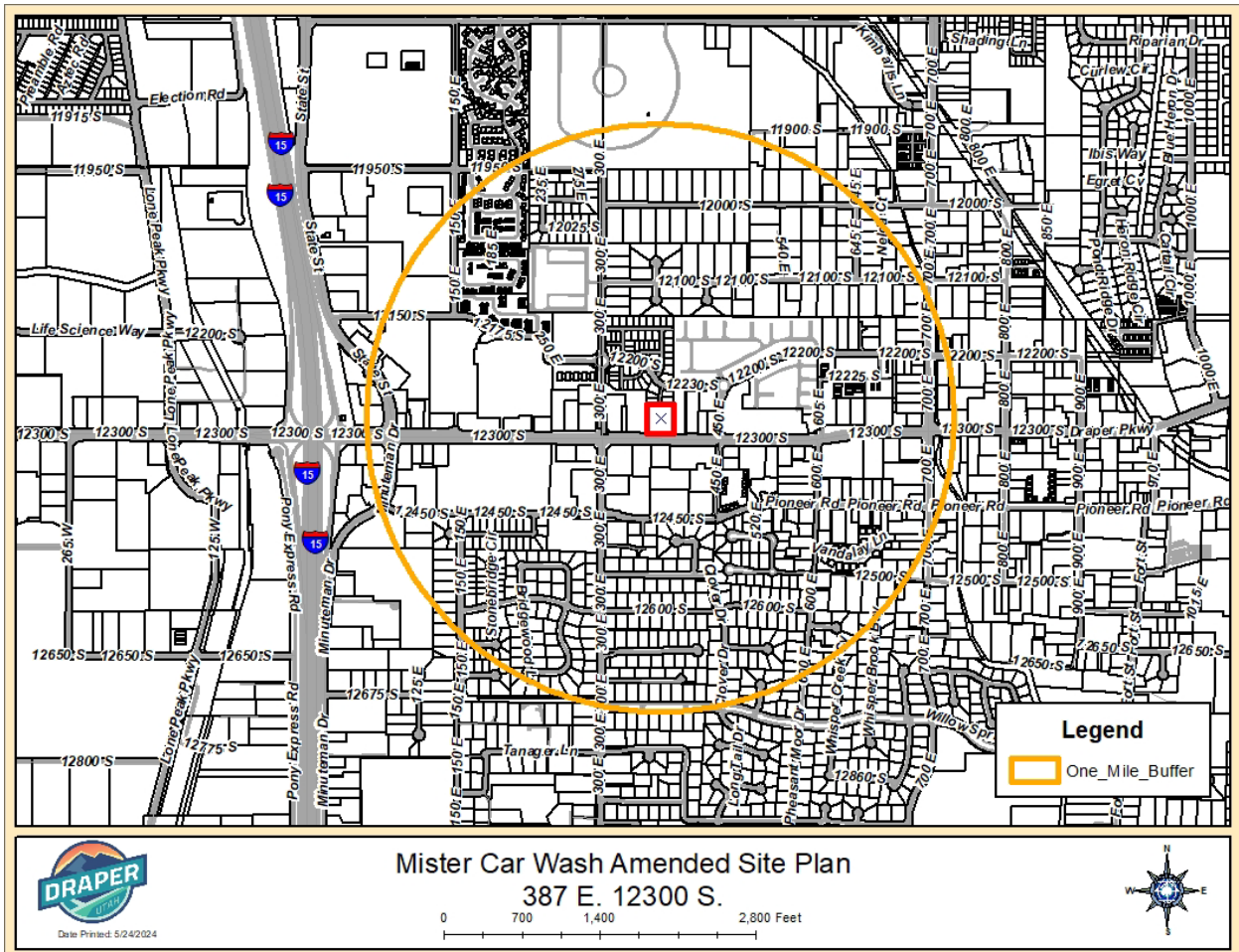
### Fire Division Review.

1. No additional comments.

### GIS Division Review.

1. No additional comments.

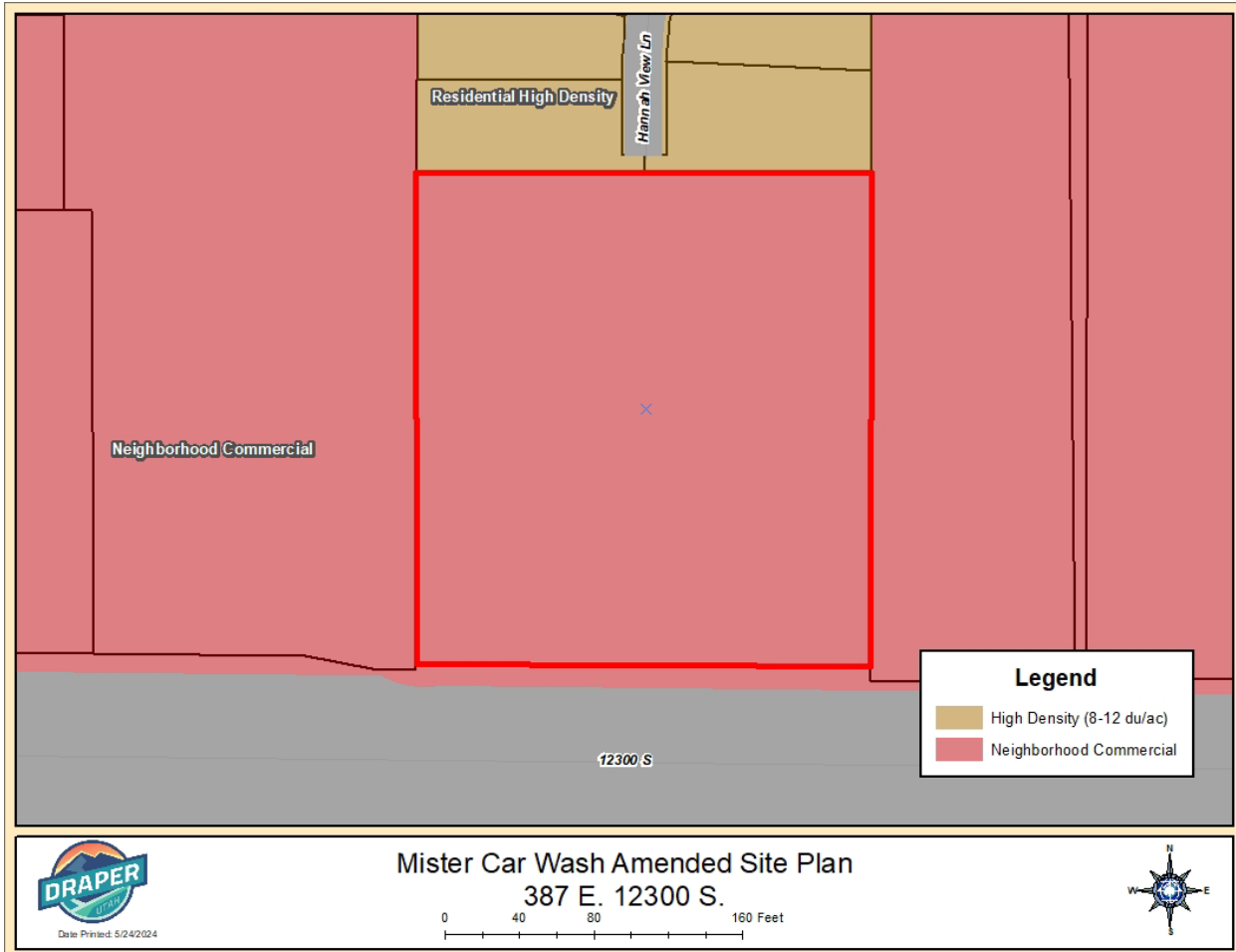
# EXHIBIT B VICINITY MAP



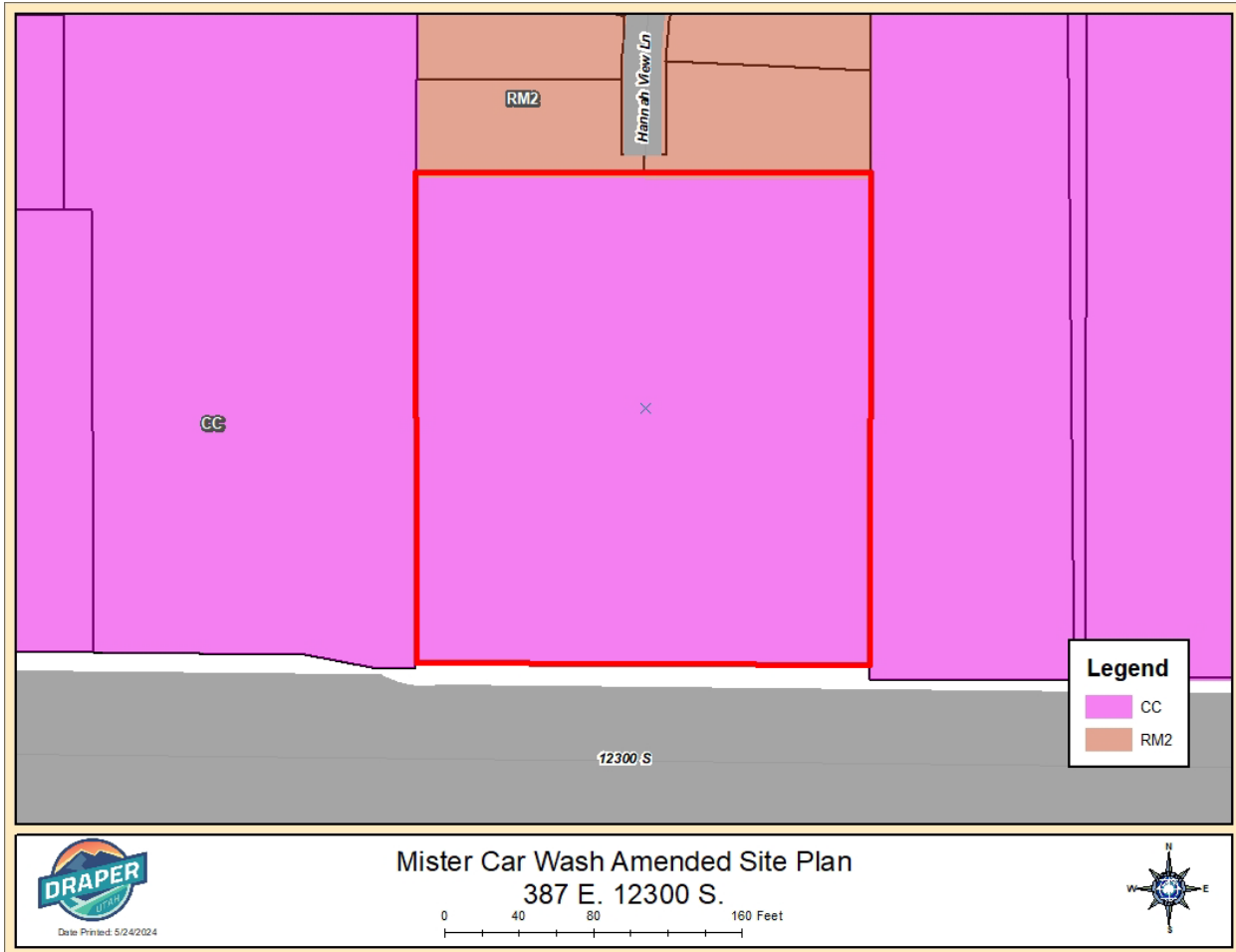
**EXHIBIT C  
AERIAL MAP**



# EXHIBIT D LAND USE MAP



# EXHIBIT E ZONING MAP



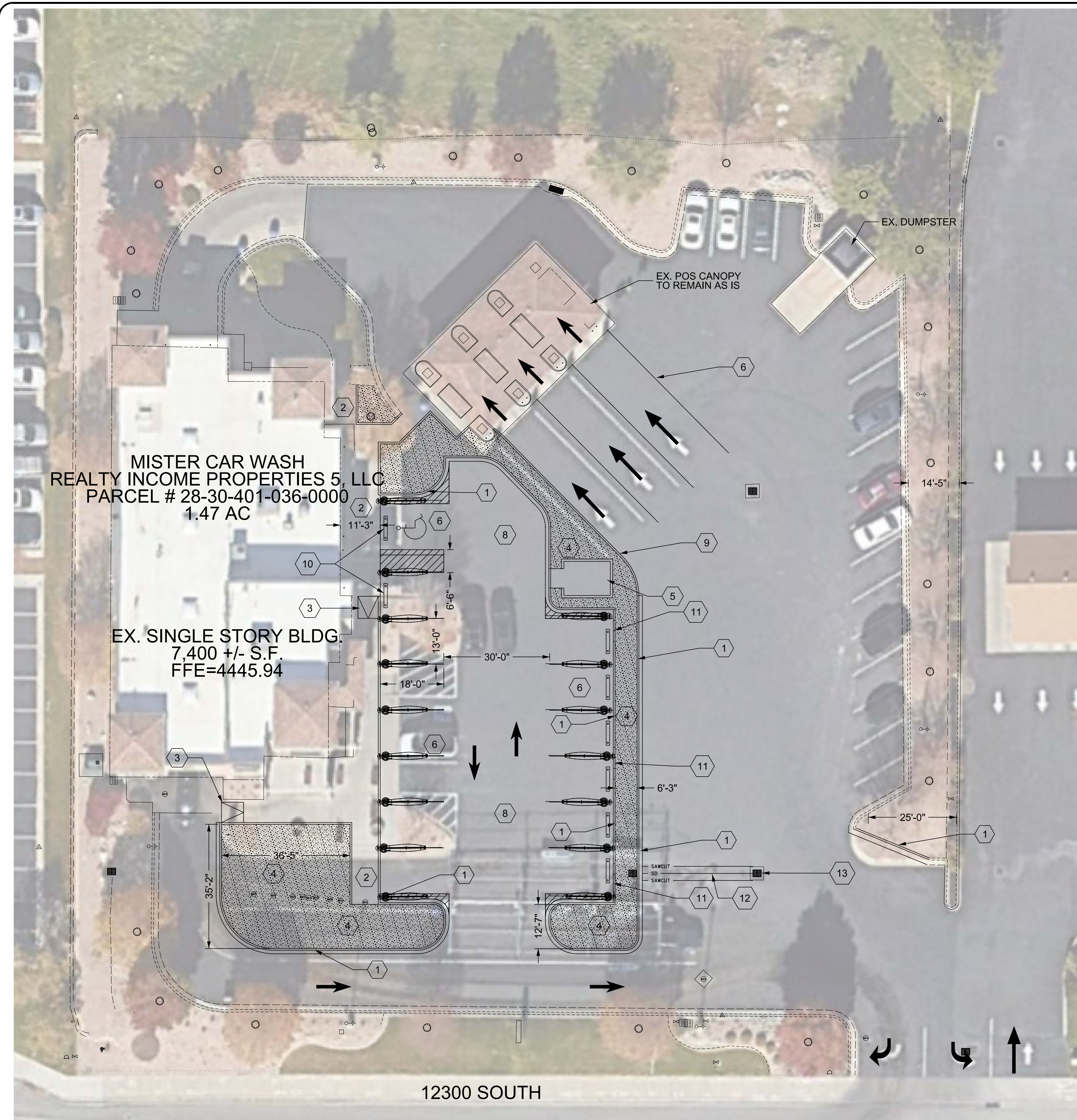
Date Printed: 5/24/2024

Mister Car Wash Amended Site Plan  
387 E. 12300 S.

0 40 80 160 Feet



**EXHIBIT F  
SITE PLANS**



**LEGEND**

○+○ LIGHT POLE	☼ TREE	EOC = 4231.5	EXISTING ELEVATION TO REMAIN
⊙ POWER POLE	□ CATCH BASIN	EOC = 4231.5	PROPOSED ELEVATION
■ STREET SIGN	□ POWER BOX	1.9%	DOWNWARD GRADE
⌒ MAIL BOX	⊗ VALVE	Ⓥ	SONOTUBES FOR VACUUMS
▭ EXISTING BUILDING	---	4258	EXISTING INDEX CONTOUR
▨ PROPOSED PAVEMENT	---	4258	EXISTING MINOR CONTOUR
▬ EXISTING CURB & GUTTER	---		PROPOSED CONTOUR
---	---		PROPOSED MINOR CONTOUR
---	---		PROPOSED CURB & GUTTER

NO PLANNED ZONING CHANGES.  
TOPOGRAPHIC SURVEY INFORMATION HAS BEEN PROVIDED.  
NO PROPERTY SURVEY WORK HAS BEEN DONE AT THIS TIME.  
EXISTING LOT AREA IS 1.47 AC.

LANDSCAPE TABLE	AREA S.F.	AREA %
TOTAL SITE AREA	64,033.4	
LANDSCAPE AREA	18,340.0	28.6%
NEW LANDSCAPE	3,310.0	5.2%

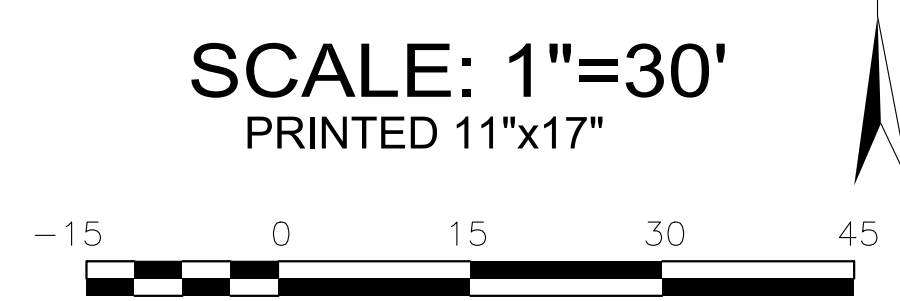
NEW LANDSCAPE AREA	REQUIRED SF OF PLANT COVERAGE OF NEW LANDSCAPE	PROVIDED SF OF PLANT COVERAGE OF NEW LANDSCAPE
50% PLANT COVERAGE (NOT INCLUDING TREES) REQUIRED IN FIRST 2 YEARS	1,655 SF	62% OR 2,052.7 SF
75% PLANT COVERAGE (NOT INCLUDING TREES) REQUIRED IN FIRST 10 YEARS	2,482.5 SF	77.5% OR 2,565.9 SF

**CONSTRUCTION NOTES**

- 1 INSTALL NEW CURB & GUTTER
- 2 INSTALL NEW CONCRETE
- 3 INSTALL NEW CONCRETE RAMP
- 4 INSTALL NEW LANDSCAPING
- 5 INSTALL EQUIPMENT ENCLOSURE
- 6 STRIPE ASPHALT AS INDICATED
- 7 INSTALL NEW VACUUMS
- 8 INSTALL NEW ASPHALT
- 9 INSTALL APWA TYPE A CURB
- 10 PLACE NEW CURB STOPS
- 11 INSTALL NEW CURB CUT FOR DRAINAGE
- 12 INSTALL NEW STORM DRAIN PIPING
- 13 INSTALL NEW 2'x2' STORM DRAIN BOX

**GENERAL NOTES**

- 1 THE SITE IS CURRENTLY A MISTER CAR WASH. THIS PROJECT WILL NOT CHANGE OR IMPACT THE CURRENT USE. THE INTENT OF THIS PROJECT IS TO REDO THE OPEN PAVEMENT AREA AND ADD ADDITIONAL PARKING STALLS FOR VACUUMS. NEW VACUUMS WILL BE INSTALLED WITH THE NEW PARKING STALLS. A NEW ADA RAMP WILL BE ADDED FOR ACCESS INTO THE EX. BLDG. NEW CURB AND GUTTER WILL BE INSTALLED TO CREATE THE PARKING AREA. NEW INTERIOR LANDSCAPE AREAS WILL BE CREATED AS WELL. NO NEW LIGHTS WILL BE ADDED TO THE SITE OR ON THE VACUUMS.



DATE: APR 11 2022

DESCRIPTION

REGISTERED PROFESSIONAL ENGINEER  
No. 343584  
BRIAN F. CAMPBELL  
STATE OF UTAH

ESI ENGINEERING  
CONSULTING ENGINEERS  
AND LAND SURVEYORS  
9690 SUTCLIFF SUITE 200  
SOUTH SALT LAKE CITY, UT 84145  
801-263-1752 • FAX 801-263-1780

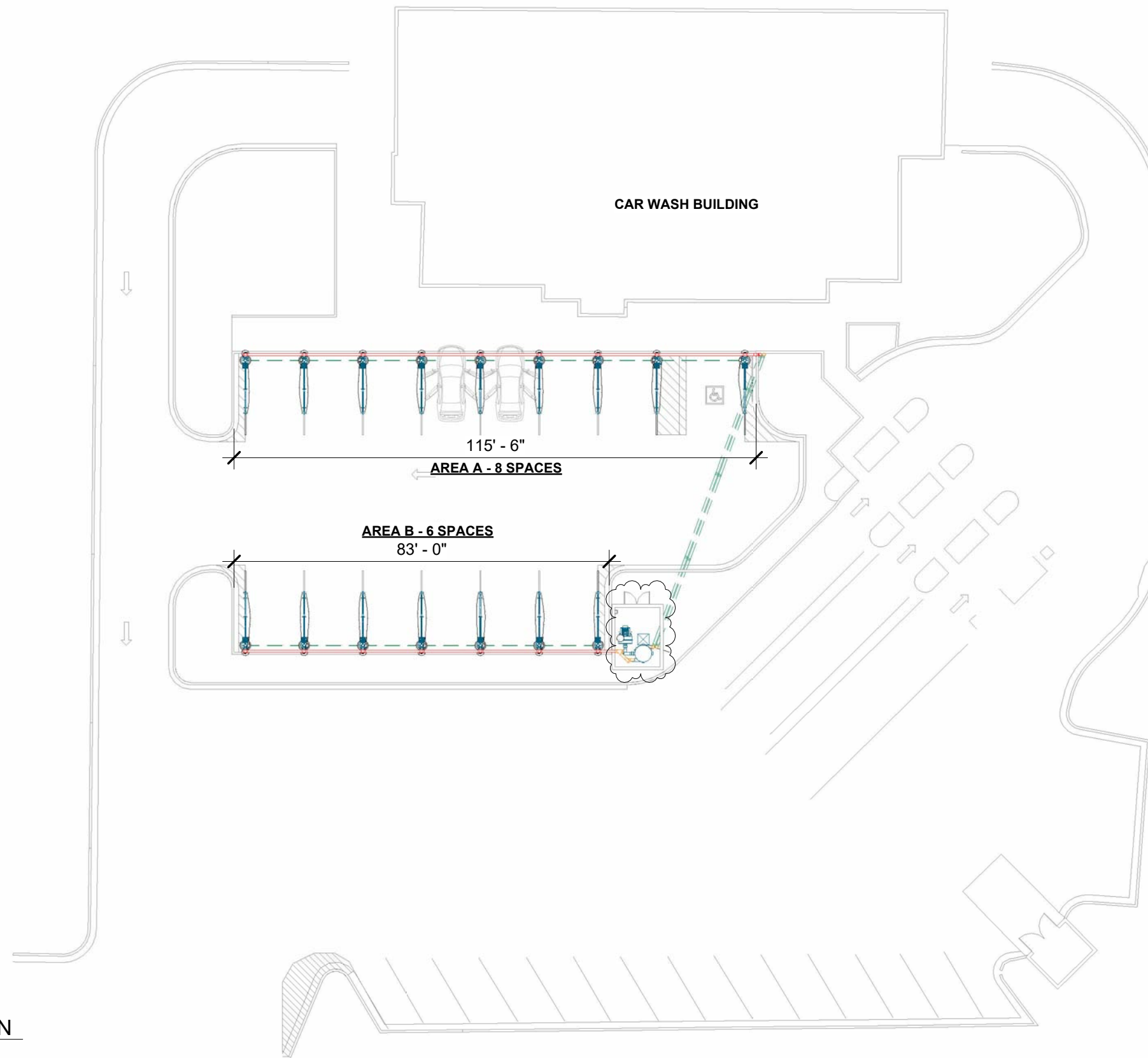
ES&S

DESIGNED BY: BFC  
DRAWN BY: BFC  
DATE: 2-22-2022  
CHECKED BY: KLC

MISTER CAR WASH  
SITE IMPROVEMENTS  
387 EAST 123000 SOUTH  
DRAPER, UT

C-101  
SITE PLAN  
PROJECT #  
22-131





**CONSTRUCTION NOTES**

GENERAL NOTES:

- a. ALL DIMENSIONS TO BE FIELD VERIFIED BY OWNER
- b. IF VACUUM EQUIPMENT IS ENCLOSED WITH ROOF/CEILING, REFER TO VENTILATION REQUIREMENTS UNDER EQUIPMENT WARRANTY INFORMATION
- c. PIER DESIGN AND REINFORCEMENT FOR CONCEPTUAL USE ONLY. CONSULT STRUCTURAL ENGINEER IN YOUR AREA FOR SPECIFIC DESIGN CRITERIA.
- d. COMPLY WITH ALL STATE/ COUNTY BUILDING CODES IN YOUR AREA

EQUIPMENT & MATERIAL:

- a. RUN COMPRESSED AIR TO AIR COMPRESSOR LOCATION (BY OTHERS)
- b. WALL PENETRATION: CORE DRILLING MAY BE REQUIRED FIELD VERIFY HEIGHT
- c. **10'Lx10'Wx4"H MINIMUM FLAT AND LEVEL CONCRETE FLOOR SPACE REQUIRED FOR VACUUM EQUIPMENT VERIFY SEPARATOR WILL FIT THROUGH DOOR (60" CLEAR OPENING WIDTH RECOMMENDED)**

VACUUM & PLUMBING:

- a. SUPPORT SCHEDULE 40 PVC OVERHEAD DRY/WET VACUUM PIPE EVERY 6' MAXIMUM; USE UNISTRUT & CLAMP OR OTHER SUPPORT (PROVIDED BY OTHERS)
- b. ALL FITTINGS TO BE 'DWV'

NOTE: EQUIPMENT ENCLOSURE ADJUSTED TO ACCOMMODATE POWER EQUIPMENT.

1 OVERALL SITE PLAN



1350 HI-TECH DRIVE  
SHERIDAN, WY 82801  
PHONE: (307) 675-1982  
EMAIL: vacinfo@ncswash.com  
WEB: www.vacutechllc.com

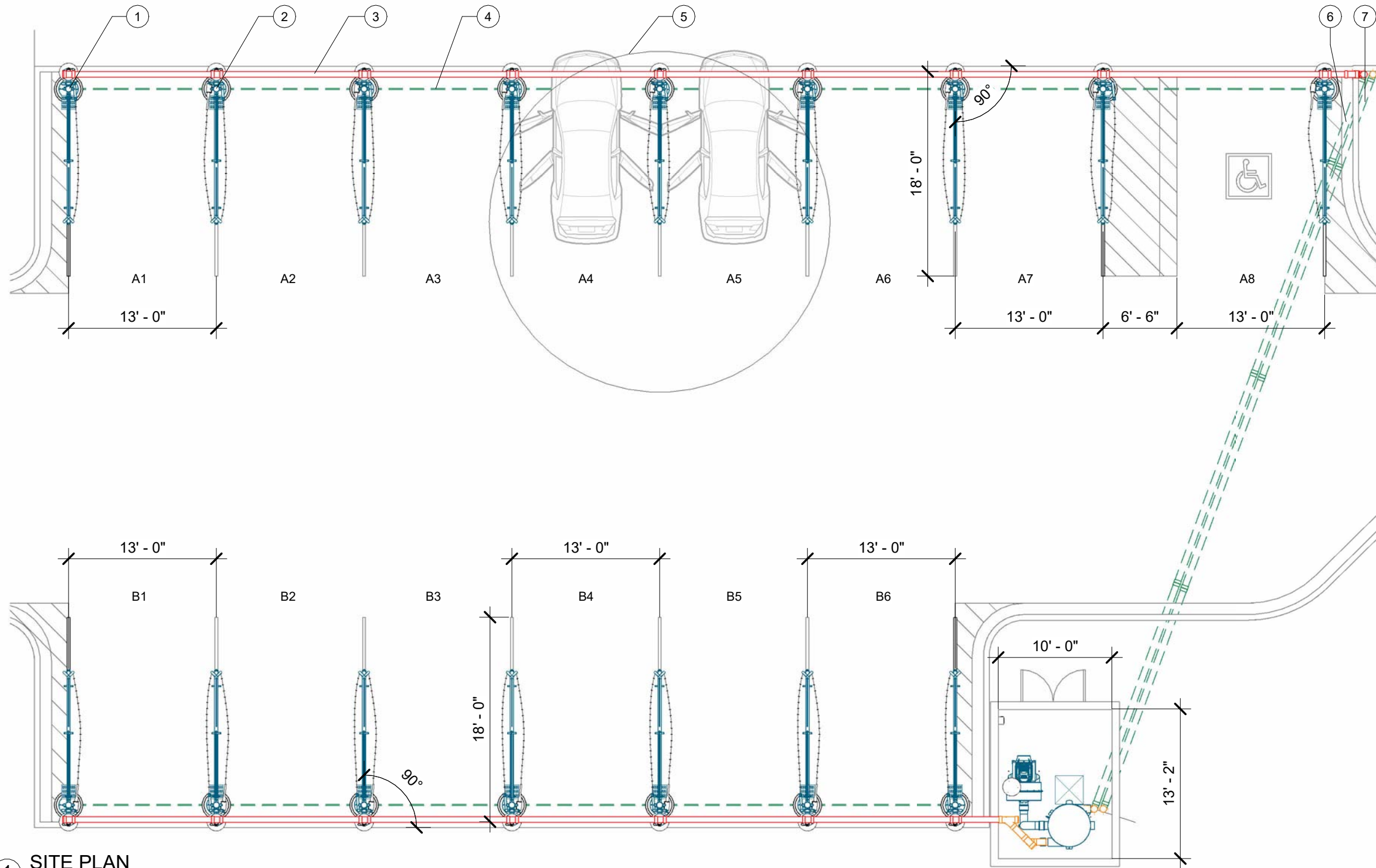
# MISTER CAR WASH

387 EAST 12300 SOUTH  
DRAPER, UTAH 84202

#	Revision	By	Chk	Date
1	ENGINEERING REDLINES	AV	ML	3/14/23

OVERALL SITE PLAN		V101
Project Number	234621	
Date	2/10/23	
Drawn By	ML	
Checked By	TD	

3/14/2023 12:30:16 PM



SITE PLAN	
ITEM	DESCRIPTION
1	SINGLE USER MISTER CAR WASH ARCH AT ENDS OF VACUUM SPACES
2	DUAL USER MISTER CAR WASH ARCH BETWEEN VACUUM SPACES
3	6" OVERHEAD ALUMINUM VACUUM TUBE BETWEEN ARCHES
4	BURIED COMPRESSED AIR LINE (BY OTHERS)
5	15' HOSE REACH
6	6" SCH. 40 SOLID CORE PVC BURIED PRIMARY VACUUM PIPE (BY OTHERS)
7	6" SCH. 40 SOLID CORE PVC BURIED BACK-UP VACUUM PIPE (BY OTHERS)

**VACUUM EQUIPMENT**

QTY	ITEM
1	75HP T5 DIRECT DRIVE TURBINE (HIGH ELEVATION)
1	8" T5 OUTDOOR EXHAUST SILENCER
1	45x96 FILTER SEPARATOR

**VACUUM AREA A**

QTY	ITEM
2	SINGLE USER MISTER CARWASH ARCH WITH REAR AIR
7	DUAL USER MISTER CARWASH ARCH WITH REAR AIR
8	CREVICE VACUUM TOOL & HOLDER
8	SONNY'S VACUUM TOOL & HOLDER
2	ADA MOUNTING BRACKET
16	1-1/2"x15' RAPIDLOCK HOSE
9	AIR NOZZLE & HOSE
9	AIR TOOL HANGER
9	13" MAT RACK W/ DOOR PROTECTION
9	WASTE RECEPTACLE

**VACUUM AREA B**

QTY	ITEM
2	SINGLE USER MISTER CARWASH ARCH WITH REAR AIR
5	DUAL USER MISTER CARWASH ARCH WITH REAR AIR
6	CREVICE VACUUM TOOL & HOLDER
6	SONNY'S VACUUM TOOL & HOLDER
6	1-1/2"x15' RAPIDLOCK HOSE
7	AIR NOZZLE & HOSE
7	AIR TOOL HANGER
7	13" MAT RACK W/ DOOR PROTECTION
7	WASTE RECEPTACLE

1 SITE PLAN



1350 HI-TECH DRIVE  
SHERIDAN, WY 82801  
PHONE: (307) 675-1982  
EMAIL: vacinfo@ncswash.com  
WEB: www.vacutechllc.com

# MISTER CAR WASH

387 EAST 12300 SOUTH  
DRAPER, UTAH 84202

#	Revision	By	Chk	Date
1	ENGINEERING REDLINES	AV	ML	3/14/23

VACUUM SITE PLAN		V111
Project Number	234621	
Date	2/10/23	
Drawn By	ML	
Checked By	TD	

3/14/2023 12:30:20 PM

**EXHIBIT G**  
**LANDSCAPE PLANS**



2-8" Lakeside River Rock



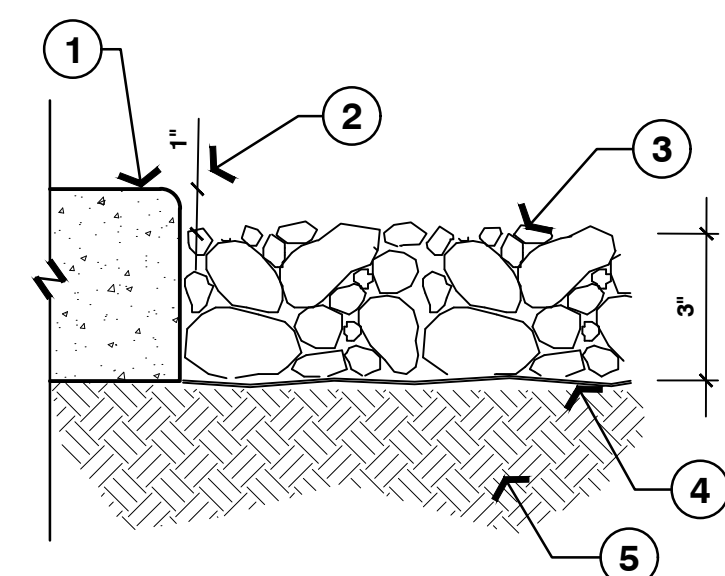
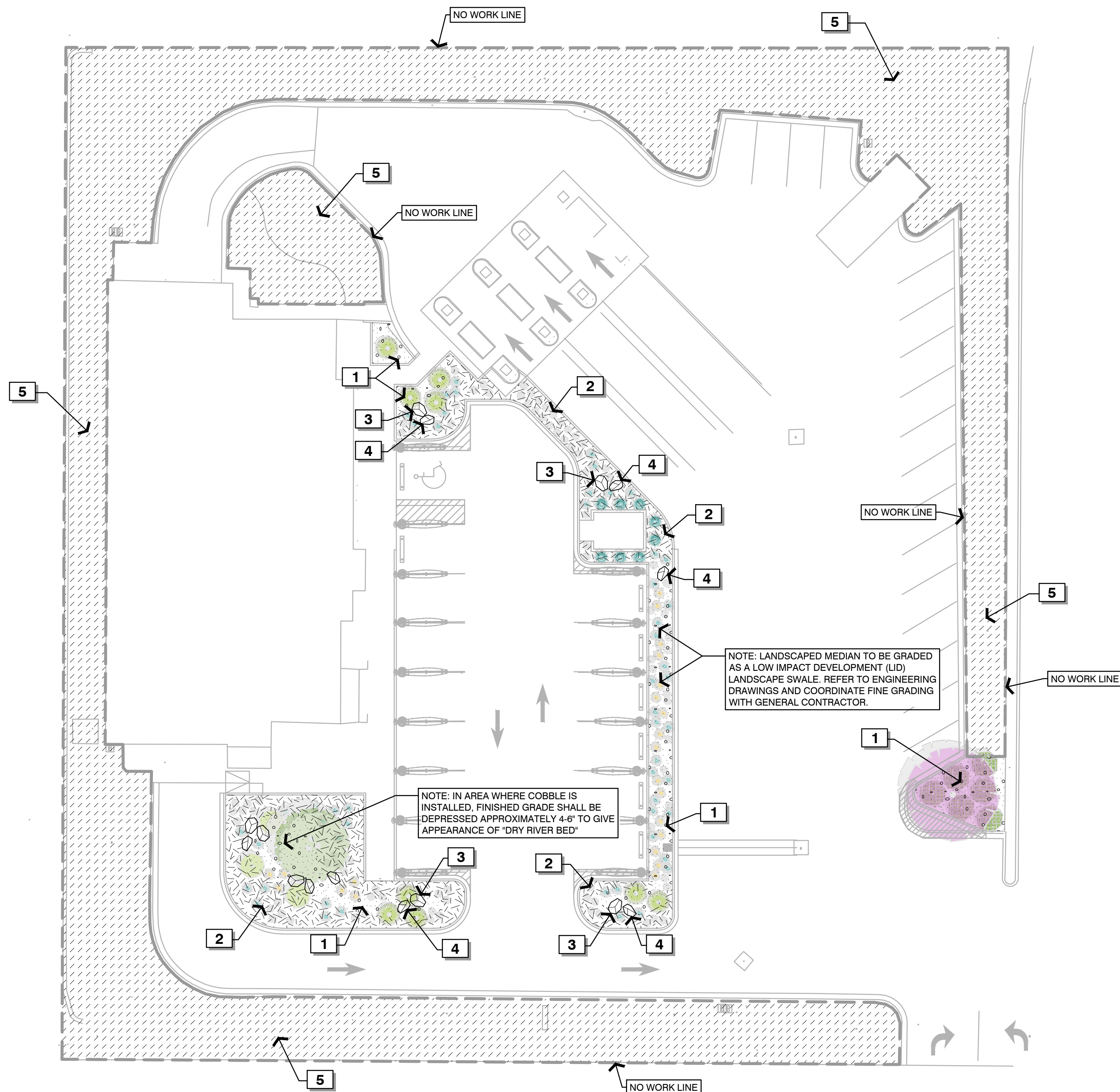
2" Glacier Mist Crushed



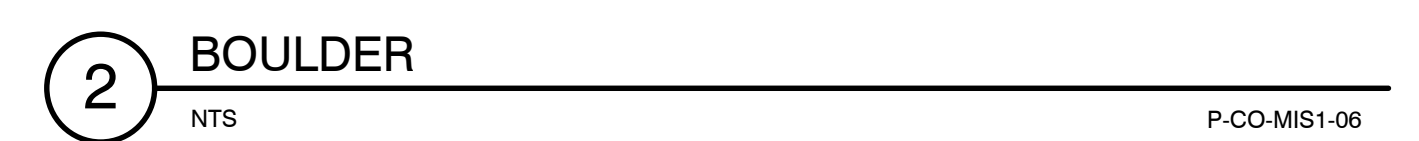
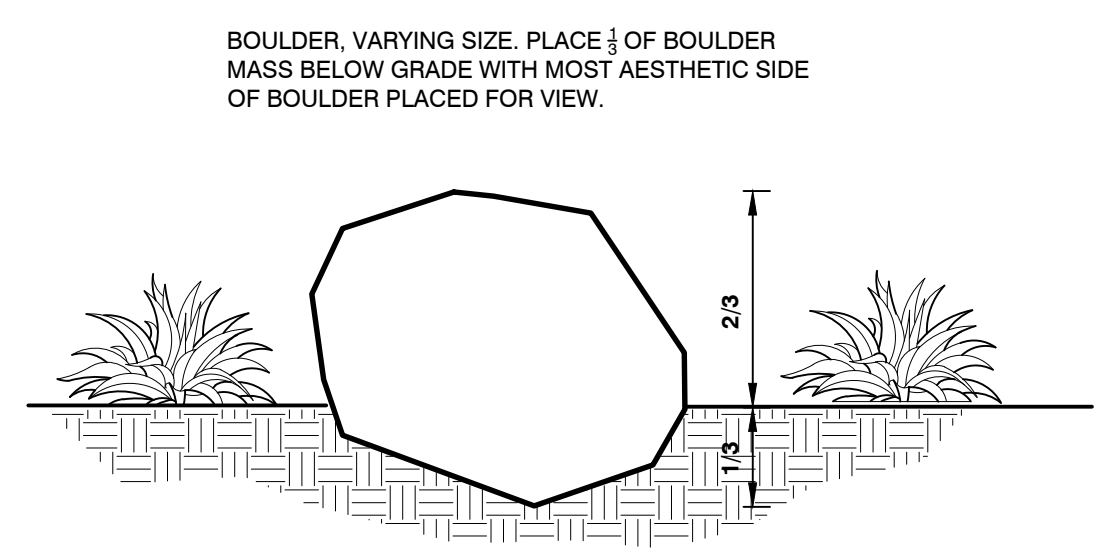
2-4" Frozen Yogurt Boulder

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY	DETAIL
	1 2-8" LAKESIDE RIVER ROCK, AS AVAILABLE FROM ROCK UTAH, OR APPROVED EQUAL. INSTALLED A MINIMUM OF 3" THICK. ROCK INSTALLED OVER DEWITT 40Z WEED FABRIC.	1,483 SF	1/L1
	2 2" GLACIER MIST CRUSHED, AS AVAILABLE FROM ROCK UTAH, OR APPROVED EQUAL. INSTALLED A MINIMUM OF 3" THICK. CRUSHED ROCK INSTALLED OVER DEWITT 40Z WEED FABRIC.	1,919 SF	1/L1
	3 3-4' FROZEN YOGURT BOULDER, AS AVAILABLE FROM ROCK UTAH, OR APPROVED EQUAL	7	2/L1
	4 2-3' FROZEN YOGURT BOULDER, AS AVAILABLE FROM ROCK UTAH, OR APPROVED EQUAL.	8	2/L1
	5 EXISTING LANDSCAPE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION OF SITE IMPROVEMENTS.		



- 1 ADJACENT HARDSCAPE
- 2 COBBLE OR ROCK MULCH TO BE BELOW ADJACENT HARDSCAPE
- 3 COBBLE PLACED OVER WEED BARRIER FABRIC, OVER SUBGRADE
- 4 WEED BARRIER FABRIC
- 5 SUBGRADE TO BE SMOOTH TO ALLOW FOR EVEN APPLICATION OF COBBLE



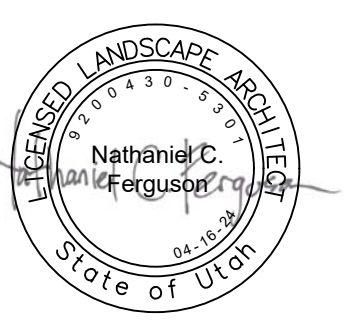
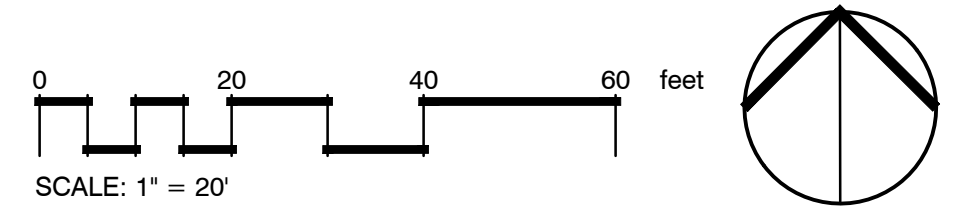
**MATERIALS NOTES**

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN LANDSCAPED AREAS. COORDINATE WITH GENERAL CONTRACTOR FOR ROUGH GRADING ELEVATIONS. ALLOW FOR STONE MULCH 3" DEEP.
2. CONTRACTOR TO INSTALL DEWITT 20 YEAR WOVEN POLYPROPYLENE (OR APPROVED SIMILAR) WEED FABRIC AND APPLY PRE-EMERGENT HERBICIDE IN ALL MULCH AREAS.

**FINE GRADING NOTES**

1. CONTRACTOR SHALL FINE GRADE AREAS PRIOR TO PLANTING. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITES AND ENSURE POSITIVE DRAINAGE.
2. THE CONTRACTOR SHALL MEET EXISTING GRADES UNIFORMLY WITH A SMOOTH TRANSITION AT PROJECT BOUNDARIES.
3. LANDFORMS, MOUNDS, AND SWALES SHALL BE GRADED TO A SMOOTH, FLOWING, ROUNDED SURFACE PROVIDING POSITIVE DRAINAGE AND VISUAL LANDFORM CONTINUITY.

NOTE: BASE DRAWING COMPRISING EXISTING AND PROPOSED ELEMENTS OF THE PROJECT ARE PROVIDED BY ENGINEER. FOR GRAPHIC PURPOSES THE BASE DRAWINGS/INFORMATION IS SHOWN AS SCREENED/GRAYED OUT. PLEASE REFER THE THE CIVIL DRAWINGS FOR CLARIFICATION OF BASE INFORMATION.



MISTER CAR WASH  
SITE IMPROVEMENTS  
387 EAST 12300 SOUTH  
DRAPER, UTAH

LANDSCAPE  
PLAN

REV	DATE	DESCRIPTION

DESIGNED BY: NF  
DRAWN: NF  
CHECKED: NF/RS  
ISSUE DATE: 04-16-24  
PROJ #: ES1004

Sheet Name:  
**LANDSCAPE MATERIALS PLAN**

Sheet Number:  
**L1**



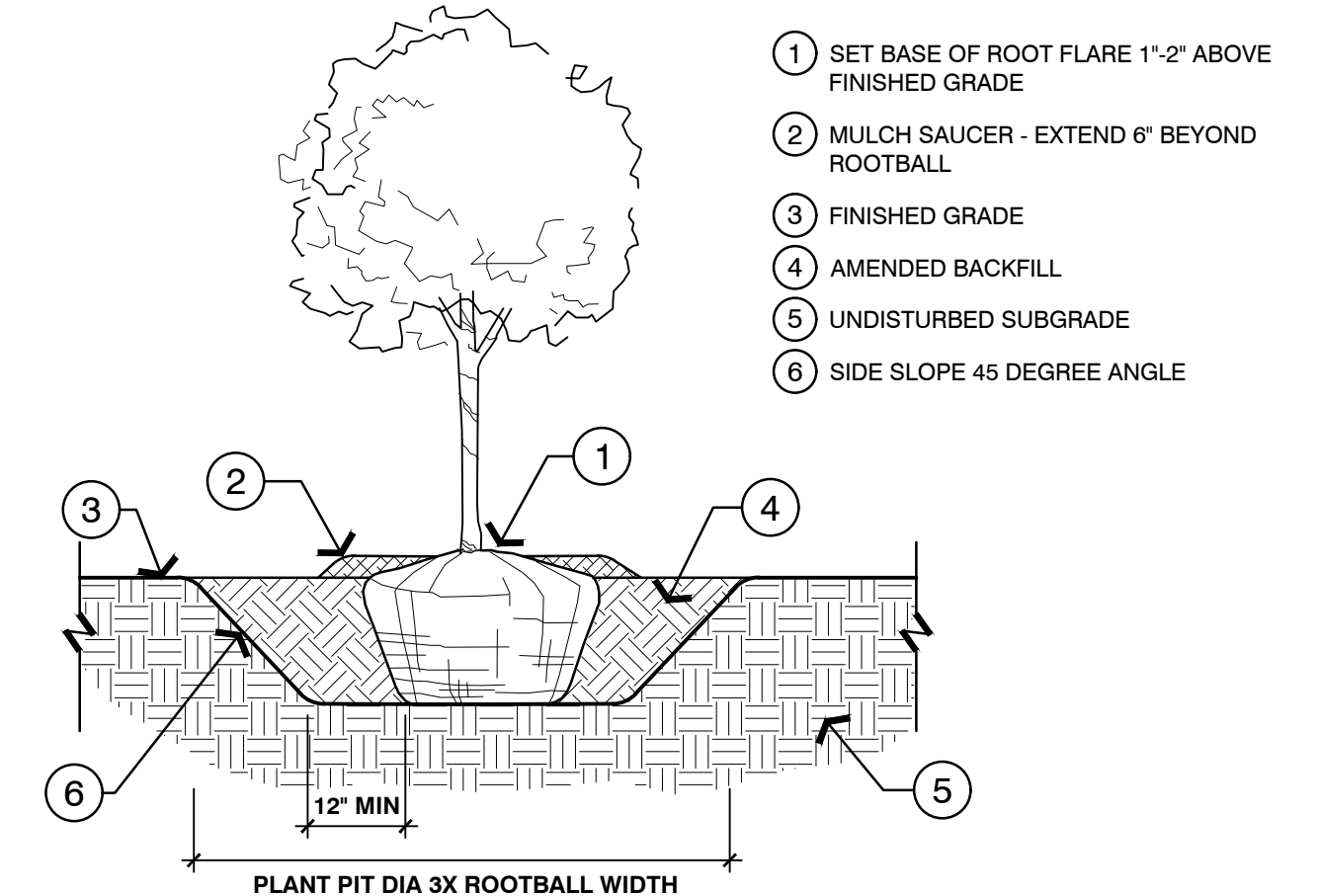
Know what's below. Call before you dig.

LANDSCAPE TABLE	AREA S.F.	AREA %
TOTAL SITE AREA	64,033.4	
LANDSCAPE AREA	18,340.0	28.6%
NEW LANDSCAPE	3,586.0	5.6%

NEW LANDSCAPE AREA, 3,586 S.F.	REQUIRED S.F. OF PLANT COVERAGE OF NEW LANDSCAPE	PROVIDED S.F. OF PLANT COVERAGE OF NEW LANDSCAPE
50% PLANT COVERAGE (NOT INCLUDING TREES) REQUIRED IN FIRST 2 YRS	1,793 S.F.	64% OR 2,302.7 S.F.
75% PLANT COVERAGE (NOT INCLUDING TREES) REQUIRED IN FIRST 10 YRS	2,689.5 S.F.	79.3% OR 2,845.9 S.F.

### PLANT SCHEDULE

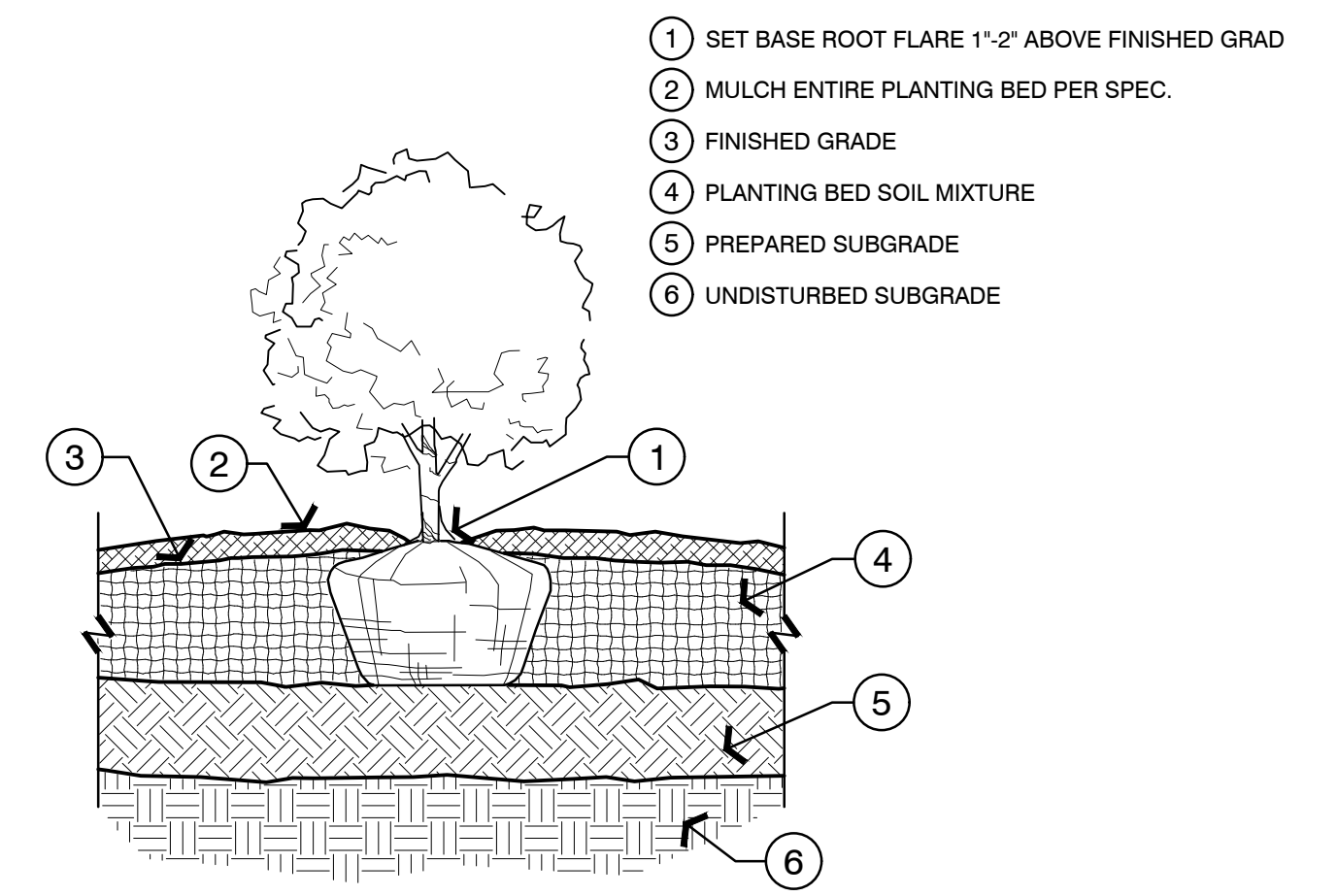
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
<b>TREES</b>							
	ACE GRI	ACER GRISEUM	PAPERBARK MAPLE	25 GAL CLUMP	POT	1	1/L2
	CED ESP	CEDRUS DEODARA 'EMERALD SPREADER'	EMERALD SPREADER DEODAR CEDAR	30" WIDE	B&B	3	1/L2
	CER CAN	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL.		1	1/L2
<b>SHRUBS</b>							
	CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL.		22	3/L2
	HEL SEM	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	3 GAL.		53	3/L2
	HEM APA	HEMEROCALLIS X 'CHICAGO APACHE'	CHICAGO APACHE DAYLILY	1 GAL.		87	3/L2
	JUN BUF	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	5 GAL.		9	2/L2
	JUN B15	JUNIPERUS SCOPULORUM 'BLUE ARROW'	BLUE ARROW JUNIPER	5' HT.		8	2/L2
	RHU GRO	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL.		6	



NOTE:  
 1. AFTER PLACEMENT, CUT AND REMOVE ALL LACING WIRE BASKETS FROM ROOTBALL. REMOVE BURLAP FROM SIDES OF ROOTBALL, RETAIN ON BOTTOM.  
 2. END WEED BARRIER FABRIC AND MULCH 4" FROM TREE TRUNK, MAINTAIN 8" DIA. SPACE AROUND TRUNK TO AVOID GIRDLING TRUNK WITH WEED FABRIC AND MULCH.

### 1 TREE PLANTING

1/2" = 1'-0" P.CO-MIS1-01

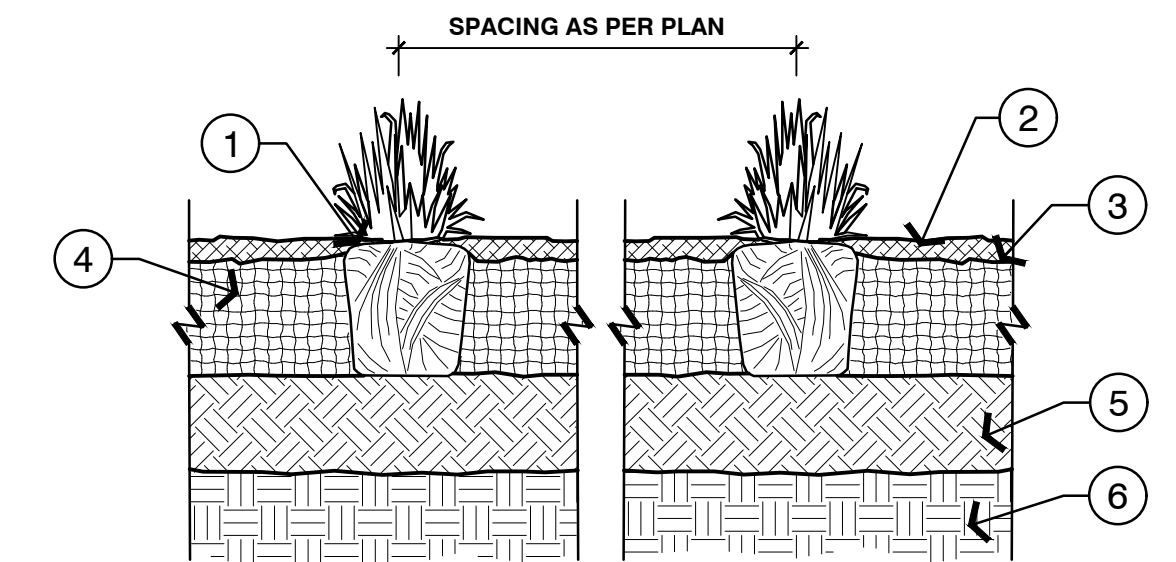


NOTE:  
 1. CONTAINER SHRUBS: CUT AND COMPLETELY REMOVE PLASTIC CONTAINER AT TIME OF PLANTING. GENTLY TEASE ROOTS AROUND ROOTBALL. DO NOT BREAK OR TWIST ROOTS.

### 2 TYPICAL SHRUB PLANTING

1 1/2" = 1'-0" P.CO-MIS1-04

- 1 PLANT SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO EXISTING GRADE IN THE NURSERY
- 2 MULCH, AS PER PLAN
- 3 FINISH GRADE
- 4 PLANTING BED SOIL MIXTURE
- 5 AMENDED SUBGRADE
- 6 SUBGRADE



### 3 TYPICAL GRASS AND PERENNIAL PLANTING

1 1/2" = 1'-0" P.CO-MIS1-05

### PLANTING NOTES

- PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED (WHEN IN LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS (NOT POT BOUND); A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS; AND BE FREE OF BRUISES, CUTS, OR OTHER ABNORMALITIES.
- QUANTITIES SHOWN ON PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY.
- NO PLANT SUBSTITUTIONS OR TYPE, SIZE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE ARCHITECT, OWNER AND/OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN.
- PROTECTED PLANT MATERIAL THAT IS DESTROYED OR DIES DURING CONSTRUCTION PERIOD WILL BE REPLACED WITH A PLANT OF THE SAME SIZE AND TYPE BY THE RESPONSIBLE PARTY.
- PLANT MATERIALS BEST SIDE SHALL BE ALIGNED TO THE WALKS, PEDESTRIAN AREAS, ROADS, AND PARKING AREAS PLANTINGS AT MATURITY SHALL MAINTAIN 6'-0" CLEARANCE AROUND FIRE HYDRANTS AND FIRE SUPPRESSION DEVICES.
- PLANTINGS SHALL NOT INTERFERE WITH TRAFFIC CONTROL SIGNS AND SHALL MAINTAIN A MAXIMUM HEIGHT OF 2'-6" WITHIN SIGHT DISTANCE TRIANGLES.
- TREES SHALL MAINTAIN A MINIMUM 6'-0" CLEARANCE FROM CITY WATER OR SEWER LINES. PLANTINGS SHALL MAINTAIN A SUFFICIENT DISTANCE TO SANITARY AND STORM SEWER MANHOLES TO ALLOW ACCESS BY MAINTENANCE VEHICLES.
- SHRUBS SHALL BE INSTALLED FROM BACK OF CURB, EDGE OF WALK, OR EDGE OF PAVING A MINIMUM OF 2' AT MATURE SIZE.
- THE IRRIGATION SYSTEM IS TO BE FULLY OPERATIONAL AND EFFECTIVE PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 2 DAYS PRIOR TO WHEN PLANTS WILL BE LAID OUT SO THAT THE LANDSCAPE ARCHITECT MAY ADJUST THEM ONSITE AS REQUIRED.
- IF TREES AND PLANTS ARE TO BE STOCKPILED ONSITE, A TEMPORARY IRRIGATION SYSTEM ON AN AUTOMATIC TIMER MUST BE SET UP PRIOR TO THEIR DELIVERY.
- CONTRACTOR SHALL IMPORT AND OR AMEND AND TILL EXISTING SOILS TO A DEPTH OF AT LEAST 6" AND OBTAIN A NEUTRAL PH WITH APPROXIMATELY 2% MINIMUM ORGANIC CONTENT. SOIL CONDITIONS IN EXISTING LANDSCAPED AREAS HAVE AN AVERAGE SOIL PH OF 7.3 AND ARE A MEDIUM LOAMY SOIL WITH ADEQUATE SUITABILITY FOR THE SELECTED PLANTS AND NO AMENDMENTS TO EXISTING LANDSCAPE SOILS ARE REQUIRED. IT IS REQUIRED THAT THE CONTRACTOR HAVE SOIL SAMPLES OF THE NEW LANDSCAPED AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR PLANTING SUITABILITY AND SHALL FOLLOW LAB RECOMMENDATIONS FOR FERTILIZATION BEFORE PLANTING. SOIL SAMPLES RESULTS FOR THE NEW LANDSCAPED AREAS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT PRIOR TO PLANTING OF TREES AND SHRUBS.
- DO NOT STAKE TREES UNLESS THEY ARE PLACED ON 30% SLOPE OR GREATER, UNLESS OTHERWISE IDENTIFIED ON LANDSCAPE PLAN.
- CONTRACTOR INSTALLING PLANTS WILL BE RESPONSIBLE FOR THEM FOR ONE YEAR AFTER INSTALLATION.

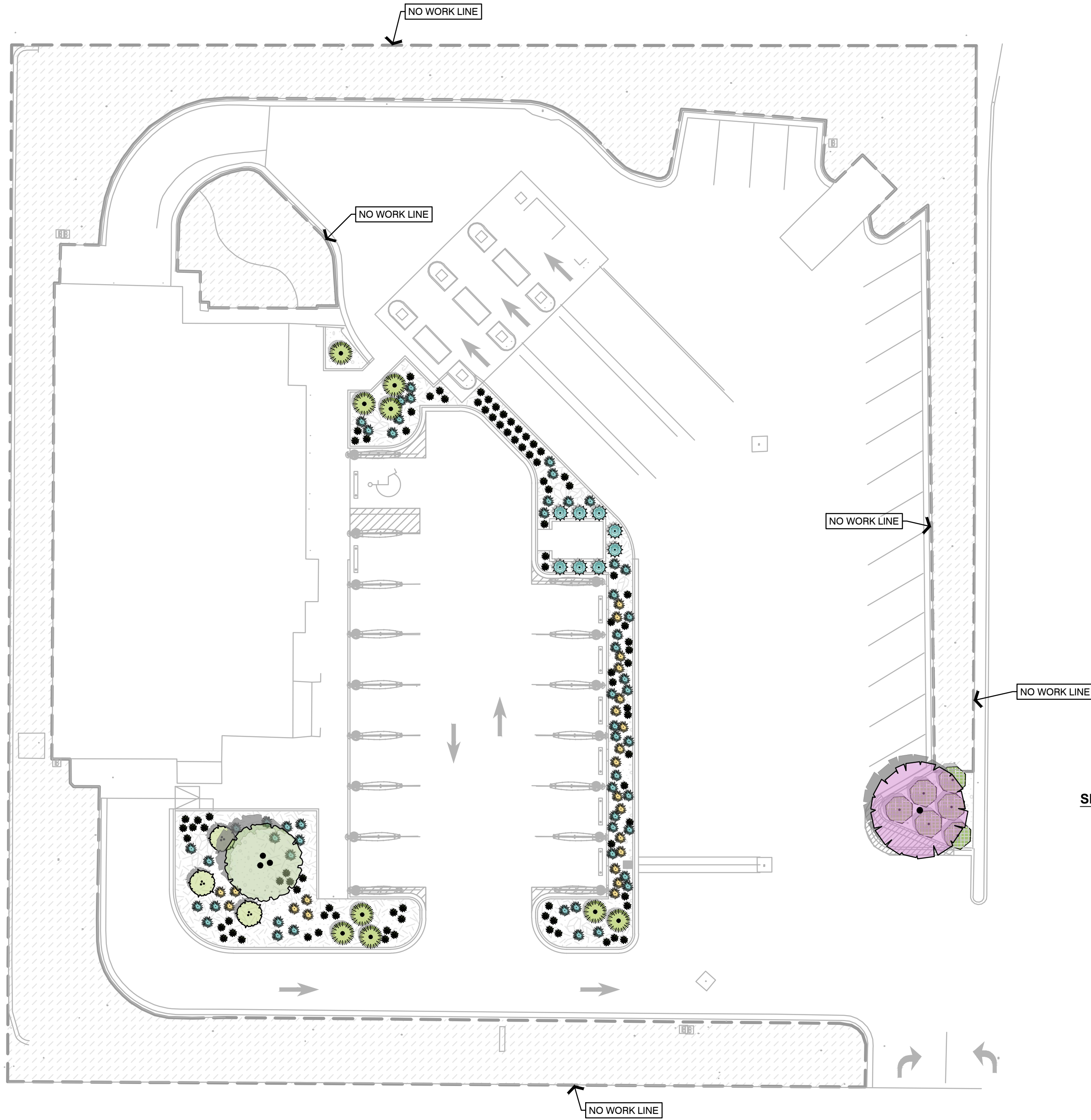
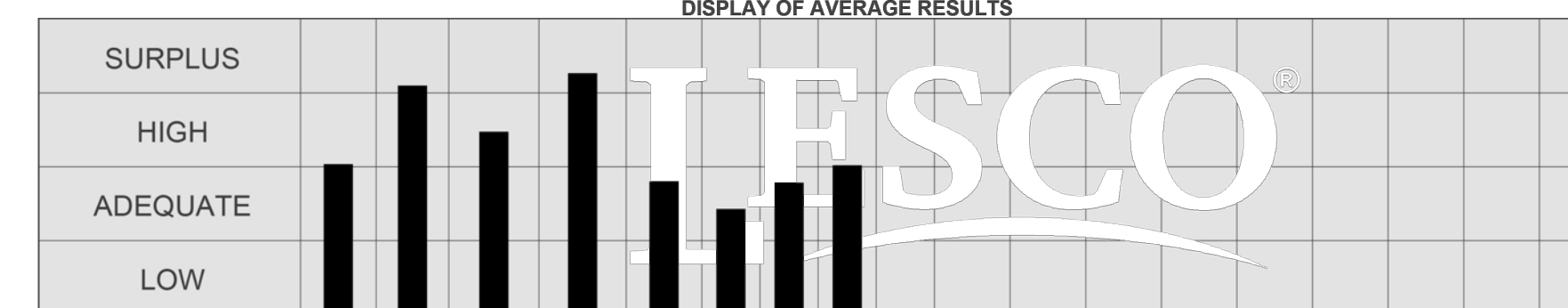
### SITE EXISTING LANDSCAPED AREAS SOIL TEST RESULTS FOR REFERENCE

REPORT TO: 11372  
 SITBONS LANDSCAPE  
 11623 S STATE ST  
 DRAPER, UT 84020

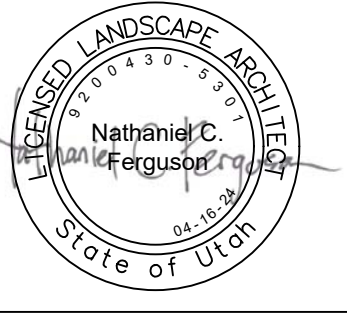
TURF AND ORNAMENTAL  
 SOIL TEST AND RECOMMENDATION REPORT  
 SUBMITTED BY: P&S LANDSCAPE

Spectrum Analytic  
 1087 Jamison Road NW  
 Washington Court House, OH 43084-8740  
 www.spectrumanalytic.com

Line Number	RESULTS OF ANALYSIS										CALCULATED VALUES										RESULTS OF ANALYSIS									
	Soil	Buffer	pH	P	K	Ca	Mg	CEC	% Base Saturation	Na	S	B	Cu	Fe	Mn	Zn	Na	Soluble Salts	O.M.	%										
1	H52324		7.3	92	722	7902	1088	19.6	4.0	76	20																			
2																														
3																														
4																														
5																														
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7																														
8																														
9																														
10																														
11	AVERAGE RESULTS																													



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MISTER CAR WASH  
 SITE IMPROVEMENTS  
 387 EAST 12300 SOUTH  
 DRAPER, UTAH

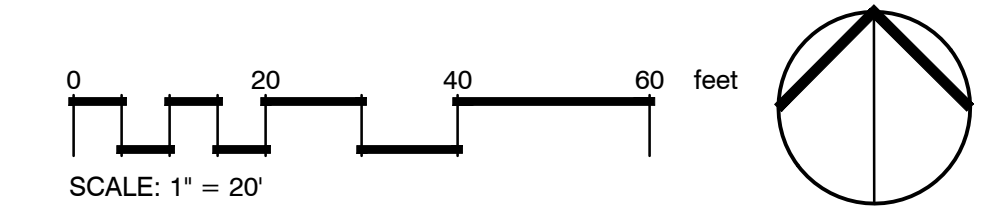
### LANDSCAPE PLAN

REV	DATE	DESCRIPTION

DESIGNED BY: NF  
 DRAWN: NF  
 CHECKED: NF/RS  
 ISSUE DATE: 04-16-24  
 PROJ #: ES1004

### LANDSCAPE PLANTING PLAN

Sheet Number:



REV	DATE	DESCRIPTION

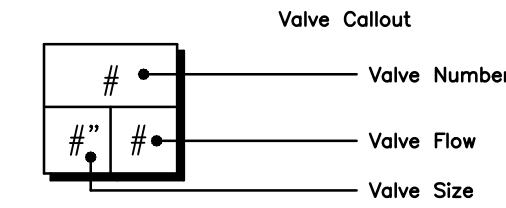
DESIGNED BY: NF  
DRAWN: NF  
CHECKED: NF/RS  
ISSUE DATE: 04-16-24  
PROJ #: ES1004

Sheet Name:  
**LANDSCAPE  
IRRIGATION  
PLAN**

Sheet Number:

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
■	RAIN BIRD XCZPGA-100-PRF 1" MEDIUM FLOW, 3-15 GPM, WITH 1IN. PGA VALVE AND 1IN. PRESSURE REGULATING RBY FILTER AND 40PSI PRESSURE REGULATOR. IT IS 2 WIRE COMPATIBLE RESIDENTIAL CONTROL ZONE KIT.	1	1/L3
⊙	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6IN. DRIP BOX.	7	2/L3
⊠	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 20PC emitters (1 assigned to each 1 gal. plant) 20PC emitters (2 assigned to each 3 gal. plant) 20PC emitters (2 assigned to each 5 gal. plant) 20PC emitters (6 assigned to each 25 gal Clump plant) 20PC emitters (6 assigned to each 30" Wide plant)	3,176 S.F.	3/L3
XX	POINT OF CONNECTION FOR POC OF NEW SYSTEM, TIE INTO EXISTING IRRIGATION MAINLINE. IRRIGATION DESIGN ASSUMES MINIMUM OF 1.5" EXISTING MAINLINE WITH 70 PSI OF STATIC PRESSURE. CONTRACTOR TO CONTACT IRRIGATION DESIGNER IF POC DOES NOT MEET THESE PERAMITORS BEFORE PROCEEDING WITH IRRIGATION INSTALLATION.	1	
—	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1/2"	277.4 L.F.	
—	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 3/4"	40.9 L.F.	
—	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1"	8.3 L.F.	
—	IRRIGATION MAINLINE: PVC SCHEDULE 40 1"	22.6 L.F.	
—	PIPE SLEEVE: PVC CLASS 200 SDR 21	57.1 L.F.	



**IRRIGATION NOTES**

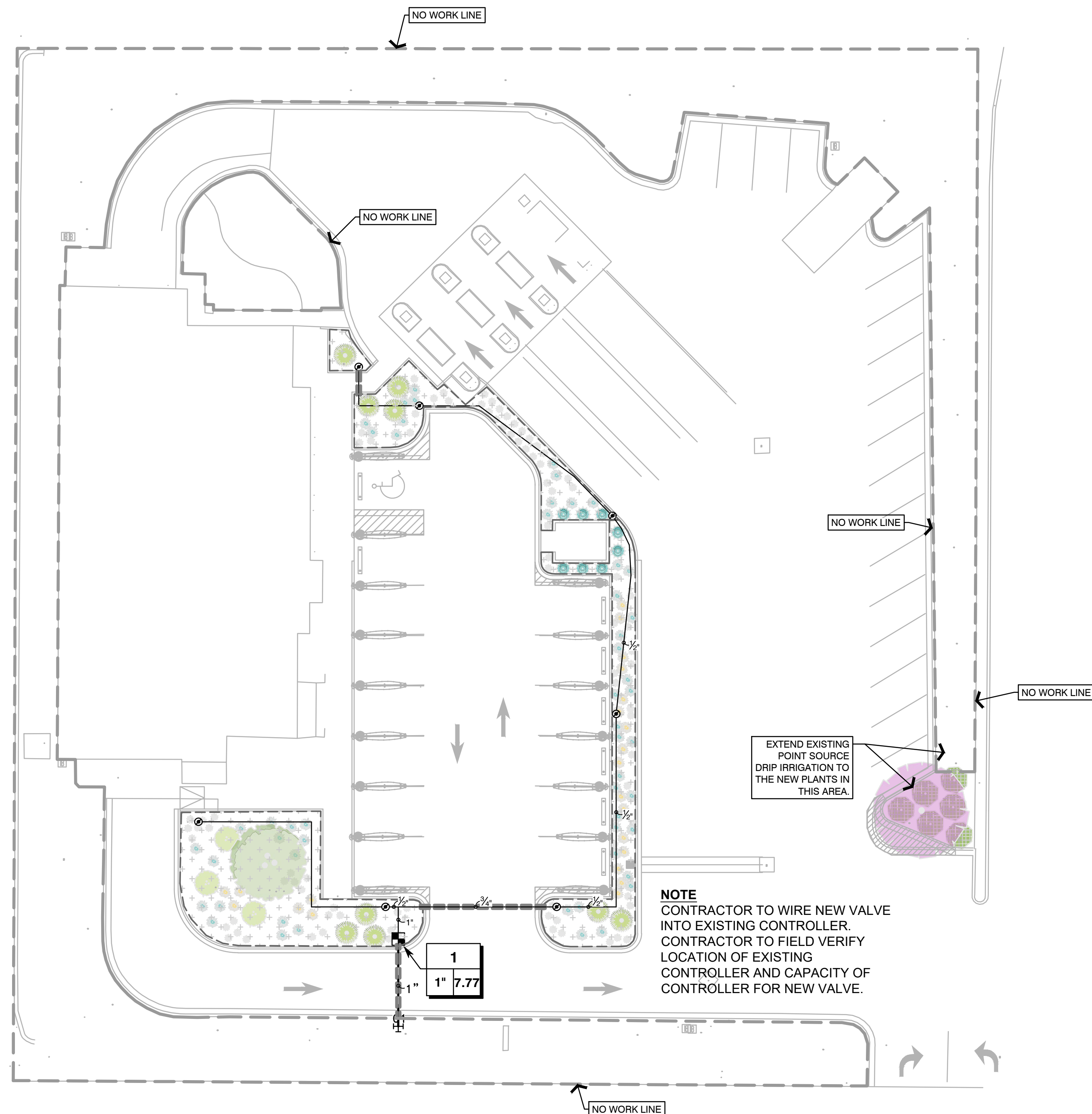
- CONTRACTOR SHALL BE RESPONSIBLE FOR IRRIGATION COVERAGE TO PLANT MATERIAL.
- THERE SHALL BE NO IRRIGATION SUBSTITUTIONS OR TYPE, SIZE, OR QUANTITY DEVIATIONS FROM THE IRRIGATION PLANS WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH THE WORK OF OTHER CONTRACTORS AND PROTECT THE WORK OF OTHER CONTRACTORS/TRADES. CONTRACTOR IS RESPONSIBLE FOR DAMAGES RESULTING FROM HIS ACTIONS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SLEEVING WITH OTHER CONTRACTORS PRIOR TO CONSTRUCTION OF PAVEMENT, WALKS, AND OTHER HARDSCAPE FEATURES.
- CONTRACTOR SHALL NOTIFY BLUE STAKES THREE DAYS PRIOR TO COMMENCEMENT OF WORK TO VERIFY LOCATION OF UNDERGROUND UTILITIES PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FIELD LOCATE EXISTING IRRIGATION COMPONENTS TO BE RETAINED, SALVAGED, OR RELOCATED.
- IF IT BECOMES NECESSARY TO RELOCATE EXISTING SPRINKLER HEADS, VALVES, PIPING, ETC. DUE TO CONSTRUCTION INTERFERENCE, THE CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING (IN KIND OR AS APPROVED BY THE LANDSCAPE ARCHITECT) EXISTING IRRIGATION EQUIPMENT DISTURBED AND/OR DAMAGED DURING CONSTRUCTION AND WILL ENSURE THE EXISTING SYSTEM IS FULLY OPERATIONAL AND PROVIDES HEAD TO HEAD COVER.
- THREADED JOINTS SHALL BE WRAPPED WITH TEFLON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TEFLON ON METAL PIPE THREADS ONLY.
- VALVE COVERS, VAULT BOXES, ETC. SHALL BE PLACED SO THE EDGES ARE PARALLEL OR PERPENDICULAR TO ADJACENT HARD EDGES. TOP OF BOXES ARE TO BE FLUSH WITH GRADE. TOP SURFACE OF BOXES SHALL BE INSTALLED SO THAT A SMOOTH SURFACE IS CREATED IN RELATION TO EXISTING GRADES.
- FLUSHING OF LINES PRIOR TO INSTALLATION AND EMITTERS IS REQUIRED.
- NO PVC PIPING SHALL BE LOCATED UNDER TREE ROOTBALLS.
- CONTRACTOR SHALL COMPLETE INITIAL PUNCH LIST ITEMS AND OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO SUBSTANTIAL COMPLETION.
- PRIOR TO THE ACCEPTANCE OF IRRIGATION SYSTEM BY THE LANDSCAPE ARCHITECT, A PERSON QUALIFIED TO REPRESENT THE IRRIGATION CONTRACTOR SHALL DEMONSTRATE THE SYSTEM AND PROVE ITS PERFORMANCE, AND WORK SHALL HAVE BEEN COMPLETED, TESTED, ADJUSTED, AND PLACED IN OPERATION.

**IRRIGATION NOTES**

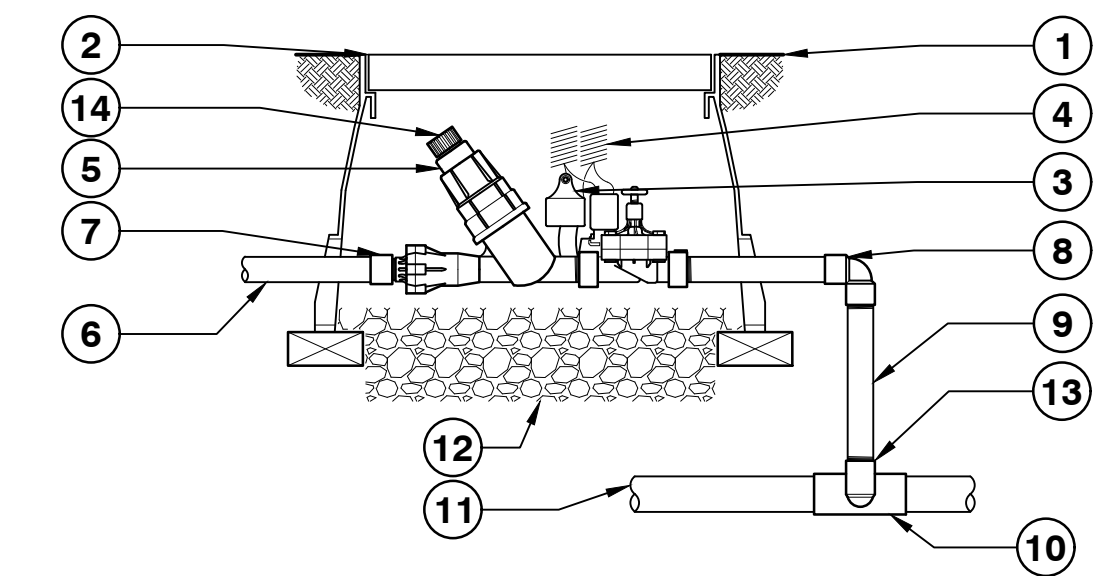
THIS IRRIGATION SYSTEM WAS DESIGNED AT 70 (WORKING) PSI AT THE POINT OF CONNECTION. IF THESE MINIMUM REQUIREMENTS CAN NOT BE MET, PLEASE CONTACT THE LANDSCAPE ARCHITECT.

THIS PLAN IS DRAWN FOR GRAPHIC CLARITY ONLY. PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

COORDINATE ADDITIONAL VALVE ADDITION TO THE EXISTING IRRIGATION CONTROLLER WITH OWNER'S FACILITY OPERATIONS PERSONNEL AND/OR THE GENERAL CONTRACTOR.

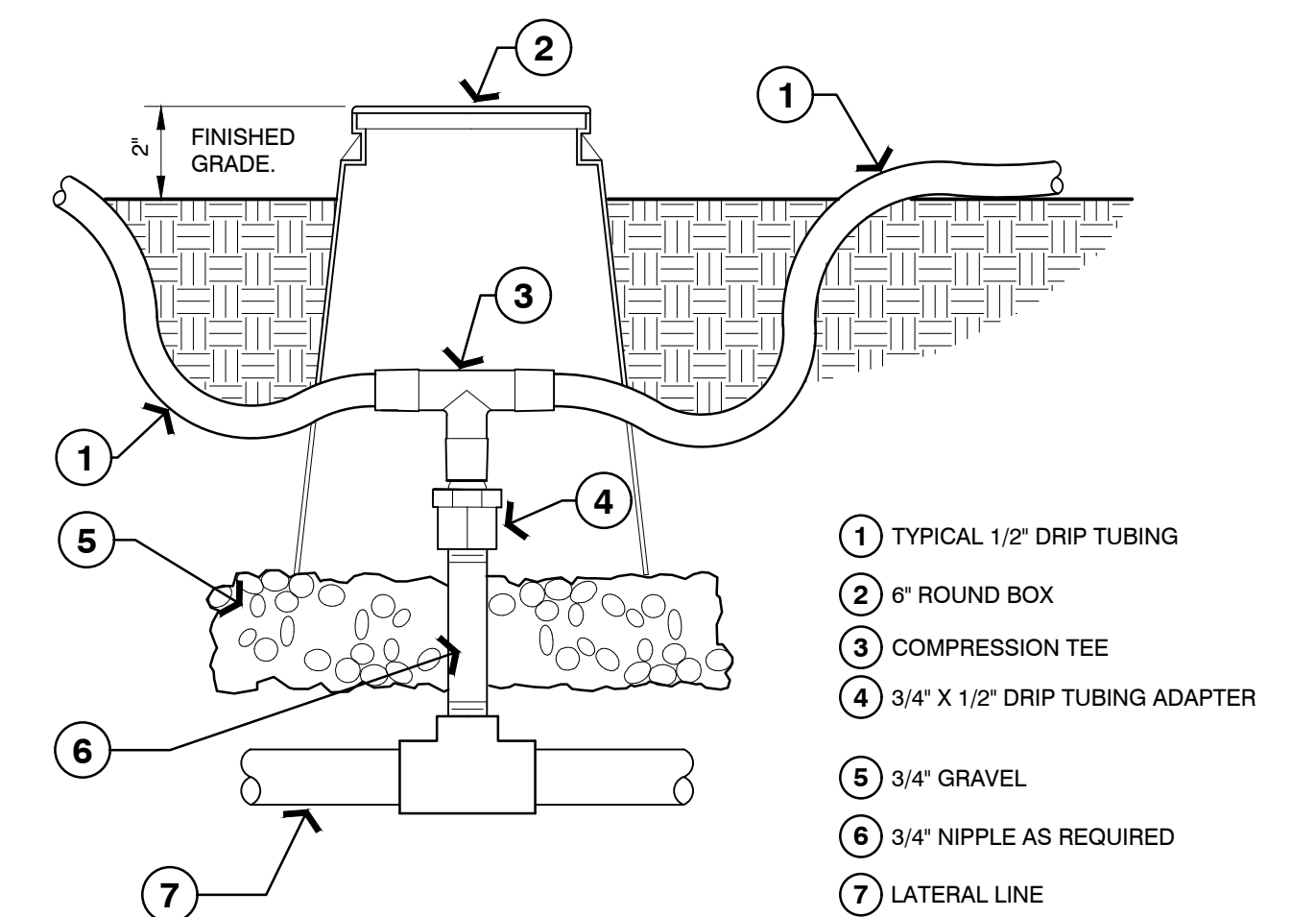


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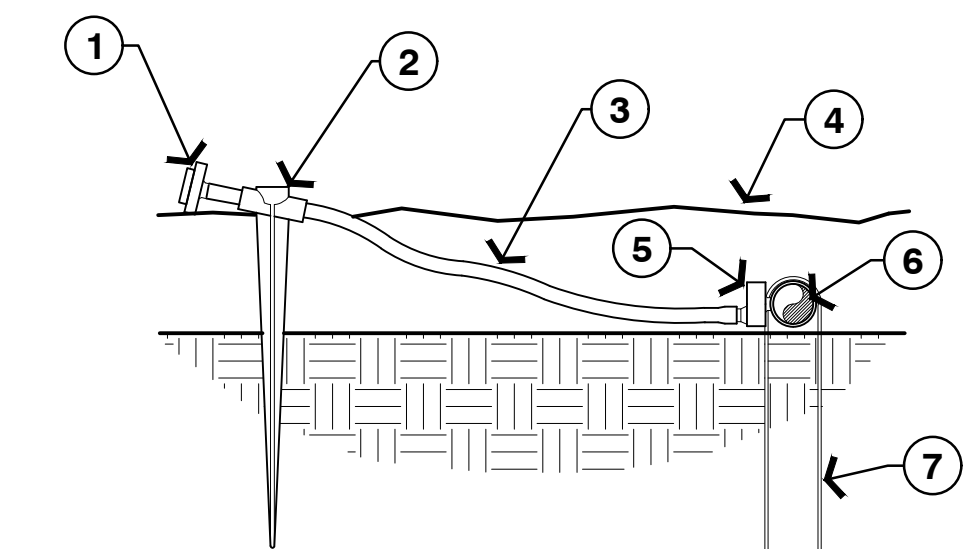


- |   |   |
|---|---|
| 1 FINISH GRADE                                  | 8 PVC SCH 80 ELL                          |
| 2 LANDSCAPE PRODUCTS JUMBO VALVE BOX WITH COVER | 9 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)  |
| 3 VALVE ID TAG                                  | 10 PVC SCH 80 TEE OR ELL                  |
| 4 30-INCH LENGTH OF COILED WIRE                 | 11 PVC MAINLINE                           |
| 5 DRIP VALVE ASSEMBLY PER IRRIGATION PLAN       | 12 3' MINIMUM DEPTH OF 3/4" WASHED GRAVEL |
| 6 PVC SUPPLY HEADER TO DRIPLINE                 | 13 PVC SCH 80 STREET ELL                  |
| 7 PVC SCH 80 FEMALE ADAPTER OR REDUCER          | 14 MANUAL FLUSH POINT                     |

**1 DRIP ZONE CONTROL VALVE**  
NOT TO SCALE P-CO-MIS1-08

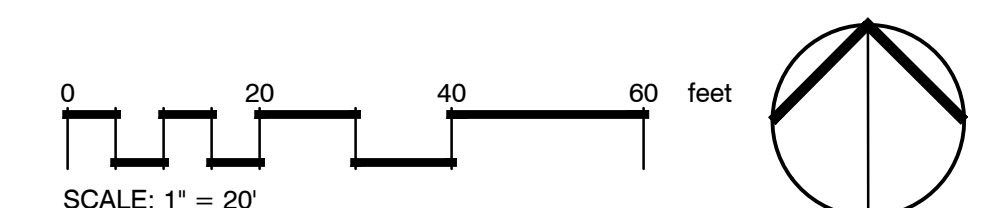


**2 PVC TO DRIP TUBE CONNECTION**  
3" = 1'-0" P-CO-MIS1-10

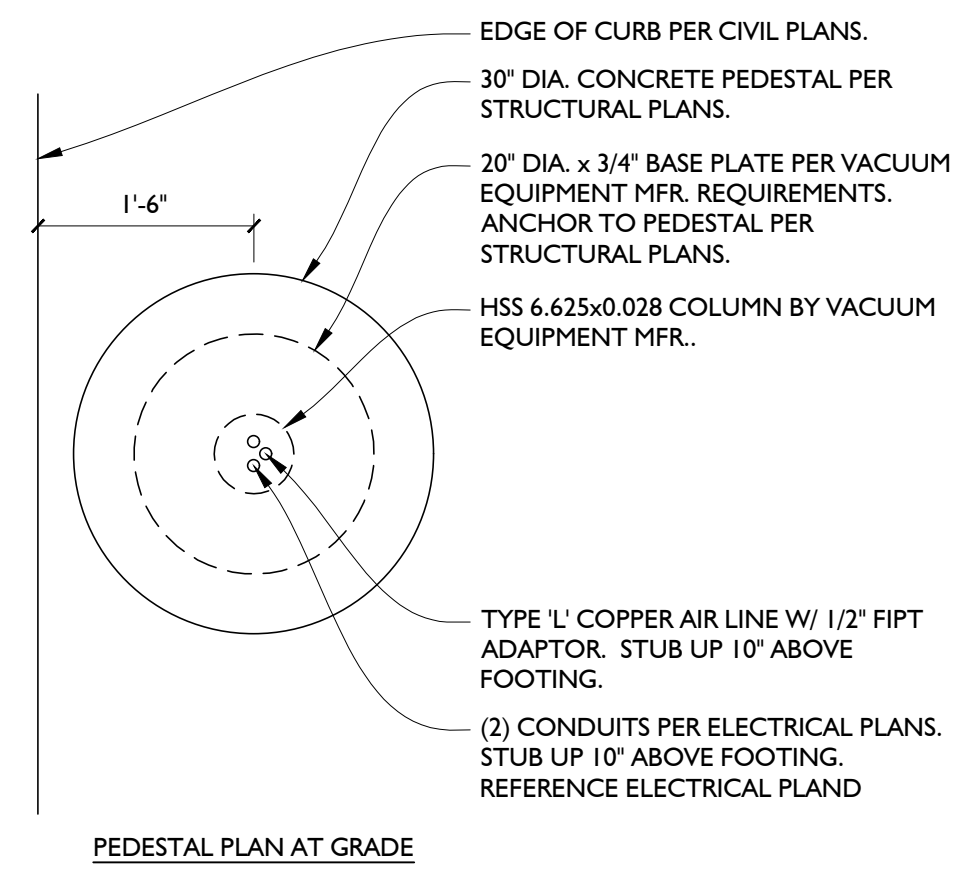
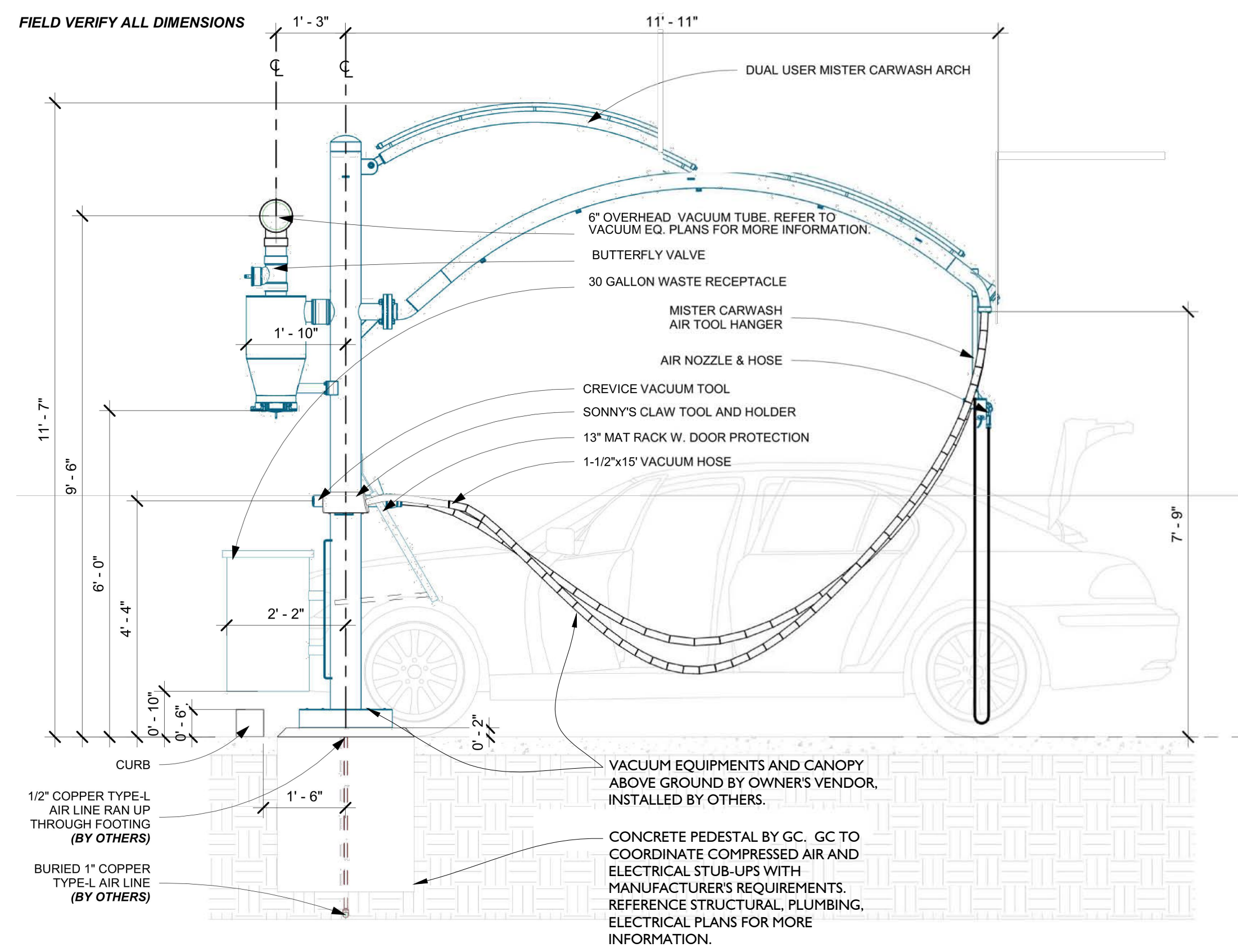


- |   |
|---|
| 1 DIFFUSER BUG CAP  |
| 2 1/4" TUBING STAKE   |
| 3 1/4" DISTRIBUTION TUBING, 48" MAX LENGTH  |
| 4 TOP OF MULCH  |
| 5 SELF-PIERCING BARB DRIP EMITTERS, EMITTER TYPE AND NUMBER OF EMITTERS PER PLANT AS SPECIFIED IN IRRIGATION PLAN |
| 6 1/2" POLY DRIP TUBING   |
| 7 TIE-DOWN STAKE  |

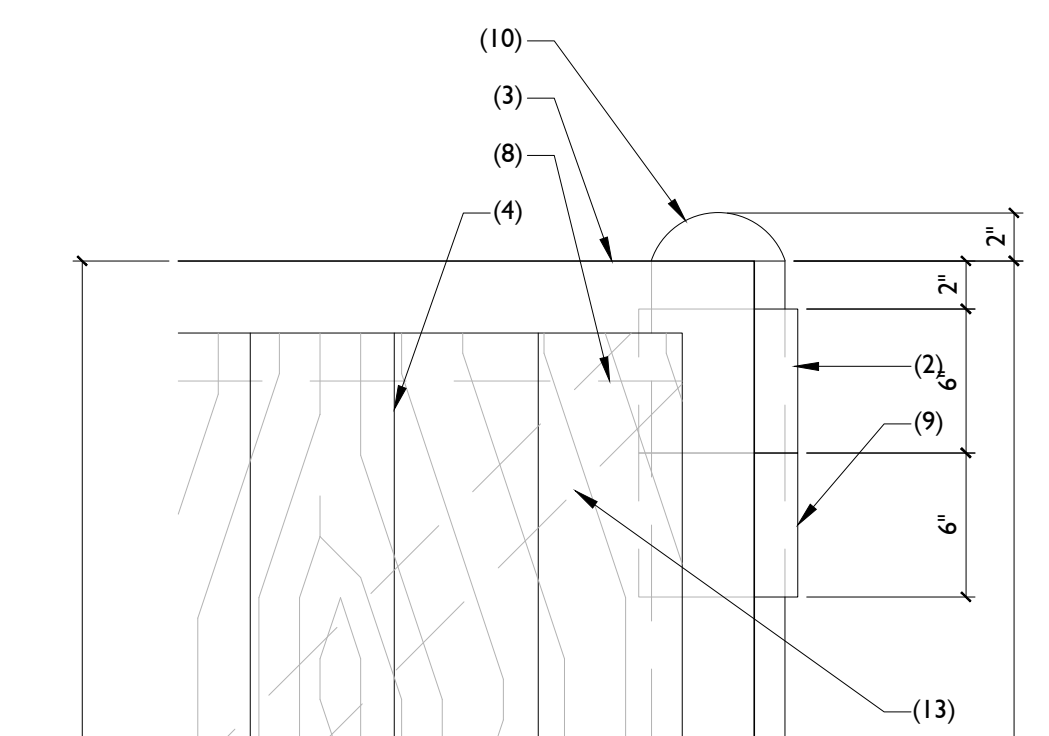
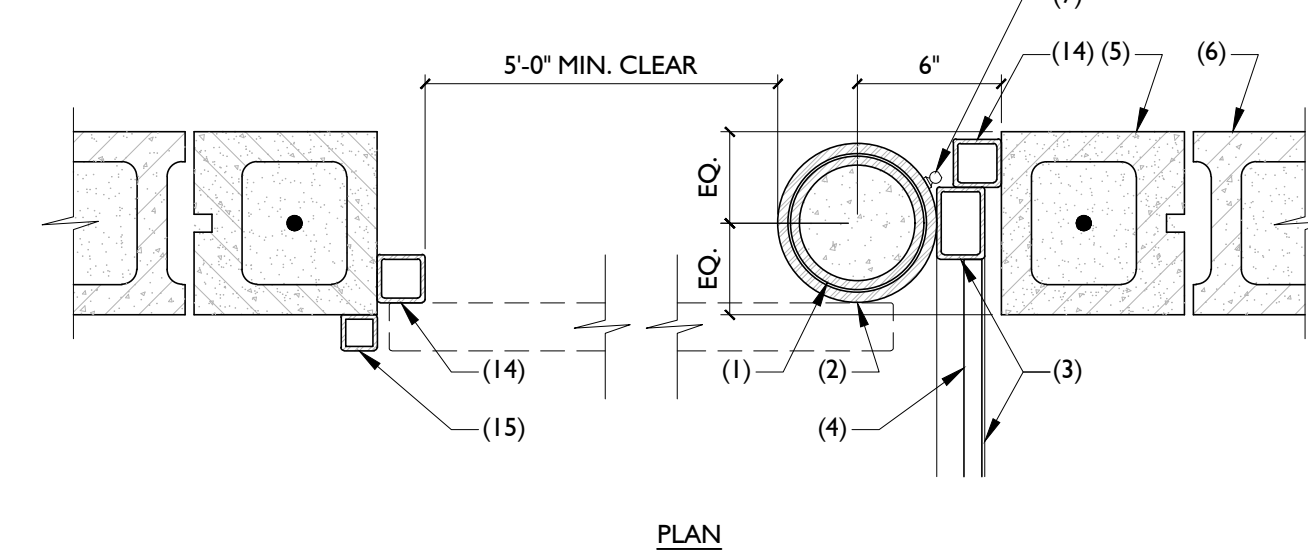
**3 DRIP EMITTER AT 1/4" TUBING**  
3" = 1'-0" P-CO-MIS1-13



**EXHIBIT H  
ELEVATIONS**

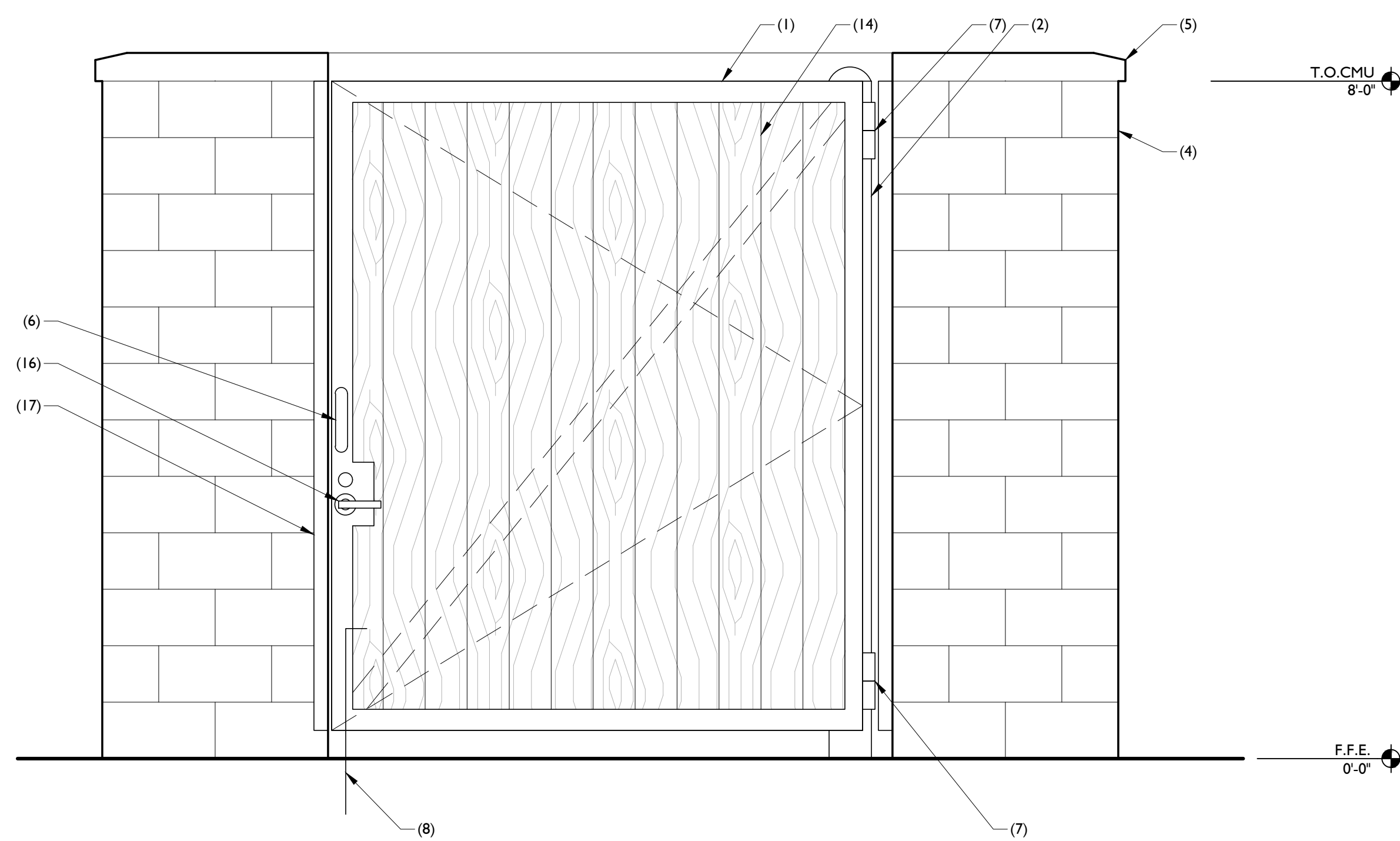


- KEYNOTES**
- 3\"/>
  - 6\"/>
  - HSS 3\"/>
  - 1\"/>
  - REINFORCED CMU END BLOCK.
  - 8\"/>
  - GREASE FITTING AT EACH HINGE POINT.
  - 2\"/>
  - 6\"/>
  - SLOPE GROUT FILL AT TOP OF POST TO DRAIN. PAINT TO MATCH POST.
  - CONCRETE FOOTING.
  - CONCRETE SLAB / HARDSCAPE WHERE OCCURS.
  - HSS 3\"/>
  - HSS 2\"/>
  - HSS 1 1/2\"/>
- NOTE:**  
REFERENCE CIVIL PLANS FOR MORE INFORMATION.

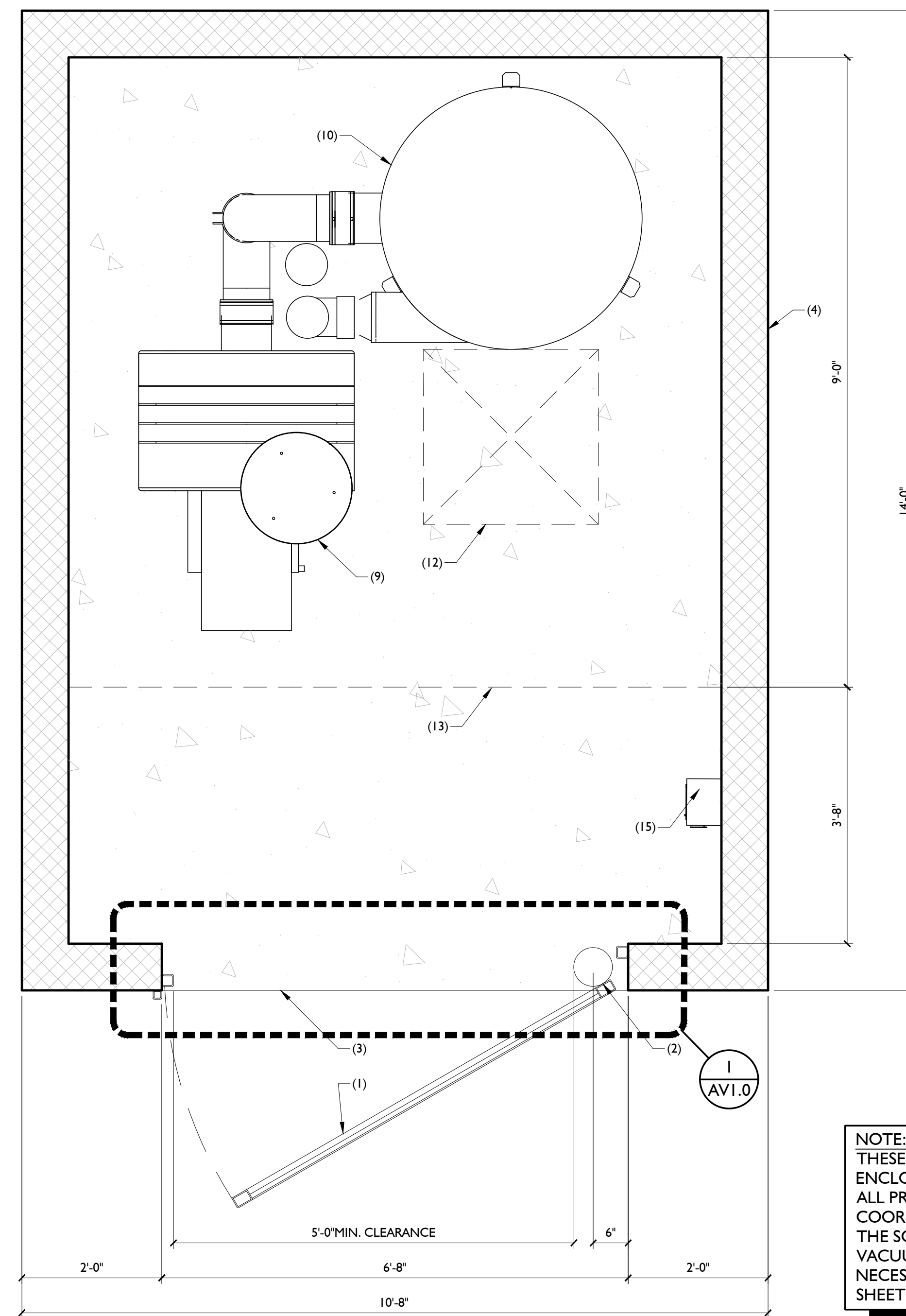


**4 VACUUM PEDESTAL AND CANOPY**  
NOT TO SCALE

- KEYNOTES**
- VACUUM ENCLOSURE GATE: 2\"/>
  - 5\"/>
  - 6\"/>
  - 8\"/>
  - 4\"/>
  - STEEL HANDLE WELDED TO GATE FRAME.
  - 6\"/>
  - 6\"/>
  - TURBINE ASSEMBLY PER VACUUM EQUIPMENT MANUFACTURER.
  - VACUUM FILTER SEPARATOR. SIZE VARIES.
  - 30\"/>
  - VACUUM EQUIPMENT SPACE REQUIREMENT. VERIFY WITH MANUFACTURER.
  - 1\"/>
  - DISCONNECT PER VACUUM EQUIPMENT MANUFACTURER. VERIFY EXACT LOCATION IN FIELD.
  - DOOR HANDLE AND DEAD BOLT PER DOORHARDWARE SET 6.
  - ENTRANCE LOCK: ND93PD X SPA 626 (SCH), FLUSH BOLT: FB319 626 (IVE); COORD.: COR-FL X MTG. BRKTS. 628 (IVE).
  - HSS 1 1/2\"/>



**GATE SIDE ELEVATION**



**PLAN**

**NOTE:**  
THESE ARE TYPICAL SITE DETAILS. VACUUM EQUIPMENT ENCLOSURE DETAILS ARE INTENDED FOR REFERENCE ONLY. ALL PROJECT SPECIFIC INFORMATION NEEDS TO BE COORDINATED WITH THE G.C., CIVIL ENGINEER, OWNER AND THE SOILS INVESTIGATION REPORT. CIVIL ENGINEER TO SHOW VACUUM EQUIPMENT ENCLOSURE LOCATION WITH ALL NECESSARY DIMENSIONS AND DETAILS ON THEIR RESPECTIVE SHEETS.

**COMPOSITE ELEVATION / SECTION**

**NOTE:**  
THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

**2 VACUUM EQUIPMENT ENCLOSURE**  
3/4\"/>

**1 VAC. ENCLOSURE GATE DETAIL**  
1 1/2\"/>

**VACUUM EQUIPMENT ENCLOSURE PLANS AND DETAILS**

**Mister**  
Mister Car Wash UT 0530  
DRAPER  
387 E. 12300 S  
Draper, UT 84020

711 East 9th Street  
Tulsa, OK 74103  
www.a23studios.com

**a.23 studios**

Project 22148  
Date 01.16.23  
Scale Noted  
Sheet

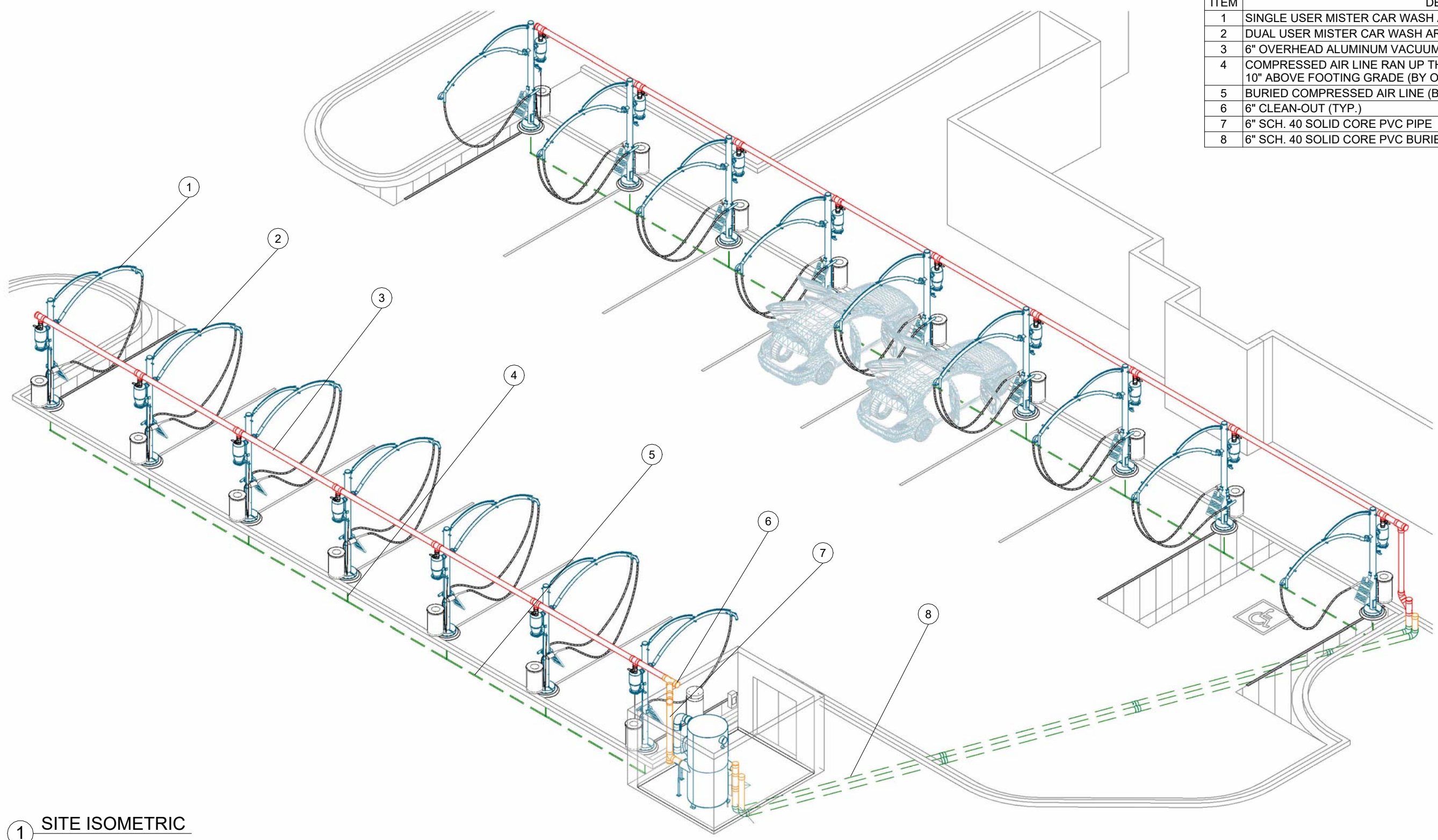
**AVI.0**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.  
*Burak Bakar*  
Typed or Printed Name: Burak Bakar  
Date: 01.16.23 License Number: 58440  
Expires 05.31.23

Revisions



SITE ISOMETRIC	
ITEM	DESCRIPTION
1	SINGLE USER MISTER CAR WASH ARCH AT ENDS OF VACUUM SPACES
2	DUAL USER MISTER CAR WASH ARCH BETWEEN VACUUM SPACES
3	6" OVERHEAD ALUMINUM VACUUM TUBE BETWEEN ARCHES
4	COMPRESSED AIR LINE RAN UP THROUGH FOOTING WITH 1/2" FIPT ADAPTER, 10" ABOVE FOOTING GRADE (BY OTHERS)
5	BURIED COMPRESSED AIR LINE (BY OTHERS)
6	6" CLEAN-OUT (TYP.)
7	6" SCH. 40 SOLID CORE PVC PIPE
8	6" SCH. 40 SOLID CORE PVC BURIED PRIMARY VACUUM PIPE (BY OTHERS)



1 SITE ISOMETRIC



1350 HI-TECH DRIVE  
 SHERIDAN, WY 82801  
 PHONE: (307) 675-1982  
 EMAIL: vacinfo@ncswash.com  
 WEB: www.vacutechllc.com

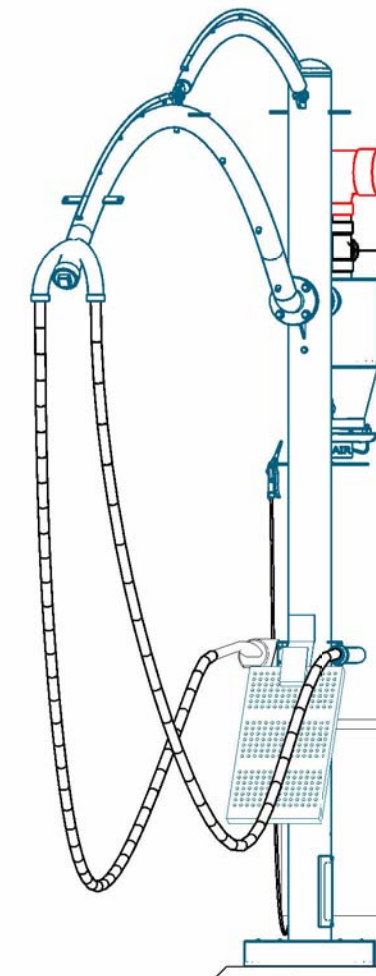
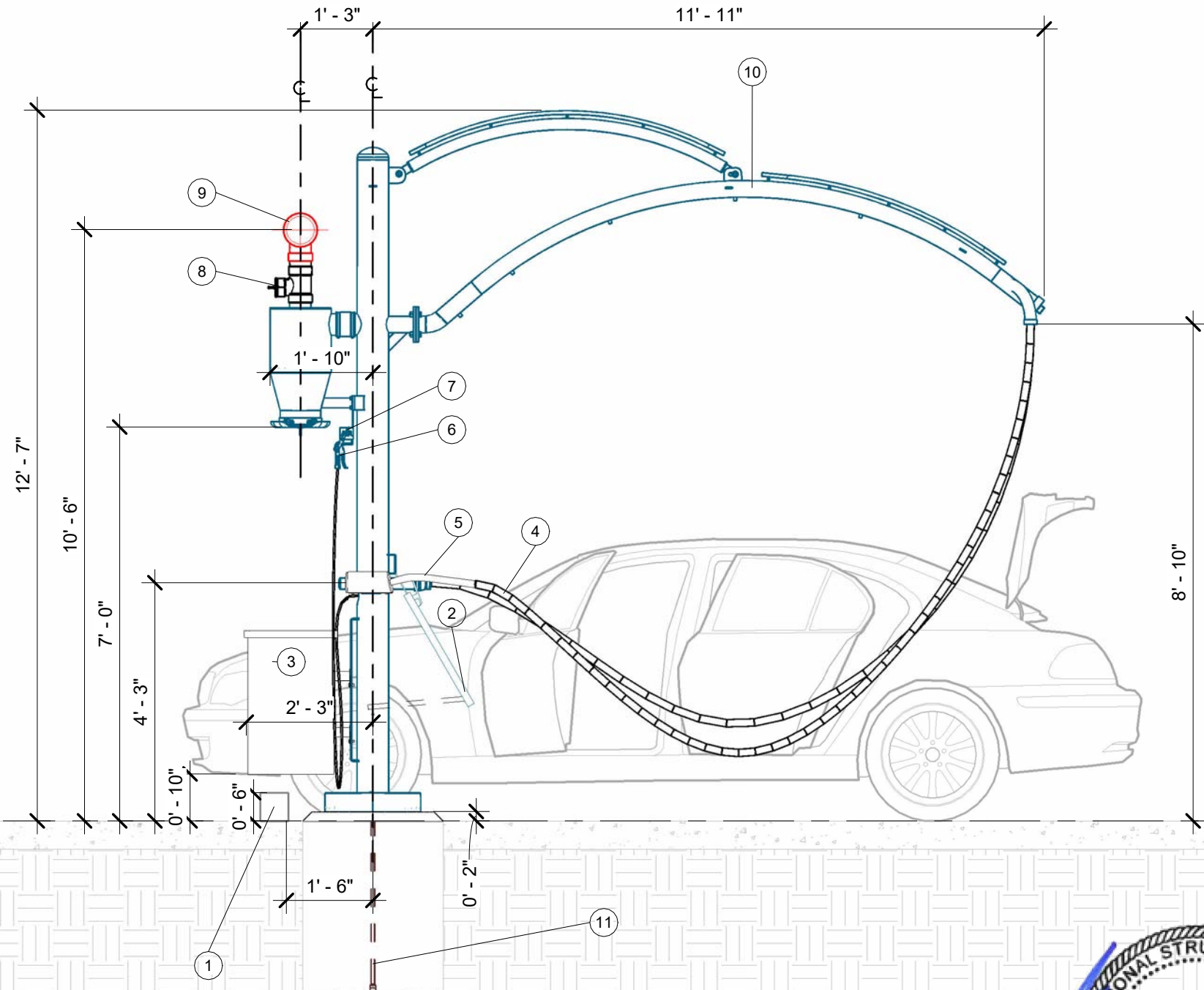
# MISTER CAR WASH

387 EAST 12300 SOUTH  
 DRAPER, UTAH 84202

#	Revision	By	Chk	Date
1	ENGINEERING REDLINES	AV	ML	3/14/23

VACUUM SITE ISOMETRIC		V121
Project Number	234621	
Date	2/10/23	
Drawn By	ML	
Checked By	TD	

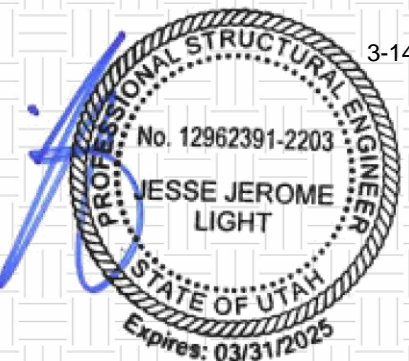
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F.G.  
0'-0"

1 PARKING ELEVATION

THE STRUCTURAL PORTIONS OF THESE PLANS HAVE BEEN REVIEWED BY STARLING MADISON LOFQUIST, INC. (SML) FOR COMPLIANCE WITH THE STRUCTURAL CALCULATIONS. SML IS NOT RESPONSIBLE FOR INFORMATION RELATED TO ANY OTHER DISCIPLINES.



PARKING ELEVATION	
ITEM	DESCRIPTION
1	CURB
2	13" MAT RACK W/ DOOR PROTECTION
3	30 GALLON WASTE RECEPTACLE
4	1-1/2"x15' RAPIDLOCK HOSE
5	SONNY'S VACUUM TOOL
6	AIR NOZZLE & HOSE
7	AIR TOOL HANGER
8	BUTTERFLY VALVE
9	6" OVERHEAD ALUMINUM VACUUM TUBE
10	DUAL USER MISTER CAR WASH ARCH BETWEEN VACUUM SPACES
11	BURIED COMPRESSED AIR LINE (BY OTHERS)



1350 HI-TECH DRIVE  
SHERIDAN, WY 82801  
PHONE: (307) 675-1982  
EMAIL: vacinfo@ncswash.com  
WEB: www.vacutechllc.com

# MISTER CAR WASH

387 EAST 12300 SOUTH  
DRAPER, UTAH 84202

#	Revision	By	Chk	Date
1	ENGINEERING REDLINES	AV	ML	3/14/23

## PARKING ELEVATION

Project Number	234621
Date	2/10/23
Drawn By	FD
Checked By	ML

V301

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