



Development Review Committee

1020 East Pioneer Road

Draper, Utah 84020

STAFF REPORT

June 16, 2026

To: Jennifer Jastremsky, Zoning Administrator

Approved _____ Date _____

From: Development Review Committee

Prepared By: Maryann Pickering, AICP, Planner III
Planning Division
Community Development Department
(801) 576-6391 or maryann.pickering@draperutah.gov

Re: Smartlink Walmart Draper – Permitted Use Permit Request

Application No.: 2026-0089-USE

Applicant: Desiree Blick of Smartlink, representing Walmart Real Estate
Business Trust

Project Location: 1360 E. Draper Parkway

Current Zoning: CC (Community Commercial) Zone

Acreage: 6.49 acres (approximately 282,704 sq. ft.)

Request: Request for approval of a Permitted Use Permit in the CC zone for
a roof mounted wireless telecommunication facility.

SUMMARY AND BACKGROUND

This application is a request for approval of a Permitted Use Permit for approximately 6.49 acres located on the south side of Draper Parkway, at approximately 1360 E. Draper Parkway (Exhibits B and C). The property is currently zoned CC. The applicant is requesting that a Permitted Use Permit be approved to allow changes to a rooftop wireless communications facility. The original facility was approved in 2016 with modifications made in 2017.



ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Growth Area	Exhibit D
Current Zoning	CC	Exhibit E
Proposed Use	Wireless telecommunications facility	
Adjacent Zoning		
East	CC and RA2 (Residential Agricultural, 20,000 sq. ft. minimum)	
West	CC	
North	CC	
South	TC (Town Center), IC (Institutional Care) and RA2	

The Growth Area land use designation is characterized as follows:



Growth Area

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Requires a commitment to exceptional levels of quality and a specific plan of development that meets the City's approval • Reduces automobile dependency with added benefits of reducing traffic congestion and improving air quality • Emphasis is placed on walking/bicycling to insure its effectiveness in the overall circulation pattern of the site • Scale based on the area's character, to encourage secondary forms of circulation • Not bisected by arterial streets • A well-conceived site, with access to and integration with mass transit facilities • Buildings designed per the standards of the City's design guidelines • Amenities provided as per the quality design standards. • Uniform design elements and themes, but a variety of expression • Campus-style development, well landscaped • Integration of uses varying within areas and buildings • A mix of uses for day and evening activity • Aesthetic signage and lighting; limited use of pole signs • Limited traffic access points • Common off-street traffic circulation and parking • Pedestrian access within and between projects
LAND USE MIX	<ul style="list-style-type: none"> • Multifamily residential • Office • Commercial • Industrial/manufacturing
COMPATIBLE ZONING	Underlying Zoning
OTHER CRITERIA	<ul style="list-style-type: none"> • Multifamily residential density is determined by the quality of the proposed development.

According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CC zone is to *“provide areas where commercial uses may be established which are generally oriented toward local residents rather than out of town patrons. Uses typical of this zone include planned retail and office development.”*

Wireless Facility Proposal. The applicant is proposing to replace one antenna and removed one remote radio unit (RRU) and add two in its place (Exhibit F). The existing facility is mounted on the eastern portion of the roof and the ground equipment at the northwest corner of the building will have equipment changed but will not be enlarged in size.

Wireless Communication Standards. The applicant has shown the antenna is on a flat roof and is screened from view. The associated equipment box will be in the existing cabinet on the ground. There is a parapet on the roof and the antenna will be located more than five

feet from the edge of the parapet. The standards for approval of wireless communication facilities can be found in Section 9-41-050(C) which states the following:

- C. Roof Mounted Antennas: The following provisions shall apply to roof mounted antennas:
1. Roof mounted antennas shall be permitted on flat roofs and shall be screened, constructed and/or colored to match the structure to which they are attached.
 2. Roof mounted antennas shall be permitted on pitched roof structures only if determined to be a stealth design as set forth in this section.
 3. Roof mounted antennas shall be allowed on top of existing penthouses or mechanical equipment rooms, provided:
 - a. The antennas and antenna support structures are enclosed by a structure that creates a visual screen which is architecturally compatible to the building; and
 - b. The screening structure, antennas and antenna mounting structures do not extend more than eight feet (8') above the existing roofline of the penthouse or mechanical equipment room.
 4. Roof mounted antennas not mounted on a penthouse or mechanical equipment room shall be allowed as follows:
 - a. On buildings without parapet walls antennas shall be mounted a minimum of five feet (5') from the exterior wall of a building.
 - (1) Antennas mounted between five (5) and ten feet (10') from the exterior wall shall have a maximum height directly proportional to the distance the antenna is set back from the exterior wall up to a maximum height of ten feet (10') above the roofline of the building to which the antenna is attached.
 - (2) Regardless of setback from exterior walls, antennas shall not exceed a maximum height of ten feet (10') above the roofline of the building.
 - b. On buildings with parapet walls antennas shall be mounted at least five feet (5') behind any parapet wall.
 - (1) For antennas mounted between five (5) and ten feet (10') behind a parapet wall the maximum height of the antenna shall be directly proportional to the distance the antenna is set back from the wall up to a maximum of ten feet (10') as measured from the top of the parapet wall.
 - (2) Regardless of setback from parapet walls, no antenna shall extend more than fifteen feet (15') above the roofline of the building itself unless approved pursuant to a conditional use permit.

Criteria For Approval. The criteria for review and potential approval of a Permitted Use request are found in Section 9-415-050(A) and (C) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

- E. Approval Standards: The following standards shall apply to the issuance of a permitted use permit. A permitted use shall:
1. Be allowed as a permitted use in the applicable zone;
 2. Conform to development standards of the applicable zone;
 3. Conform to applicable regulations of general applicability and regulations for specific uses set forth in this title;
 4. Not be located on any land classified as a primary or secondary conservation area or sensitive land area, except as expressly permitted by provisions of this title;
 5. Not be located in any protected area as shown on a natural resource inventory; and
 6. Conform to any other applicable requirements of this code.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Permitted Use Permit submission. Comments from these divisions, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed their review of the Permitted Use Permit submission. Comments from him, if any, can be found in Exhibit A.

GIS Review. The Draper City GIS Division has completed their review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

Legal Division Review. The Draper City Attorney has completed their review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.

The findings for approval as are follows:

1. That the proposed installation is compliant with Subsections 9-41-050(A) and(C) of the DCMC.



DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US,
E=brien.maxfield@draperutah.gov,
O=Draper, OU=Public Works -
Engineering, CN=Brien Maxfield
Date: 2026.06.16 16:09:58-06'00'

Draper City Public Works Department

Todd Draper

Digitally signed by Todd Draper
DN: C=US,
E=todd.draper@draperutah.gov,
O=Draper City Community
Development Department,
OU=Planning and Zoning,
CN=Todd Draper
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Draper City Planning Division

Don Buckley

Digitally signed by Don Buckley
DN: C=US, E=don.buckley@draper.ut.us,
O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2026.06.16 16:08:57-06'00'

Draper City Fire Department

Draper City Legal Counsel

Matthew Symes

Digitally signed by Matthew Symes
DN: C=US,
E=matt.symes@draperutah.gov,
O=Draper City Corp., CN=Matthew
Symes
Date: 2026.06.16 17:00:49-06'00'

Draper City Building Division

EXHIBIT A
DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments.

Building Division Review.

1. No additional comments.

Engineering and Public Works Divisions Review.

1. No additional comments.

Fire Division Review.

1. No additional comments.

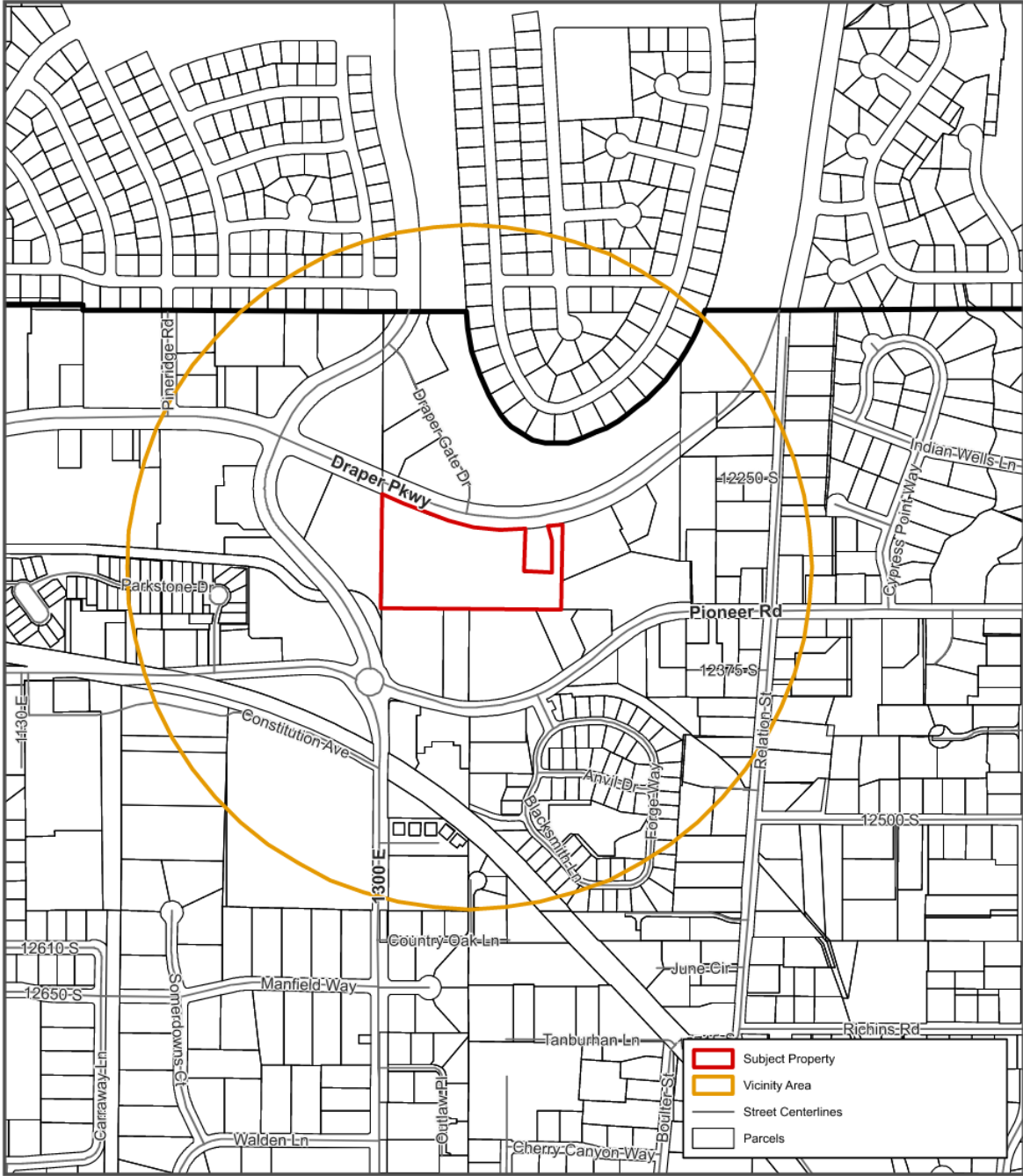
GIS Review.

1. No additional comments.

Legal Division Review.

1. No additional comments.

EXHIBIT B
VICINITY MAP



Date Printed: 6/9/2026

Smartlink Walmart Draper

1360 E. Draper Parkway

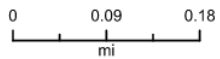



EXHIBIT C
AERIAL MAP



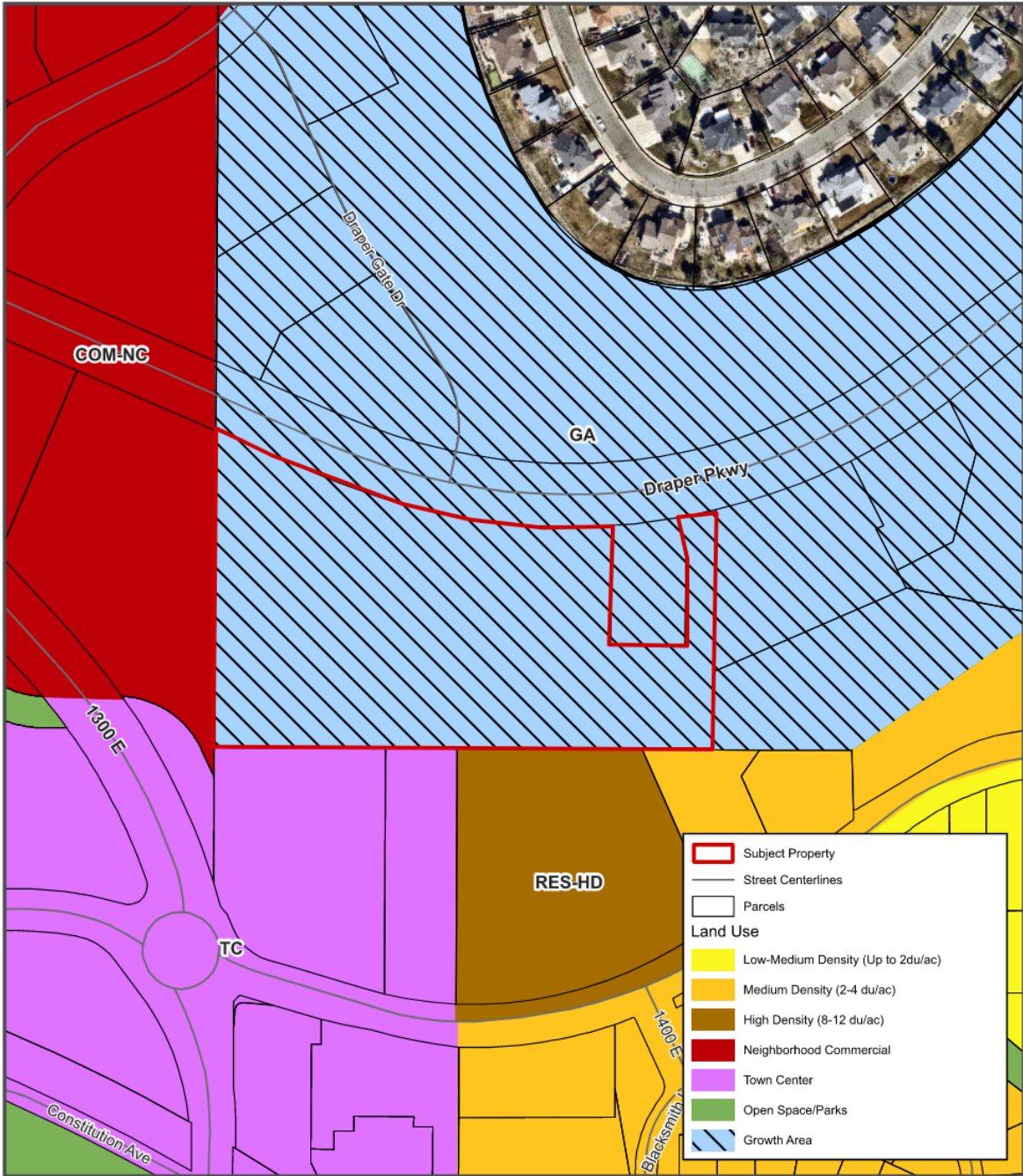
 **Smartlink Walmart Draper**
1360 E. Draper Parkway

Date Printed: 6/9/2026

0 0.03 0.06
mi

N

EXHIBIT D LAND USE MAP



Date Printed: 6/9/2026

Smartlink Walmart Draper

1360 E. Draper Parkway

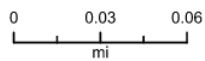
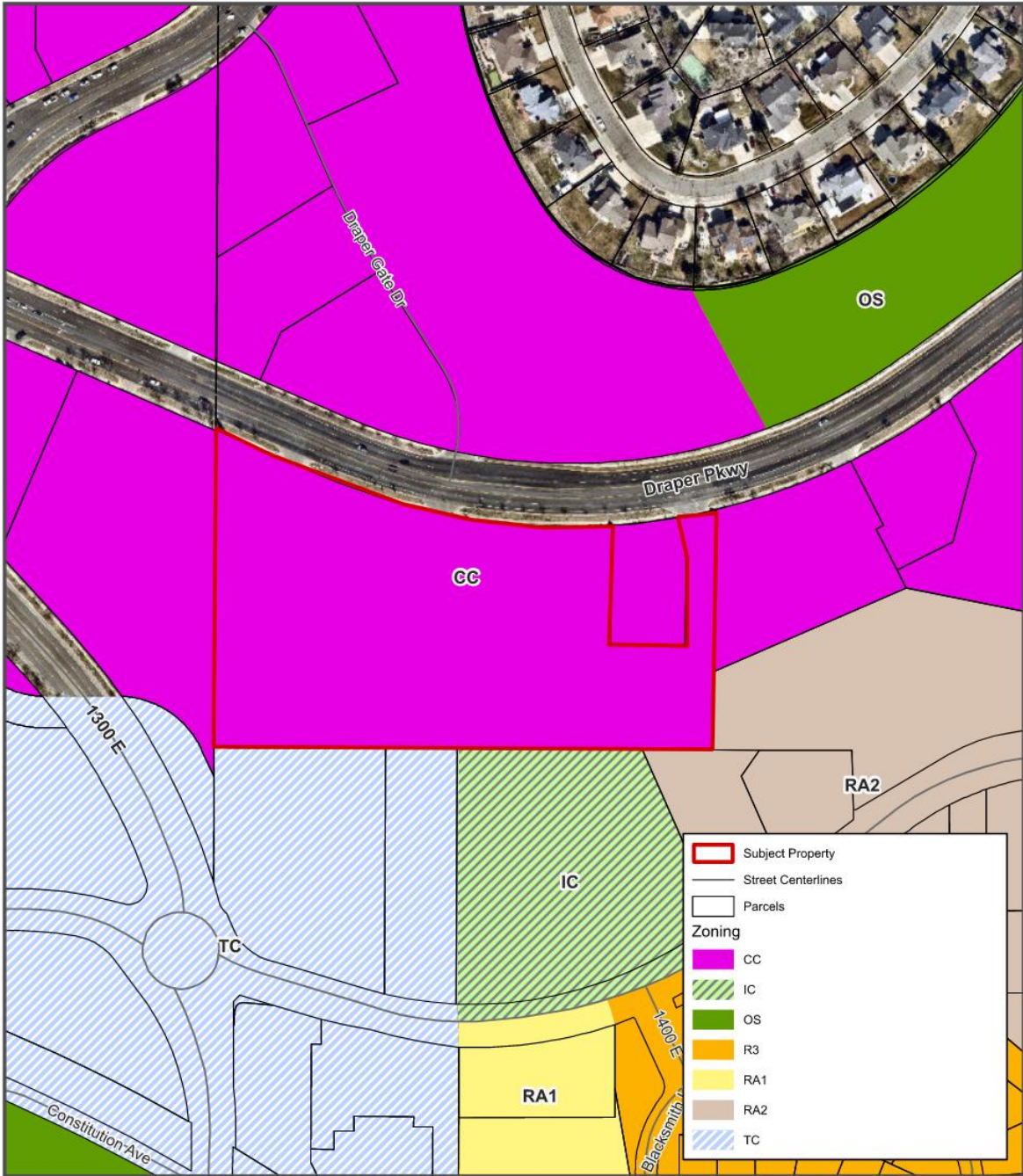


EXHIBIT E ZONING MAP



Date Printed: 6/9/2026

Smartlink Walmart Draper

1360 E. Draper Parkway

N

0 0.03 0.06
mi

**EXHIBIT F
DEVELOPMENT PLANS**



MDG CODE: 5000170847

VERIZON PROJECT ID: 17120413

VERIZON SITE NAME: WALMART DRAPER SC

SITE ADDRESS: 1360 DRAPER PARKWAY

DRAPER, UT 84020

JURISDICTION: DRAPER CITY

STRUCTURE TYPE: ROOFTOP

STRUCTURE HEIGHT: 32'-4"

PROJECT: RRU SWAP
CONFIGURATION: SMALL CELL

STORE ID: 5110



9656 S PROSPERITY RD.
WEST JORDAN, UTAH 84081



1825 W. WALNUT HILL LANE, SUITE 120
IRVING, TEXAS 75038
1-855-669-5421

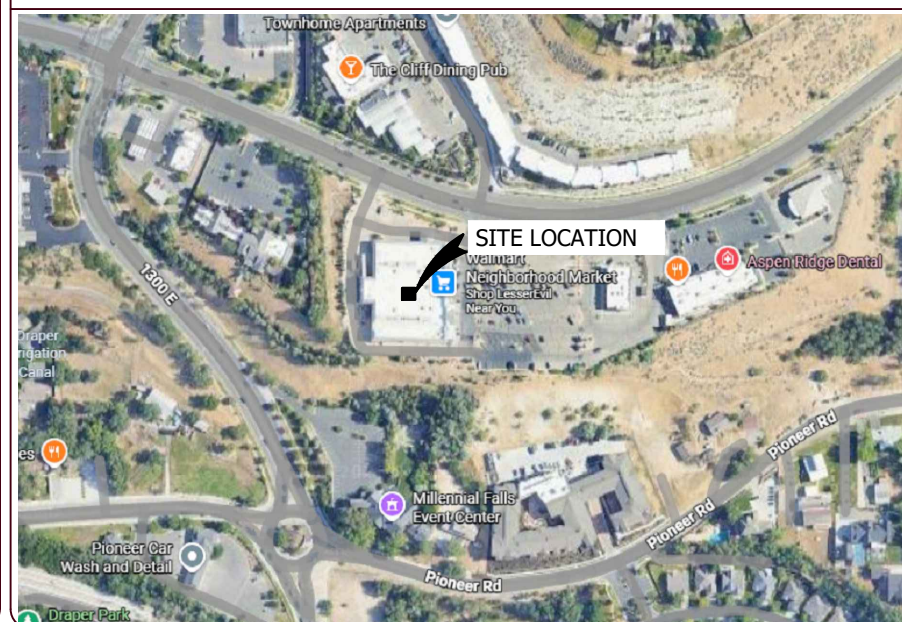
SUBMITTALS

REV	DATE	DESCRIPTION	BY
A	02/03/26	90% CD	SBT
B	02/20/26	90% CD	SBT
C	03/23/26	90% CD	BCP
0	04/06/26	100% CD	BCP

PROJECT INFORMATION

SITE ADDRESS:	1360 DRAPER PARKWAY DRAPER, UT 84020	APPLICANT:	VERIZON WIRELESS 2730 BOZEMAN AVE. HELENA, MT 59601
LATITUDE (NAD83):	40°31'36.1" N, (40.526694)	GROUND OWNER:	WAL-MART REAL ESTATE BUSINESS TRUST MAIL STOP 0555 PO BOX 8050 BENTONVILLE, AR 72716-8050
LONGITUDE (NAD83):	111°51'08.8" W, (-111.852444)	A&E FIRM:	TRYLON TSF 1825 W. WALNUT HILL LANE, STE#120 IRVING, TX 75038
GROUND ELEVATION:	4654' AMSL	CONTACT:	MIKE MOORE 1-855-669-5421 MIKE.MOORE@TRYLON.COM
COUNTY:	SALT LAKE	VERIZON CX ENGINEER:	CLIFF HIEB (208) 251-7500 CLIFFORD.HIEBJR@VERIZONWIRELESS.COM
JURISDICTION:	DRAPER CITY	SITE ACQUISITION:	SMARTLINK GROUP ANDREW MOYLE (303) 884-1359 ANDREW.MOYLE@SMARTLINKGROUP.COM
OCCUPANCY TYPE:	U	PROJECT MANAGER:	VERIZON PROJECT MANAGER JACOB ORTON N/A JACOB.ORTON2@VERIZONWIRELESS.COM
ADA COMPLIANCE	FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.		
PARCEL:	28-29-304-001		
ZONING	TBD		
POWER COMPANY:	TBD		
TELCO COMPANY:	TBD		

LOCATION MAP



PROJECT DESCRIPTION

THE SCOPE OF WORK WILL BE COMPRISED OF:

TOWER SCOPE OF WORK:

- REMOVE EXISTING:
 - (1) AMPHENOL WB3X080X06F210 ANTENNA
 - (1) NOKIA UHIC B4 RRH 2x60-4R RRU
- INSTALL:
 - (1) COMMSCOPE NNV4SSP-3605-F2 ANTENNA
 - (1) ERICSSON 4890 RRU
 - (1) ERICSSON 4461 B77D RRU

GROUND SCOPE OF WORK:

- REMOVE EXISTING:
 - (1) ERICSSON 6630 BBU
- INSTALL:
 - (1) ERICSSON 6672 BBU

NOTE:
THE SCOPE OF WORK DOES NOT INCLUDE ANY TRENCHING



GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, PORTABLE WATER, OR TRASH DISPOSAL IS REQUIRED, NO COMMERCIAL SIGNAGE AND NO LANDSCAPING IS PROPOSED.

DO NOT SCALE DRAWINGS
ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR A 11"x17" SET. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

DRIVING DIRECTIONS

FROM VERIZON, 9656 S PROSPERITY RD. WEST JORDAN, UT 84081, USA
HEAD EAST, TURN RIGHT TOWARD BOZEMAN AVE, TURN LEFT ONTO BOZEMAN AVE, TURN RIGHT ONTO CARTER DR, TURN RIGHT ONTO US-12 W/US-287 N, TURN LEFT TO MERGE WITH I-15 S TOWARD BUTTE, FOLLOW I-15 S TO UT-71 N/E 12300 S IN DRAPER. TAKE EXIT 291 FROM I-15 S, JOIN WITH I-15 S, USE THE RIGHT LANE TO MERGE WITH I-15 S/I-90 W TOWARD BUTTE, TAKE EXIT 121 FOR I-15 S TOWARD DILLON/IDAHO FALLS, CONTINUE ONTO I-15 S, USE ANY LANE TO MERGE WITH I-15 S/I-84 E TOWARD OGDEN/SALT LAKE, USE THE 2ND FROM THE RIGHT LANE TO TAKE EXIT 291 FOR UT-71/12300 SOUTH, USE THE LEFT 2 LANES TO TAKE THE RAMP TO DRAPER, CONTINUE ON E 12300 S TO YOUR DESTINATION, USE ANY LANE TO TURN LEFT ONTO UT-71 N/E 12300 S, CONTINUE STRAIGHT ONTO E 12300 S, CONTINUE ONTO E DRAPER PKWY, TURN RIGHT, ARRIVED AT 1360 DRAPER PARKWAY, DRAPER, UT 84020.

SHEET INDEX

SHEET #	DESCRIPTION
T-1	TITLE SHEET
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
C-1	OVERALL SITE PLAN
C-2	ENLARGED SITE PLAN
C-2.1	EXISTING AND PROPOSED EQUIPMENT LAYOUTS
C-3	EXISTING AND PROPOSED ROOFTOP ELEVATIONS
C-4	ANTENNA LAYOUTS
C-5	ANTENNA SCHEDULE
C-6 / C-8	DETAILS
RF-1	RF DIAGRAM
RF-2	EME PLAN
G-1	GROUNDING DETAILS
G-2	GROUNDING DETAILS

PROJECT TITLE

VERIZON SITE ID: 5035313

WALMART DRAPER SC

1360 DRAPER PARKWAY
DRAPER, UT 84020

EXISTING ROOFTOP

SHEET DESCRIPTION

TITLE SHEET

SHEET NO.

T-1

CODE COMPLIANCE

ALL WORK & MATERIALS SHALL BE PERFORMED & INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2021 UTAH STATE BUILDING CODE (2021 IBC W/AMENDMENTS)
- 2021 UTAH STATE MECHANICAL CODE (2021 IMC)
- 2021 UTAH STATE RESIDENTIAL CODE (2021 IRC W/AMENDMENTS)
- 2023 UTAH ELECTRICAL CODE (NFPA 70, 2023 W/AMENDMENTS)

APPROVALS

VERIZON (CM): _____	DATE: _____
SMARTLINK (PM): _____	DATE: _____
RF ENGINEER: _____	DATE: _____
SITE ACQUISITION: _____	DATE: _____
LANDLORD: _____	DATE: _____



Know what's below.
Call before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN UTAH, CALL BLUE STAKES OF UTAH
TOLL FREE: 1-800-662-4111 OR
www.bluestakes.org

UTAH STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

1. GENERAL REQUIREMENTS

A. PURPOSE AND INTENT

- THE DRAWING AND SPECIFICATION ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY, HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED, OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF DISCREPANCIES BETWEEN REQUIREMENTS SHOWN IN BOTH, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- THE INTENTION OF THE DOCUMENT IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.

B. CONFLICTS

- VERIFY ALL MEASUREMENTS AT THE SITE BEFORE ORDERING MATERIAL OR DOING ANY WORK, NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS OR DIMENSIONS SHOWN ON PLANS SUBMIT NOTICE OF ANY DISCREPANCY IN DIMENSIONS OR OTHERWISE TO VERIZON FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS GOVERNING THE WORK.

C. CLEANING

- KEEP THE SITE FREE FROM ACCUMULATION OF WASTE AND RUBBISH CAUSED BY EMPLOYEES AT THE COMPLETION OF THE WORK, REMOVE ALL WASTE AND NON-CONSTRUCTION MATERIAL INCLUDING ALL CONTRACT TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE SITE CLEAN AND READY FOR USE.

D. CODES

- CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS, AND RULES PROMULGATED BY FEDERAL STATE AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE SALTIER. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WEATHER THE LAW, ORDINANCE, REGULATION OR RULE IS MENTIONED IN THESE SPECIFICATIONS.

E. LICENSING

- CONTRACTOR SHALL HAVE AND MAINTAIN A VALID CONTRACTOR'S LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTOR PERFORMING THOSE SHALL BE LICENSED, RESEARCHED AND COMPLY WITH THE LICENSING LAWS, PAY LICENSE FEES, AND SELECT AND INFORM SUBCONTRACTORS REGARDING THESE LAWS.

F. OSHA

- FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS AND STATE LAWS BASED IN THE FEDERAL OCCUPATION SAFETY AND HEALTH ACT. THESE REGULATIONS INCLUDE, BUT ARE NOT LIMITED TO, REGULATIONS DEALING WITH TOWER CONSTRUCTION AND SAFETY, EXCAVATION AND TRENCHING, AND WORK IN CONFINED SPACES. ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES DURING CONSTRUCTION.

G. PHOTOS

- PROVIDE PHOTOGRAPHIC EVIDENCE OF ALL FOUNDATION INSTALLATIONS, GROUNDING, AND TRENCHING AFTER PLACEMENT OF UTILITIES PRIOR TO BACKFILL.

H. BUILDING PERMITS

- CONTRACTOR WILL SUBMIT CONSTRUCTION DOCUMENTS TO THE JURISDICTIONAL AUTHORITY FOR PLAN CHECK AND REVIEW. CONTRACTOR WILL SUBMIT LICENSING AND WORKMAN'S COMPENSATION INFORMATION TO THE JURISDICTION AS REQUIRED TO OBTAIN THE BUILDING PERMIT, CONTRACTOR SHALL COORDINATE AND SCHEDULE REQUIRED INSPECTIONS AND POST REQUIRED PERMITS AT THE JOB SITE COMPLY WITH SPECIFIC PROJECT RELATED REQUESTS AND SUGGESTIONS MADE BY BUILDING INSPECTOR, AND INFORM CONSTRUCTION MANAGER OF ANY SUCH WORK THAT MAY BE BEYOND THE SCOPE OF THE CONTRACT OR DEVIATE FROM THE CONSTRUCTION DOCUMENT. VERIZON WILL REIMBURSE THE CONTRACTOR FEES FOR PLAN REVIEW, BUILDING PERMIT, CONNECTIONS, AND INSPECTIONS. (INCLUDED IN THE BASE PROPOSAL).

I. ZONING REGULATIONS AND CONDITIONAL USE PERMITS

- CONTRACTOR WILL SUBMIT ALL ZONING AND CONDITIONAL USE PERMITS. SOME USE PERMITS MAY HAVE SPECIFIC REQUIREMENTS FOR THE SITE RELATED TO CONSTRUCTION, SUCH AS NOISE REGULATIONS, HOURS OF WORK, ACCESS LIMITATIONS, ETC. THE CONSTRUCTION MANAGER WILL INFORM THE CONTRACTOR OF THESE REQUIREMENTS AT THE PRE-BID MEETING OR AS SHOWN IN THE CONSTRUCTION DOCUMENTS.

J. FAA PERMIT AND TOWER LIGHTING

- REFER TO CONSTRUCTION DOCUMENTS AND CONSTRUCTION MANAGER FOR FAA AND STATE LIGHTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE TEMPORARY FM APPROVED LIGHTING UNTIL PERMANENT LIGHTING IS OPERATIONAL.

K. TOWER SECURITY

- IF REQUIRED, TOWER MUST BE FENCED, TEMPORARILY OR PERMANENTLY WITHIN 24 HOURS OF ERECTION. DO NOT ALLOW THE GATE ACCESSING THE TOWER AREA TO REMAIN OPEN OR UNATTENDED ANY TIME FOR ANY REASON. KEEP THE GATE CLOSED AND LOCKED WHEN NOT IN USE.

L. SITE CONTROL

- THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION AT THE SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO VERIZON.
- THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
- ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.

M. LIVESTOCK PROTECTION

- PROTECT AND SECURE LIVESTOCK. MAINTAIN AND SECURE EXISTING PERIMETER FENCE AND/OR GATE ENCLOSURES.

2. SITE PREPARATION

A. SCOPE OF WORK INCLUDES

- PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES.
- TRIMMING OF EXISTING TREES AND VEGETATION AS REQUIRED FOR PROTECTION DURING CONSTRUCTION ACTIVITIES.
- CLEANING AND GRUBBING OF STUMPS, VEGETATION, DEBRIS, RUBBISH, DESIGNATED TREES AND SITE IMPROVEMENTS.
- TOPSOIL STRIPPING AND STOCKPILING.
- TEMPORARY EROSION CONTROL, SILT CONTROL, AND DUST CONTROL CONFORMING TO LOCAL REQUIREMENTS AS APPLICABLE.
- TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS, AND MONUMENTS.
- PROTECTION AND TEMPORARY RELOCATION, STORAGE AND RE-INSTALLATION OF EXISTING FENCE AND OTHER SITE IMPROVEMENTS SCHEDULED FOR RE-USE.
- REMOVAL AND DISPOSAL OF CLEARED MATERIALS.

B. PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS)

- MATERIALS USED FOR TREE PROTECTION, EROSION CONTROL, SILT CONTROL, AND DUST CONTROL.

3. EARTHWORK

A. SCOPE OF WORK INCLUDES

- EXCAVATION, TRENCHING, FILLING, COMPACTION, AND GRADING FOR STRUCTURES, SITE IMPROVEMENTS AND UTILITIES.
- MATERIALS FOR SUB-BASE, DRAINAGE, BACKFILL AND GRAVEL FOR SLABS, PAVEMENT AND IMPROVEMENTS.
- ROCK EXCAVATION WITHOUT BLASTING.
- SUPPLY OF ADDITIONAL MATERIALS FOR OFFSITE AS REQUIRED.
- REMOVAL AND DISPOSAL OF EXCAVATED MATERIAL AS REQUIRED.

B. QUALITY ASSURANCE

- COMPACTION
 - UNDER STRUCTURES, BUILDING SLABS, PAVEMENTS AND WALKWAYS WILL OBTAIN A 95% COMPACTION AT A MINIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITH PLUS OR MINUS 3% OF THE MOISTURE CONTENT.
 - GRADING TOLERANCES OUTSIDE BUILDING LINES
 - LAWNS, UNPAVED AREAS AND WALKS PLUS OR MINUS 1 INCH.
 - UNDER PAVEMENTS PLUS OR MINUS ½ INCH.
 - GRADING TOLERANCES FOR FILL UNDER CONCRETE APPLICATIONS
 - PLUS OR MINUS ½ INCH MEASURED WITH 10 FOOT STRAIGHT EDGE.

C. PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS)

- SUB-BASE MATERIAL: GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE OR SLAG, AND NATURAL SAND.
- WASHED MATERIAL, EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95% PASSING A 1-1/2 INCH SIEVE.
- GRADING MATERIAL WILL CONSIST OF SATISFACTORY NATIVE OR IMPORTED SOIL MATERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS AND OTHER UNSUITABLE MATERIALS WILL NOT BE ALLOWED FOR USE. IMPORTED MATERIALS SHALL HAVE A CLAY CONTENT OF NO MORE THAN 5%.
- GRAVEL MATERIAL: EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95% PASSING A 1-1/2 INCH SIEVE.
- GEOTEXTILE FABRIC: AS PER CONSTRUCTION DOCUMENTS.

D. CLEARING AND GRUBBING

- REMOVE ALL VEGETATION AND MATERIALS AS REQUIRED. REMOVE STUMPS COMPLETELY UNDER FOUNDATIONS AND ROADWAYS. DISPOSE OF CLEARING AND GRUBBING OFF-SITE OR IN AN ON-SITE LOCATION APPROVED BY CONSTRUCTION MANAGER.

E. STRIPPING

- STRIP NOT LESS 3 INCHES OF SOD AND TOPSOIL FROM AREAS THAT WILL UNDERLAY GRAVEL, PAVEMENT, NEW STRUCTURES OR EMBANKMENTS. STOCKPILE STRIPPING ON-SITE FOR RE-USE AND FINAL LANDSCAPING.

F. EMBANKMENT

- CONSTRUCT EMBANKMENT TO THE LINES AND GRADES SHOWN ON THE DRAWING.
- CONSTRUCT EMBANKMENT FROM ON-SITE EXCAVATION MATERIAL WHEN SUITABLE. USE IMPORTED BACKFILL ONLY AFTER AVAILABLE ON-SITE EXCAVATION MATERIAL HAS BEEN USED.
- CONSTRUCT IN LIFTS OF NOT MORE THAN 12 INCHES IN LOOSE DEPTH. THE FULL WIDTH OF THE CROSS SECTION SHALL BE BROUGHT UP UNIFORMLY. MATERIAL SHALL BE PLACED IN LAYERS AND SHALL BE NEAR OPTIMUM MOISTURE CONTENT BEFORE ROLLING TO OBTAIN THE PRESCRIBED COMPACTION. WETTING OR DRYING OF THE MATERIAL AND MANIPULATION TO SECURE A UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYERS MAY BE REQUIRED. SUCH OPERATIONS SHALL BE INCLUDED IN THE APPROPRIATE BID ITEM. SHOULD THE MATERIAL BE TOO WET TO PERMIT PROPER COMPACTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO UTILIZE MATERIAL WITH AN ACCEPTABLE MOISTURE CONTENT. DO NOT PLACE FROZEN MATERIAL IN THE EMBANKMENT AND DO NOT PLACE EMBANKMENT MATERIAL UPON FROZEN MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF EMBANKMENTS AND THE REPLACEMENT OF ANY PORTION WHICH HAS BECOME DISPLACED DUE TO CONTRACTOR'S OPERATIONS.
- START LAYERS IN THE DEEPEST PORTION OF THE FILL AND AS PLACEMENT PROGRESSES, CONSTRUCT LAYERS APPROXIMATELY PARALLEL TO THE FINISH GRADE LINE.
- ROUTE EQUIPMENT BOTH LOADED AND EMPTY, OVER THE FULL WIDTH OF THE EMBANKMENT TO ENSURE UNIFORMITY OF MATERIAL PLACEMENT.
- COMPACT EMBANKMENT UNDERLYING NEW GRAVEL PAVING, FLOOR SLABS AND STRUCTURES TO BE 95% COMPACTION AT A MINIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT. COMPACT NON-STRUCTURAL AREA EMBANKMENTS TO A MINIMUM OF 90% OF ASTM 0-1557.

G. SITE GRADING

- USING ON-SITE EXCAVATION MATERIAL, SHAPE, TRIM, FINISH AND COMPACT SURFACE AREAS TO CONFORM TO THE LINES. GRADES AND CROSS SECTIONS SHOWN ON THE DRAWING OR AS DESIGNATED BY THE CONSTRUCTION MANAGER.
- GRADE SURFACES TO DRAIN AND ELIMINATE ANY PONDING OR EROSION.
- ELIMINATE WHEEL RUTS BY REGRADING.
- COMPACT AREAS OF UNDERLYING NEW GRAVEL, PAVING, FLOOR SLABS AND STRUCTURES TO BE AT 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM 0-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.
- CONSTRUCT FINISH SURFACE OF SITE GRADING AREAS WITHIN 1 INCH FROM SPECIFIED GRADE.

H. SUBGRADE PREPARATION

- SHAPE TOP OF SUBGRADE TO THE LINES AND GRADES SHOWN ON THE DRAWINGS.
- MAINTAIN TOP OF SUBGRADE IN A FREE-DRAINING CONDITION.
- DO NOT STOCK PILE MATERIAL ON TOP OF SUBGRADE UNLESS AUTHORIZED BY CONSTRUCTION MANAGER.
- COMPACT THE TOP 12 INCHES OF SUBGRADE TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3% OF THE OPTIMUM MOISTURE CONTENT.
- CONSTRUCT TOP OF SUBGRADE WITHIN 1 INCH OF ESTABLISHED GRADE AND CROSS SECTION.

I. GEOTEXTILE FABRIC

- LAY GEOTEXTILE FABRIC OVER COMPACTED SUBGRADE IN THE COMPOUND AREA AND UNDER LENGTH OF ROAD (WHEN REQUIRED). LAP ALL JOINTS TO A MINIMUM OF 36 INCHES.

J. GRAVEL SURFACING

- CONSTRUCT GRAVEL SURFACING AREAS USING CRUSHED AGGREGATE BASE AND FINISH COURSES AS SPECIFIED BY CONSTRUCTION MANAGER. SPREAD GRAVEL AND RAKE TO OBTAIN A UNIFORM SURFACE AREA.

K. LANDSCAPING

- FURNISH, INSTALL AND MAINTAIN LANDSCAPE WORK AS SHOWN AND/OR REQUIRED WITHIN THE CONSTRUCTION DOCUMENTS OR AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.

L. CONCRETE FORM WORK

- FORMS: SMOOTH AND FREE OF SURFACE IRREGULARITIES. UTILIZE FORM RELEASE AGENTS.
- CHAMFER EXPOSED EDGES OF ALL TOWER FOUNDATION SHALL RECEIVE A ¾ INCH BY ¾ INCH 45 DEGREE CHAMFER. OTHER EXPOSED EDGES SHALL RECEIVE A TOOLED RADIUS FINISH.
- UPON COMPLETION, REMOVE ALL FORMS INCLUDING THOSE CONCEALED OR BURIED.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

4. GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY SITE, YARD AND GROUNDS. CONTRACTOR SHALL REMOVE AND DISPOSE OFF SITE ALL RUBBISH, WASTE MATERIAL, LITTER AND ALL FOREIGN SUBSTANCES. REMOVE PETROCHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUND TO A SMOOTH EVEN-TEXTURED SURFACE.
- THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURE ABOVE GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATION INDICATED. IN PARTICULAR THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN 48 HOURS BEFORE YOU DIG, DRILL OR BLAST CALL LOCAL UTILITIES LOCATOR COMPANY.
- THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THE SITE DURING THE PERFORMANCE OF THIS CONTRACT.
- THE CONTRACTOR SHALL RESTORE ALL DAMAGED, PUBLIC OR PRIVATE PROPERTY TO AT LEAST AS GOOD OF CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE OWNER OR OWNER'S REPRESENTATIVE, SHALL BE REPLACED.
- ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH OSHA REGULATIONS FOR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
- ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE.
- MAINTAIN FLOW FOR ALL EXISTING UTILITIES
- ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS AS DEFINED BY THE OWNER OF OWNER'S REPRESENTATIVE ON THE DRAWINGS OR GEOTECHNICAL REPORT RECOMMENDATIONS.
- CONTRACTOR TO GRADE ALL AREAS OF THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING OR EQUIPMENT PAD AND THE TOWER.
- IF NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND REGRADING ROADWAY AND ANY DISTURBED AREAS FOLLOWING INSTALLATION OF UTILITIES.
- NO COMMERCIAL MESSAGES TO BE DISPLAYED ON TOWER
- WATER AND SEWER SERVICES ARE NOT REQUIRED FOR THE DEVELOPMENT
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL UNLESS OTHERWISE NOTED.
- ELECTRICAL DRAWINGS HAVE BEEN REVIEWED AND SEALED FOR STRUCTURAL PURPOSES ONLY.

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1825 W. WALNUT HILL LANE, SUITE 120
IRVING, TEXAS 75038
1-855-669-5421

SUBMITTALS

REV	DATE	DESCRIPTION	BY
A	02/03/26	90% CD	SBT
B	02/20/26	90% CD	SBT
C	03/23/26	90% CD	BPC
0	04/06/26	100% CD	BPC



PROJECT TITLE

VERIZON SITE ID: 5035313

WALMART DRAPER SC

1360 DRAPER PARKWAY
DRAPER, UT 84020

EXISTING ROOFTOP

SHEET DESCRIPTION

GENERAL NOTES

SHEET NO.

GN-1

NOTES

ABBREVIATIONS

A.B.	ANCHOR BOLT	GR	GROWTH (CABINET)
AC	ALTERNATE CURRENT/AIR CONDITIONER	GA.	GAUGE
ADD'L	ADDITIONAL	GEN.	GENERATOR
A.F.F.	ABOVE FINISHED FLOOR	GI.	GALVANIZE(D)
A.F.G.	ABOVE FINISHED GRADE	GND	GROUND
ALUM.	ALUMINUM	GPS	GLOBAL POSITIONING SYSTEM
ALT.	ALTERNATE	GRND.	GROUND
ANT.	ANTENNA	GSM	GLOBAL SYSTEM MOBILE (2G+)
APPROX.	APPROXIMATE(LY)	HT.	HEIGHT
ARCH.	ARCHITECT(URAL)	IN.(")	INCH(ES)
AWG.	AMERICAN WIRE GAUGE	INT.	INTERIOR
BATT.	BATTERY	LB.(#)	POUND(S)
BD.	BOARD	L.B.	LAG BOLTS
BLDG.	BUILDING	L.F.	LINEAR FEET (FOOT)
BLK.	BLOCK	L.	LONG(ITUDINAL)
BM.	BEAM	LTE	LONG TERM EVOLUTION (4G)
BRKR.	BREAKER	MAS.	MASONRY
BTWCV.	BARE TINNED COPPER WIRE	MAX.	MAXIMUM
BTS.	BASE TRANSMISSION SYSTEM	MECH.	MECHANICAL
B/U	BACK-UP CABINET	MFR.	MANUFACTURER
C	CONDUIT	MIN.	MINIMUM
CAB.	CABINET	MISC.	MISCELLANEOUS
CB.	CIRCUIT BREAKER	MTD.	MOUNTED
C.I.P.	CAST IN PLACE	MTG.	MOUNTING
CKT.	CIRCUIT	N	NEUTRAL
CLR.	CLEAR	(N)	NEW
CMU	CONCRETE MASONRY UNIT (JAMB BLOCKS)	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
COL.	COLUMN	NO.(#)	NUMBER
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CONN.	CONNECTION(OR)	OH	OVERHEAD
CONST.	CONSTRUCTION	OPNG.	OPENING
CONT.	CONTINUOUS	PCS	PERSONAL COMMUNICATION SERVICES
DBL.	DOUBLE	PH	PHASE
DC	DIRECT CURRENT	PLY.	PLYWOOD
DEM.	DEMAND	PNLBD	PANELBOARD
DEPT.	DEPARTMENT	PPC	POWER PROTECTION CABINET
D.F.	DOUGLAS FIR	PRC	PRIMARY RADIO CABINET
DIA.	DIAMETER	PRI	PRIMARY
DIAG.	DIAGONAL	P.S.F.	POUNDS PER SQUARE FOOT
DIM.	DIMENSION	P.S.I.	POUNDS PER SQUARE INCH
DWG.	DRAWING(S)	PWR.	POWER (CABINET)
DWL.	DOWEL(S)	QTY.	QUANTITY
EA.	EACH	RAD.(R)	RADIUS
EGR.	EMERGENCY GENERATOR RECEPTACLE	RBS	RADIO BASE STATION (BASE STATION 3G NETWORKS)
EL.	ELEVATION	REF.	REFERENCE
ELEC.	ELECTRICAL	REINF.	REINFORCEMENT(ING)
ELEV.	ELEVATOR	REQ'D.	REQUIRED
EMT.	ELECTRICAL METALLIC TUBING	RRU	REMOTE RADIO UNIT (RADIO TRANSCEIVER)
E.N.	EDGE NAIL	SAF	SAFETY
ENCL.	ENCLOSURE	SCH.	SCHEDULE
ENG.	ENGINEER	SEC	SECONDARY
EQ.	EQUAL	SHT.	SHEET
EXST.(E)	EXISTING	SIM.	SIMILAR
F/A	FIRE ALARM	S.N.	SOLID NEUTRAL
F.F.	FINISH FLOOR	SPEC.	SPECIFICATION(S)
F.G.	FINISH GRADE	SQ.	SQUARE
FIN.	FINISH(ED)	S.S.	STAINLESS STEEL
FLR.	FLOOR	STD.	STANDARD
FLUOR	FLUORESCENT	STL.	STEEL
FDN.	FOUNDATION	STRUC.	STRUCTURAL
FT.(')	FOOT (FEET)	SURF	SURFACE
FTG.	FOOTING	SW	SWITCH
FU	FUSE	TEL.	TELEPHONE
	GROUND		

ABBREVIATIONS, SITE LEGENDS & SYMBOLS

SITE LEGENDS

	CENTERLINE
	PROPERTY/LEASE LINE
	GROUND CONDUCTOR
	COAXIAL CABLE
	CHAIN LINK FENCING
	OVERHEAD TELEPHONE LINE
	OVERHEAD POWER LINE
	POWER RUN
	FIBER/POWER RUN
	TELCO RUN
	POWER/TELCO RUN
	GROUNDING CONDUCTOR
	CHEMICAL GROUND ROD (XIT GROUND ROD)
	CADWELD CONNECTION
	MECHANICAL CONNECTION
	HALO GROUND CONNECTION
	CIRCUIT BREAKER
	UTILITY METER BASE
	TRANSFORMER
	STEPDOWN TRANSFORMER
	POLE
	(N) POLE MOUNTED XFMR
	EXISTING POLE MOUNTED XFMR
	(N) PAD MOUNTED XFMR
	EXISTING PAD MOUNTED XFMR

SYMBOLS & MATERIAL

	DETAIL REFERENCE
	ELEVATION REFERENCE
	SECTION REFERENCE
	MASONRY
	CONCRETE
	EARTH
	GRAVEL/STONE
	PLYWOOD
	SAND
	WOOD CONT.
	WOOD BLOCKING
	STEEL

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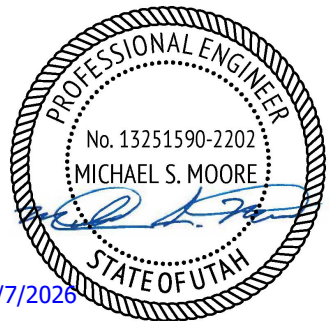
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SUBMITTALS

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PROJECT TITLE

VERIZON SITE ID: 5035313

WALMART DRAPER SC

1360 DRAPER PARKWAY
DRAPER, UT 84020

EXISTING ROOFTOP

SHEET DESCRIPTION

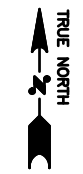
GENERAL NOTES

SHEET NO.

GN-2

NOTES

SITE PLAN DISCLAIMER:
 PROPERTY LINES AND STRUCTURES HAVE BEEN DIGITIZED FROM PREVIOUS PLAN SETS. TRYLON HAS NOT COMPLETED A SITE SURVEY AND THEREFORE MAKES NO CLAIMS TO THE ACCURACY OF THE INFORMATION DEPICTED ON THIS SHEET.



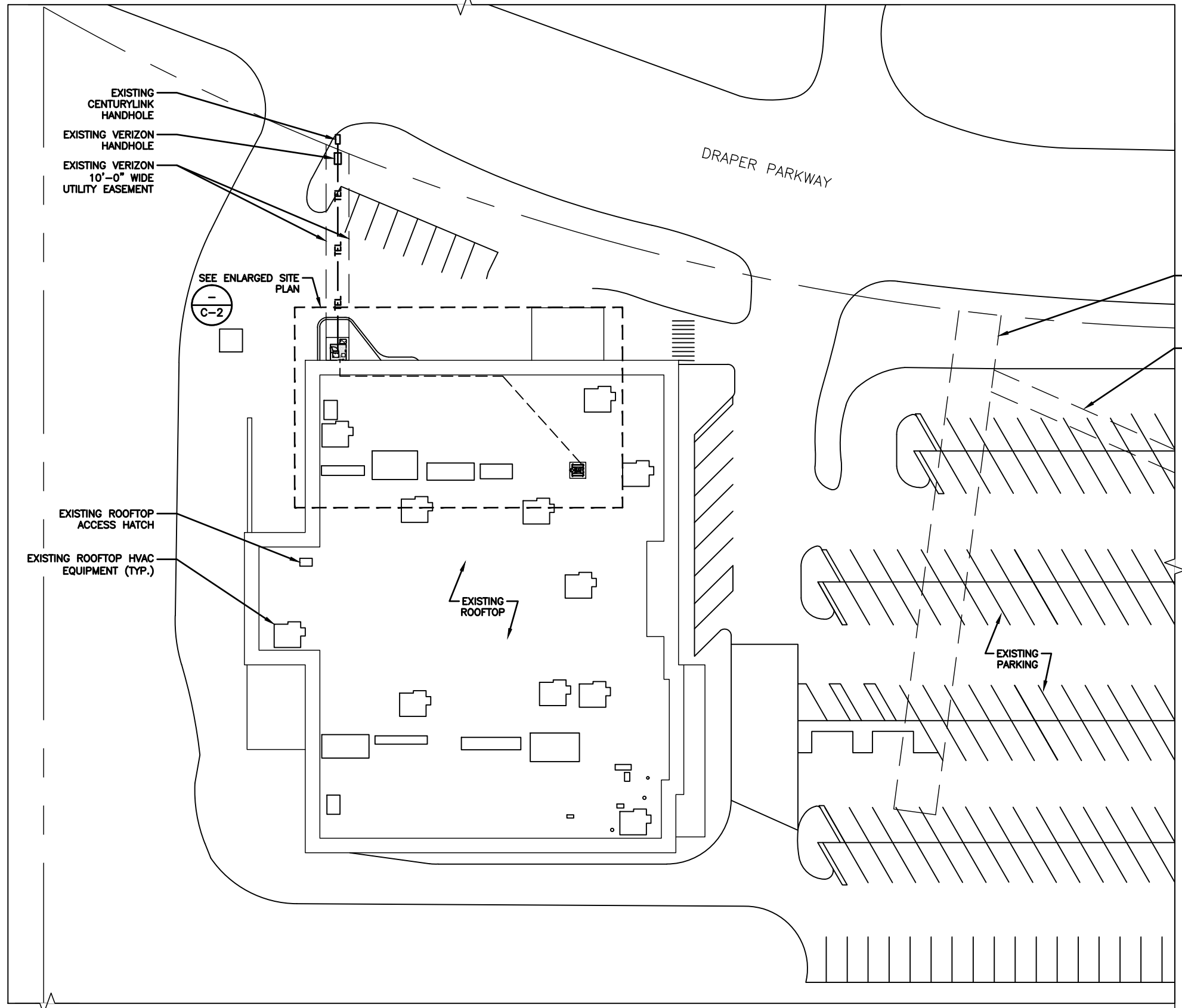
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WALMART DRAPER SC

1360 DRAPER PARKWAY
 DRAPER, UT 84020

EXISTING ROOFTOP

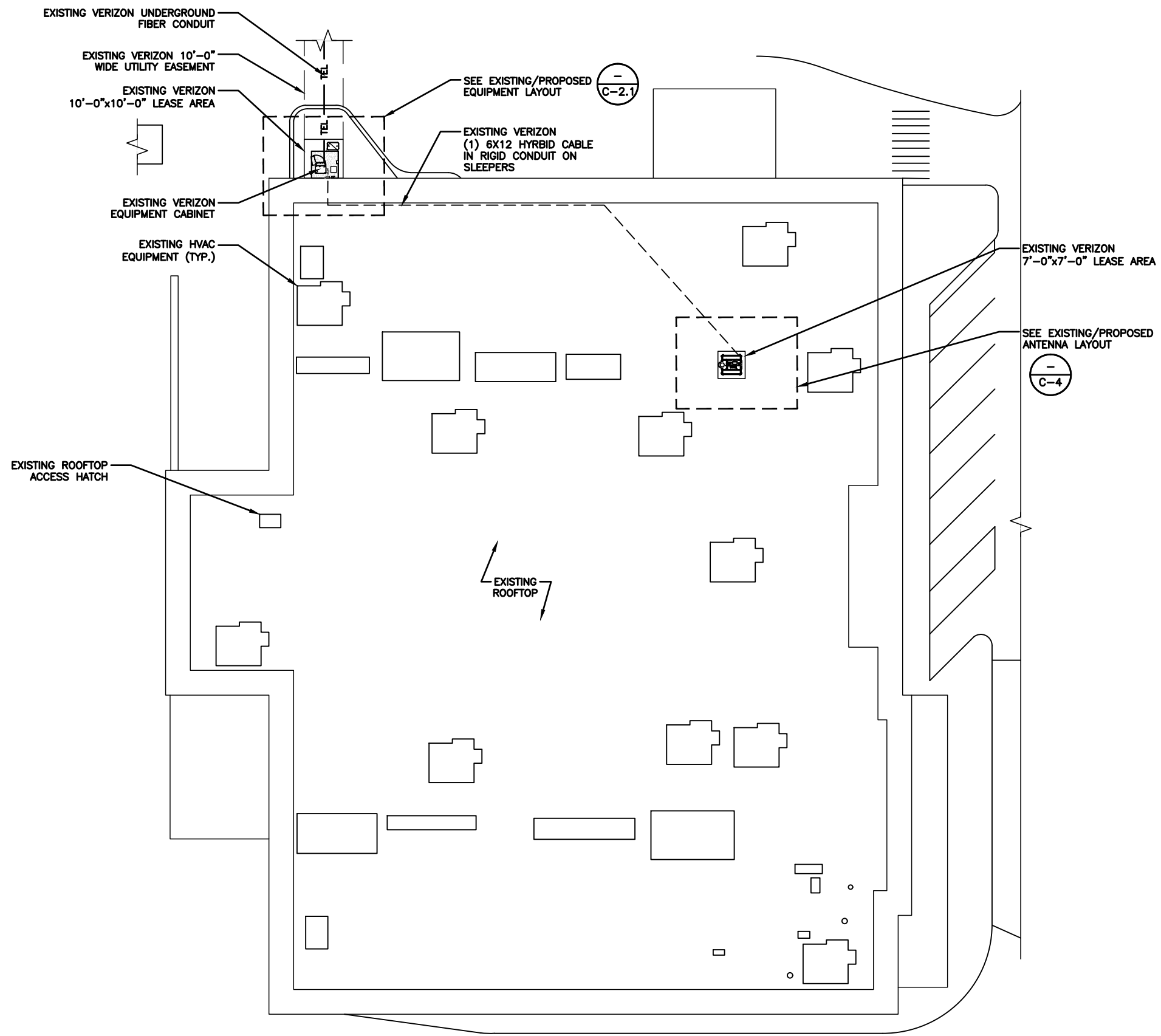
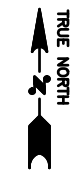
SHEET DESCRIPTION

OVERALL SITE PLAN

SHEET NO.

C-1

SITE PLAN DISCLAIMER:
 PROPERTY LINES AND STRUCTURES HAVE BEEN DIGITIZED FROM PREVIOUS PLAN SETS. TRYLON HAS NOT COMPLETED A SITE SURVEY AND THEREFORE MAKES NO CLAIMS TO THE ACCURACY OF THE INFORMATION DEPICTED ON THIS SHEET.



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PROJECT TITLE
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 1360 DRAPER PARKWAY
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 EXISTING ROOFTOP

SHEET DESCRIPTION
 ENLARGED SITE PLAN

SHEET NO.
 C-2

SUBMITTALS

REV	DATE	DESCRIPTION	BY
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PROJECT TITLE

VERIZON SITE ID: 5035313

WALMART DRAPER SC

1360 DRAPER PARKWAY
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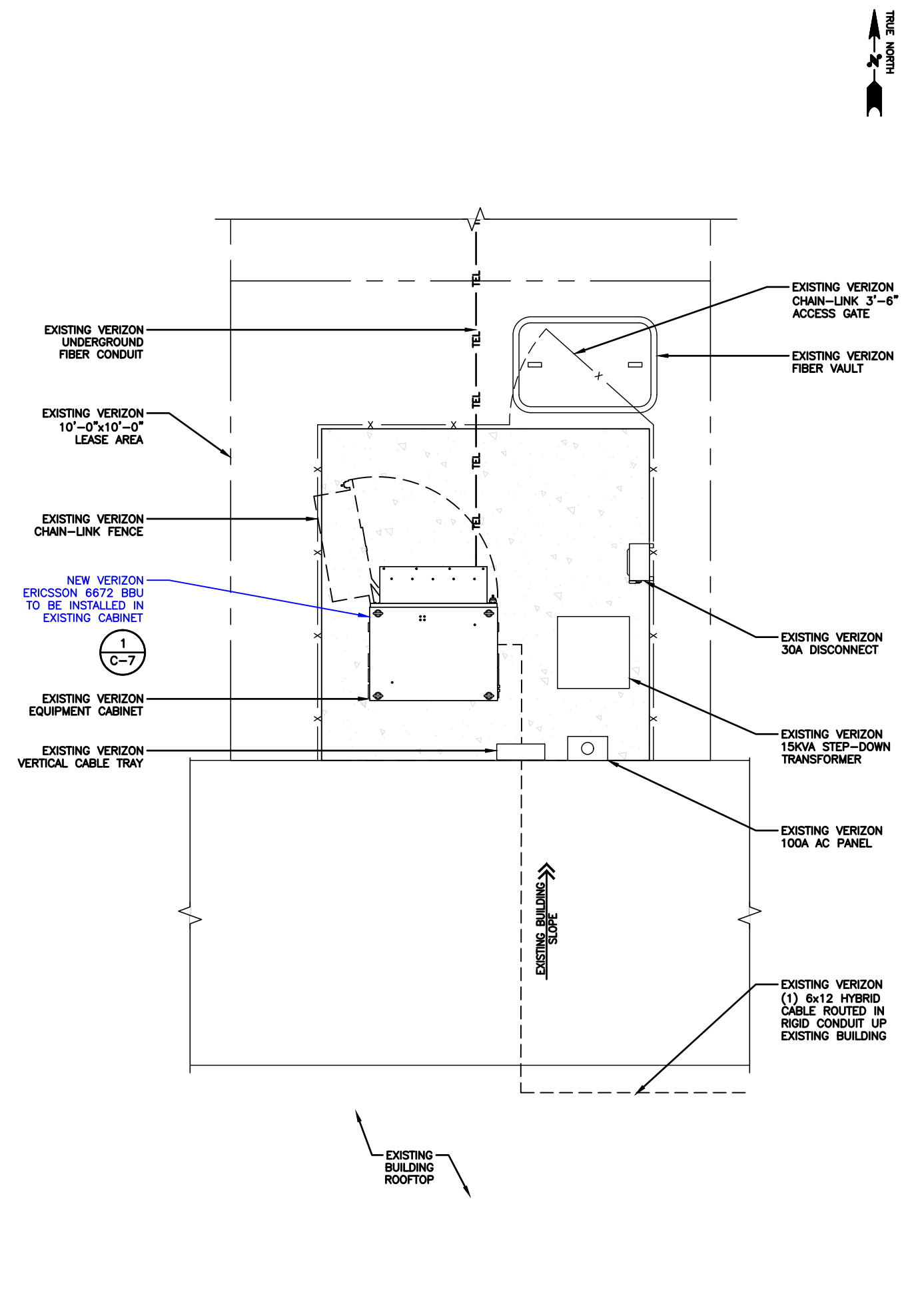
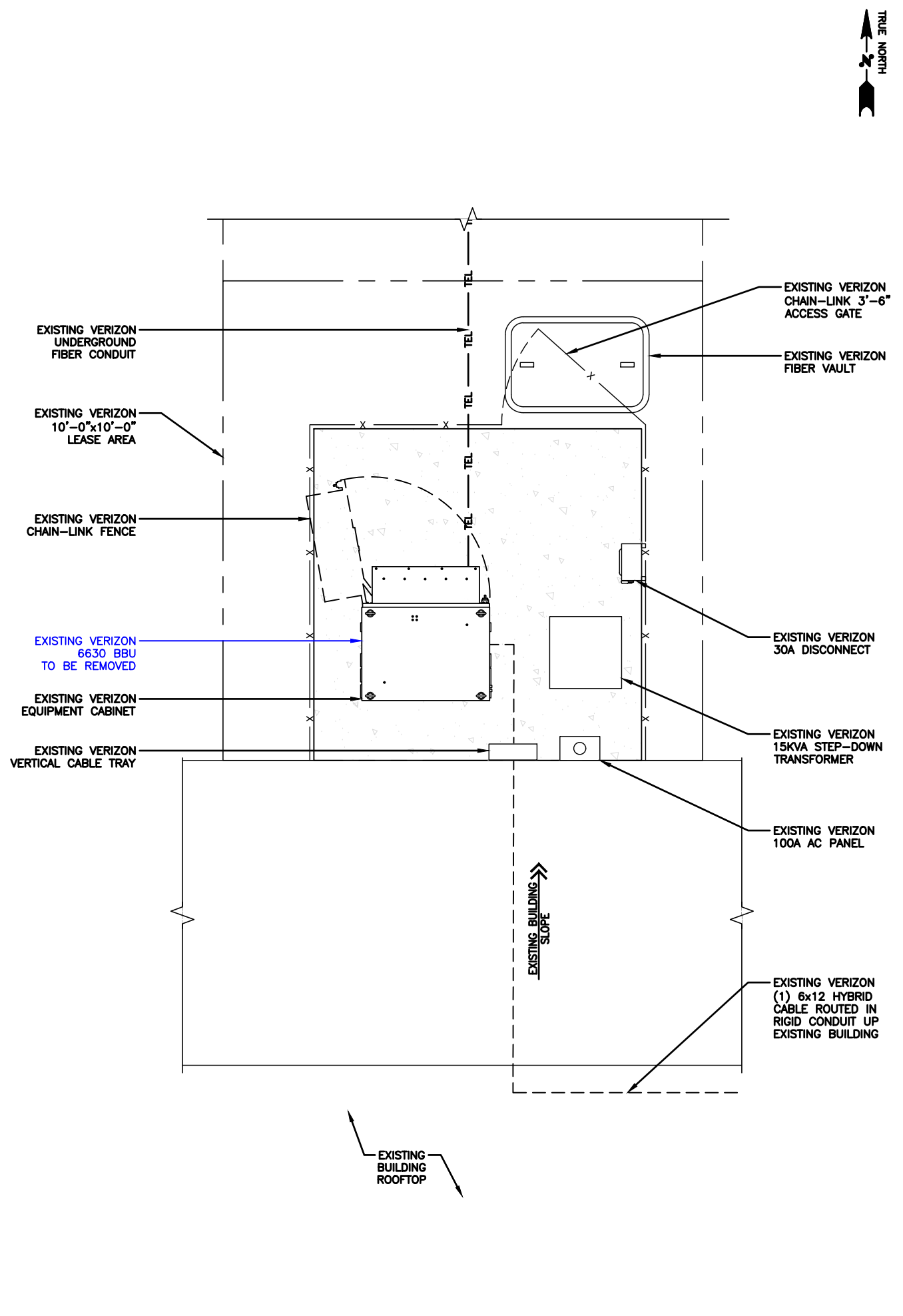
EXISTING ROOFTOP

SHEET DESCRIPTION

EXISTING AND PROPOSED
EQUIPMENT LAYOUTS

SHEET NO.

C-2.1



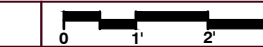
EXISTING EQUIPMENT LAYOUT



SCALE: 3/8"=1'-0" (11x17)
(OR) 3/4"=1'-0" (22x34)

1

PROPOSED EQUIPMENT LAYOUT



SCALE: 3/8"=1'-0" (11x17)
(OR) 3/4"=1'-0" (22x34)

2

SUBMITTALS

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PROJECT TITLE

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WALMART DRAPER SC

1360 DRAPER PARKWAY
DRAPER, UT 84020

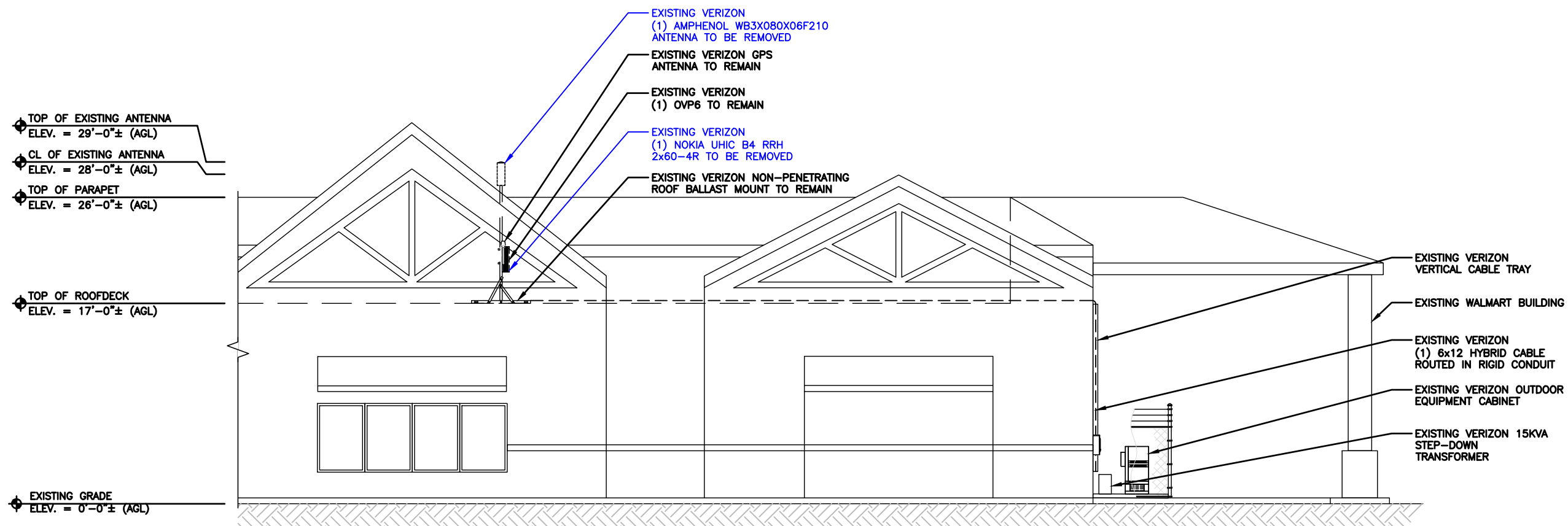
EXISTING ROOFTOP

SHEET DESCRIPTION

EXISTING AND PROPOSED
ROOFTOP ELEVATIONS

SHEET NO.

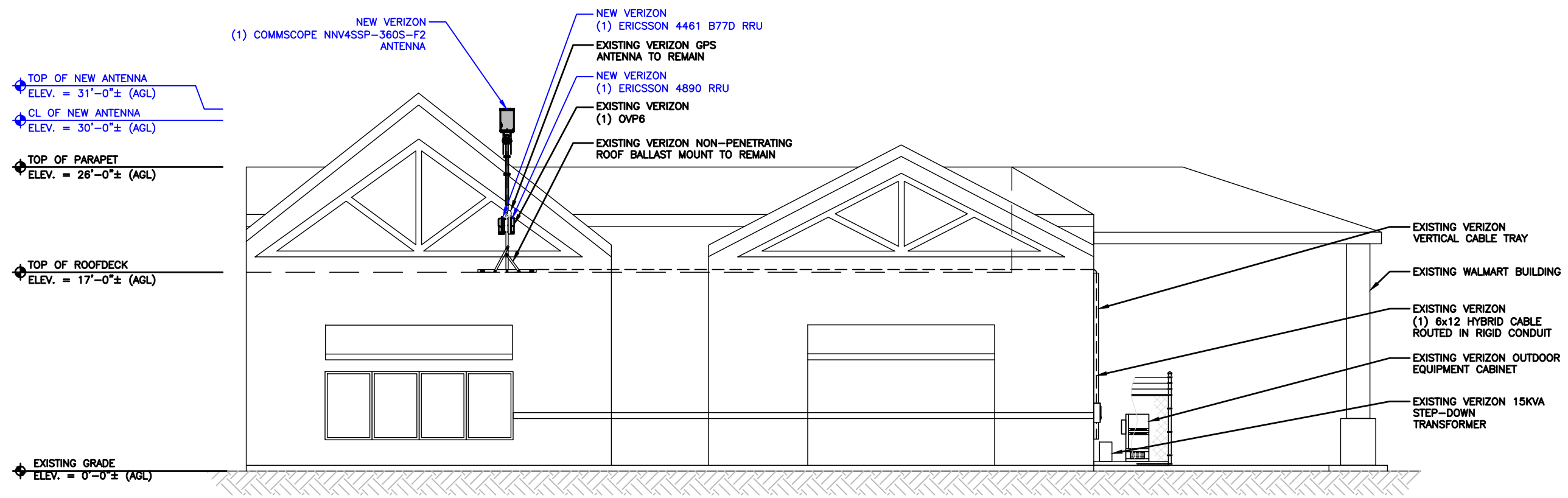
C-3



EXISTING EAST ELEVATION

SCALE: 1"=10'-0" (11x17)
(OR) 2"=10'-0" (22x34)

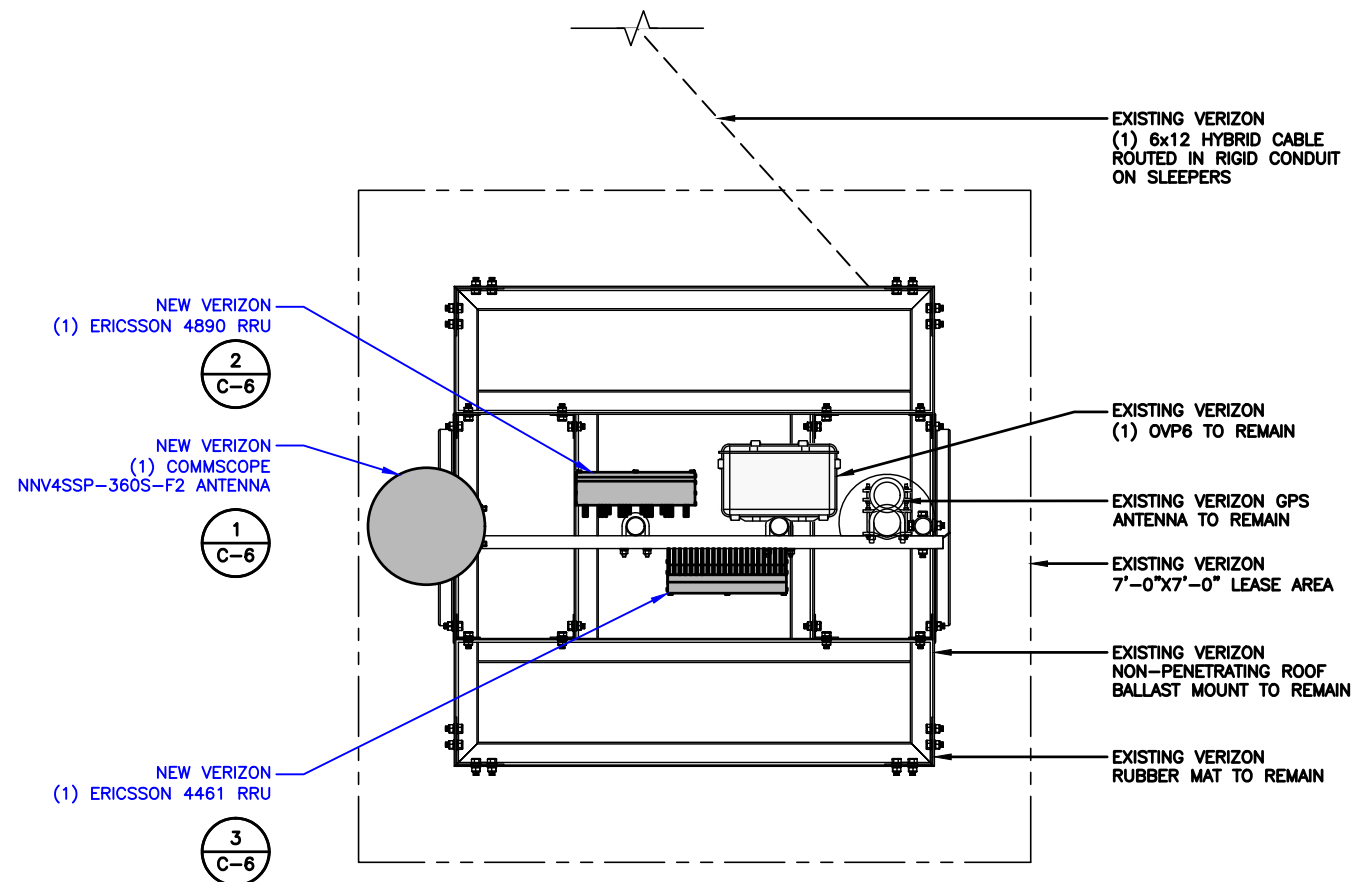
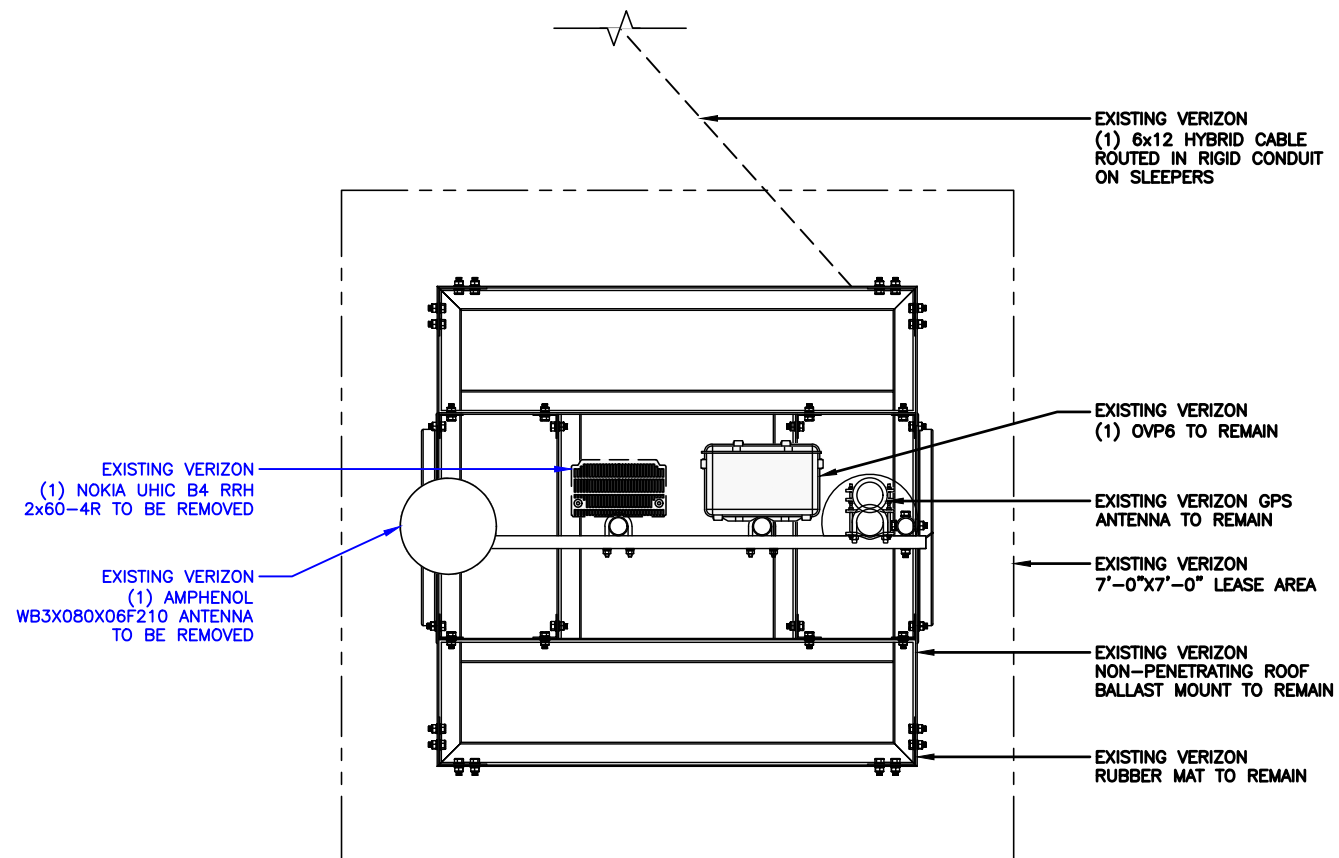
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PROPOSED EAST ELEVATION

SCALE: 1"=10'-0" (11x17)
(OR) 2"=10'-0" (22x34)

2



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SUBMITTALS

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PROJECT TITLE

VERIZON SITE ID: 5035313

WALMART DRAPER SC

1360 DRAPER PARKWAY
DRAPER, UT 84020

EXISTING ROOFTOP

SHEET DESCRIPTION

ANTENNA LAYOUTS

SHEET NO.

C-4





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EXISTING ANTENNA SCHEDULE									
SECTOR	ANTENNA POSITION	ANTENNA MAKE/MODEL	RAD CENTER	AZIMUTH	M-TILT	E-TILT	RRH MAKE/MODEL	COAX / LENGTH	HYBRID
ALPHA	#1	(E) AMPHENOL WB3X080X06F210	28'-0"	0°	0	2°	(1) (E) UHIC B4 RRH 2x60-4R RRU	-	(1) (E) 6x12 HYBRID CABLE

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
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0	04/06/26	100% CD	BCP

EXISTING ANTENNA SCHEDULE

N.T.S. 1



PROPOSED ANTENNA SCHEDULE									
SECTOR	ANTENNA POSITION	ANTENNA MAKE/MODEL	RAD CENTER	AZIMUTH	M-TILT	E-TILT	RRH MAKE/MODEL	COAX / LENGTH	HYBRID
ALPHA	#1	(N) COMMSCOPE NNV4SSP-360S-F2	30'-0"	0°	0	2°	(1) (N) ERICSSON 4890 (1) (N) ERICSSON 4461 B77D	-	(1) (E) 6x12 HYBRID CABLE

PROJECT TITLE

VERIZON SITE ID: 5035313

WALMART DRAPER SC

1360 DRAPER PARKWAY
DRAPER, UT 84020

EXISTING ROOFTOP

SHEET DESCRIPTION

ANTENNA SCHEDULE

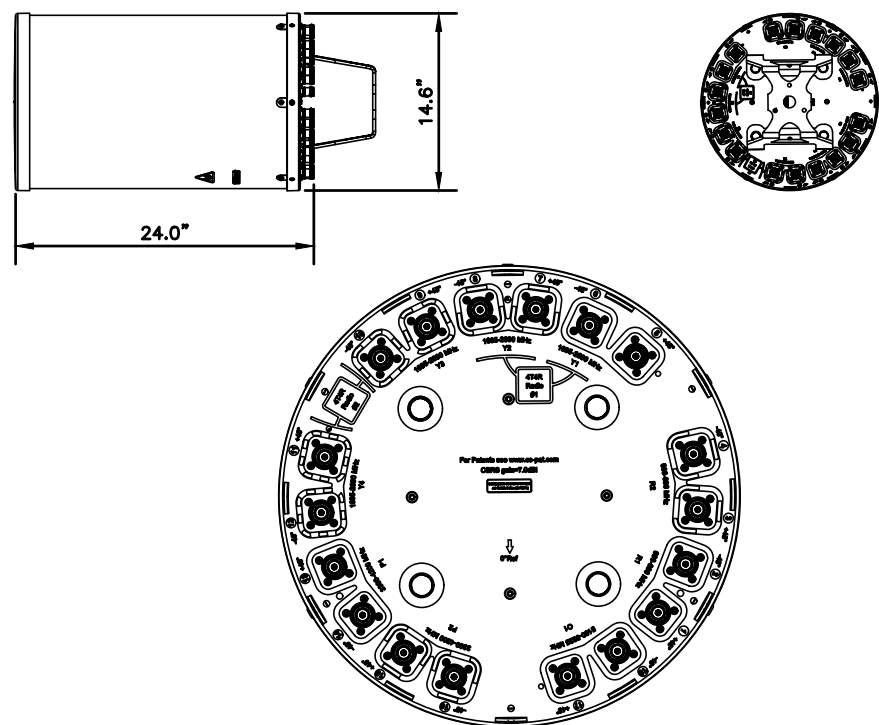
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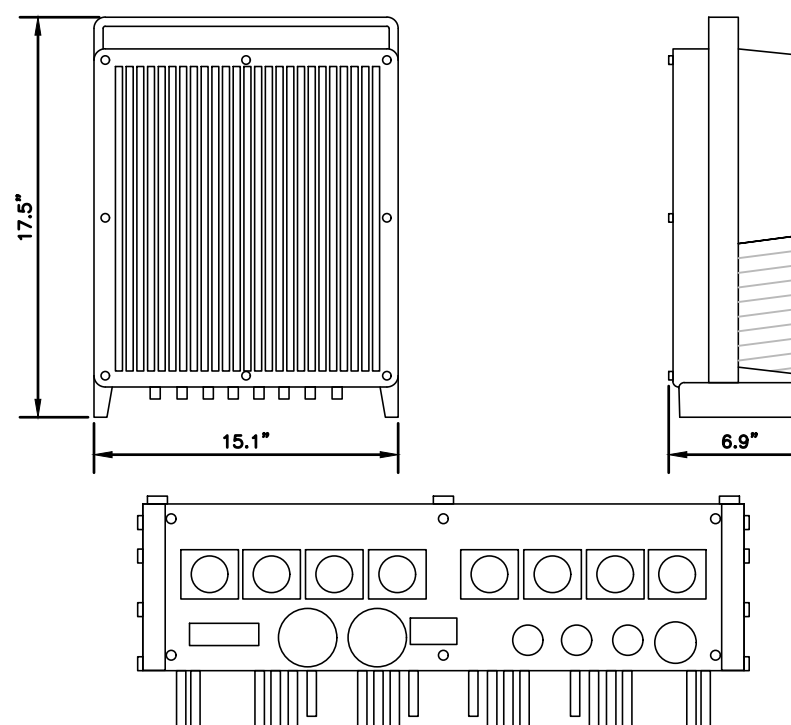
PROPOSED ANTENNA SCHEDULE

N.T.S. 2

MANUFACTURER:	COMMSCOPE
MODEL:	NNV4SSP-360S-F2
DIMENSIONS:	24" x 14.6" (H x D)
WEIGHT:	32.0 LBS



MANUFACTURER:	ERICSSON
MODEL:	4890HP 48B2/B25 48B66 M01
DIMENSIONS:	17.5" x 15.1" x 6.9" (H x W x D)
WEIGHT:	68.0 LBS



verizon

9656 S PROSPERITY RD.
WEST JORDAN, UTAH 84081

smartlink

Trylon

1825 W. WALNUT HILL LANE, SUITE 120
IRVING, TEXAS 75038
1-855-669-5421

SUBMITTALS

REV	DATE	DESCRIPTION	BY
A	02/03/26	90% CD	SBT
B	02/20/26	90% CD	SBT
C	03/23/26	90% CD	BCP
0	04/06/26	100% CD	BCP

COMMSCOPE - NNV4SSP-360S-F2 ANTENNA

N.T.S.

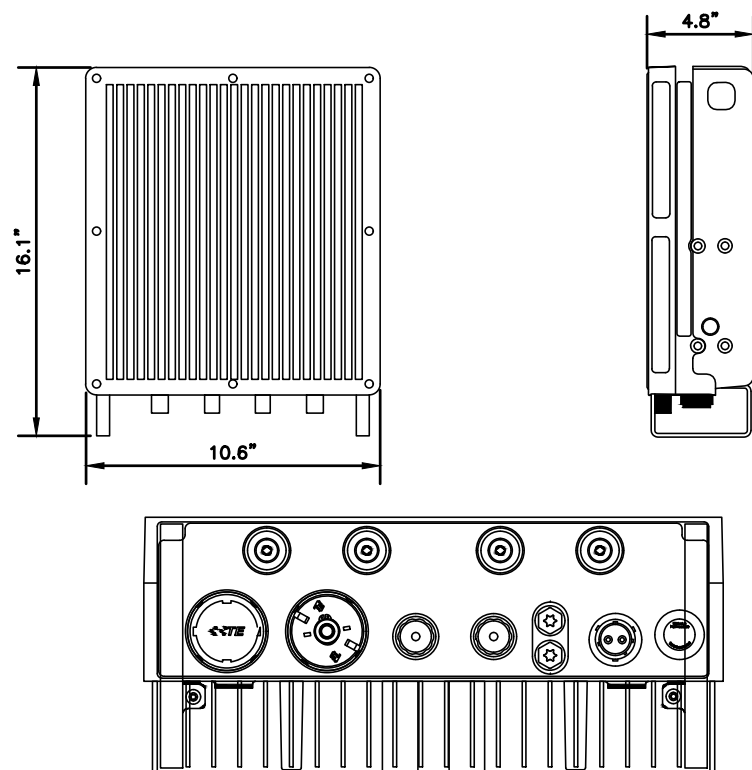
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ERICSSON - 4890 DUAL-BAND RADIO

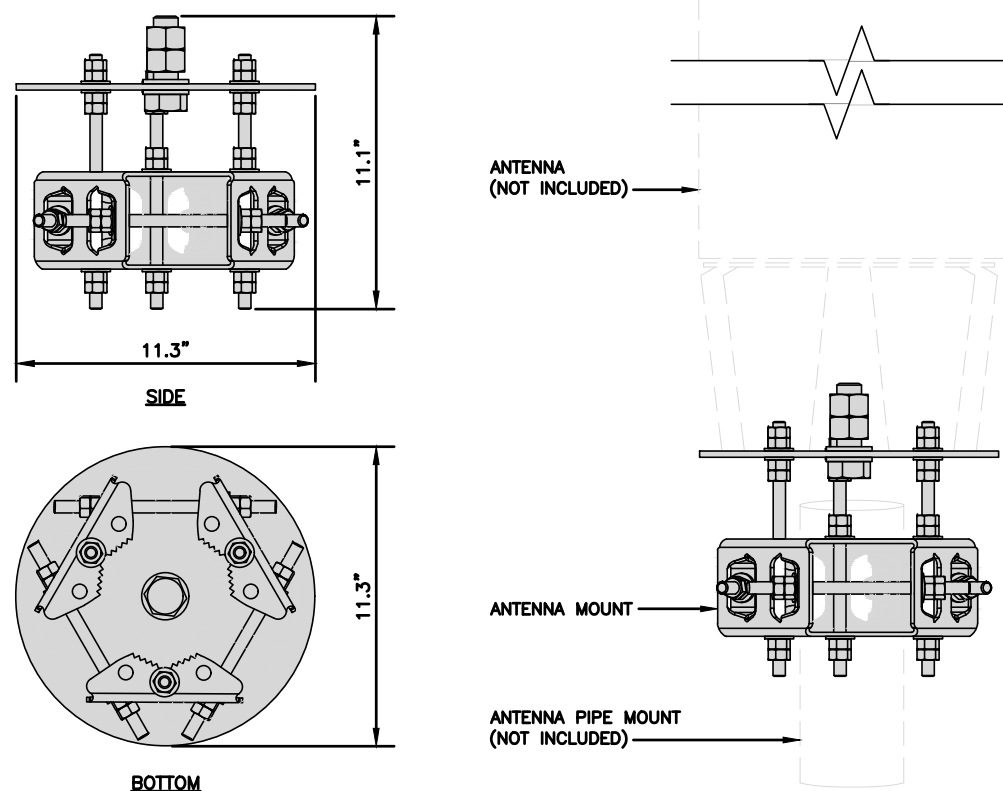
N.T.S.

2

MANUFACTURER:	ERICSSON
MODEL:	4461 B77D
DIMENSIONS:	16.1" x 10.6" x 4.8" (H x W x D)
WEIGHT:	25.9 LBS



MANUFACTURER:	ANDREW
MODEL:	MC-MNT-TS1-L
DIMENSIONS:	11.1" x 11.3" (H x D)
WEIGHT:	42.990 LBS
MATERIAL TYPE:	GALVANIZED STEEL



PROJECT TITLE

VERIZON SITE ID: 5035313

WALMART DRAPER SC

1360 DRAPER PARKWAY
DRAPER, UT 84020

EXISTING ROOFTOP

SHEET DESCRIPTION

DETAILS

SHEET NO.

C-6

ERICSSON - 4461 B77D RADIO

N.T.S.

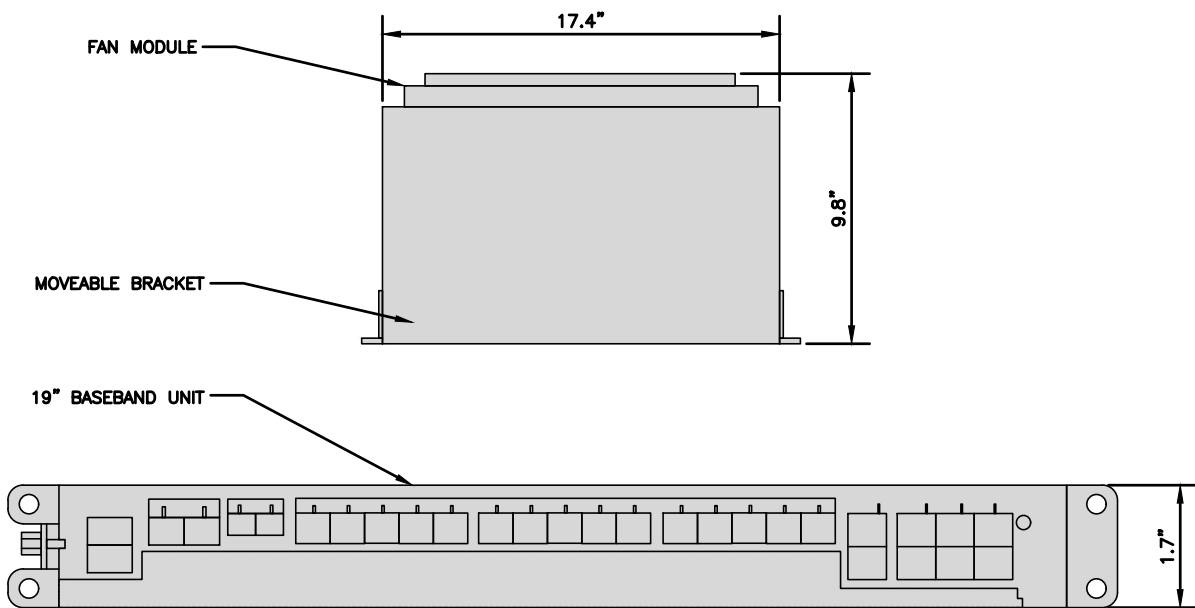
3

ANDREW - ANTENNA MOUNT DETAIL

N.T.S.

4

MANUFACTURER:	ERICSSON
MODEL:	BASEBAND 6672
DIMENSIONS:	1.7" x 17.4" x 9.8" (H x W x D)
WEIGHT:	13.2 LBS
CPRI SUPPORT:	4 GBPS



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ERICSSON - 6672 BASEBAND DETAIL

N.T.S.

1

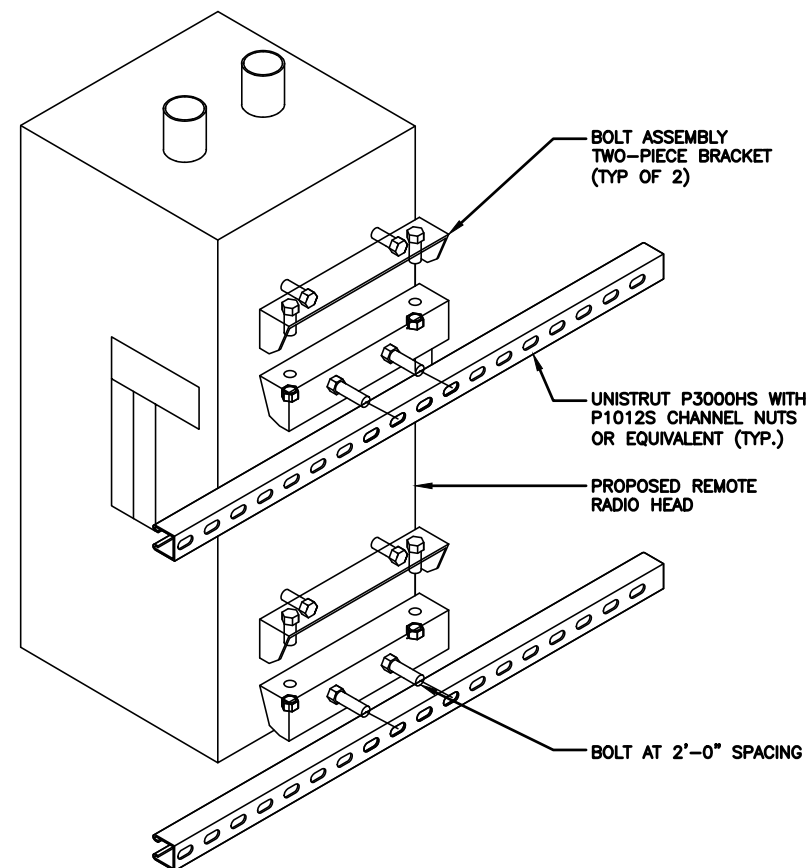
NOT USED

N.T.S.

2

INSTALLER NOTES:

1. COMPLY WITH MANUFACTURERS INSTRUCTIONS TO ENSURE THAT ALL RRU_s RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING.
2. DO NOT OPEN RRU PACKAGES IN THE RAIN.
3. ALL PIPES, BRACKETS, AND MISCELLANEOUS HARDWARE TO BE GALVANIZED UNLESS NOTED OTHERWISE.
4. ANTENNA NOT SHOWN FOR CLARITY.



TYP. RRH UNISTRUT MOUNT DETAIL

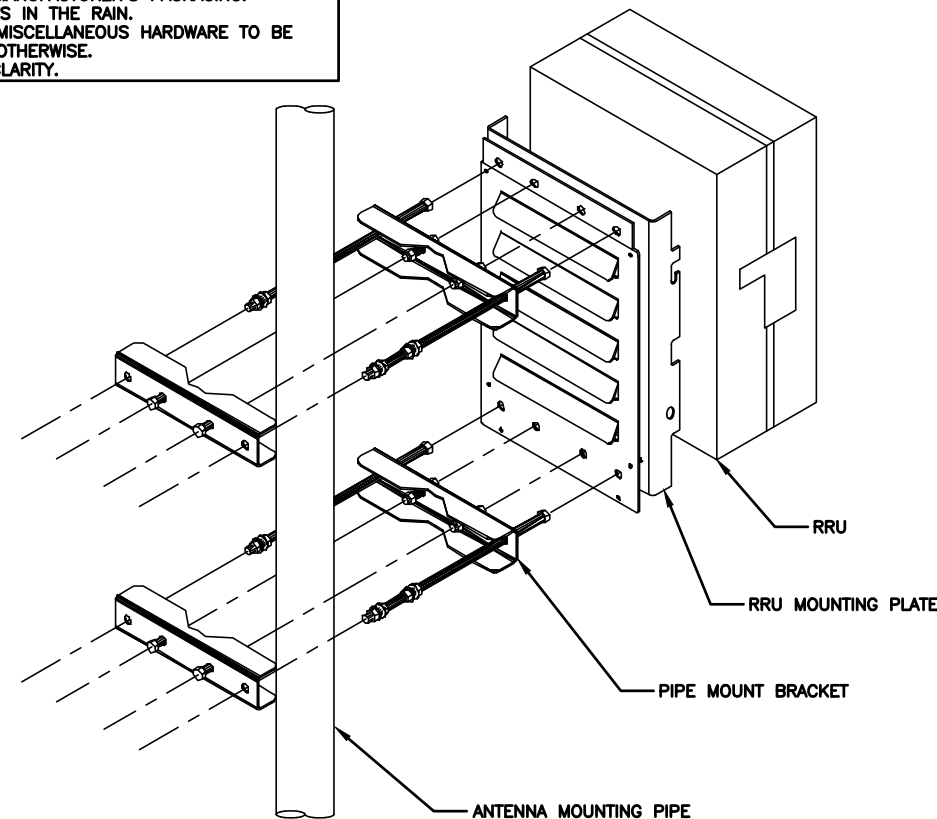
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3

RRU MOUNTING DETAIL

N.T.S.

4



4/7/2026

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WALMART DRAPER SC

1360 DRAPER PARKWAY
DRAPER, UT 84020

EXISTING ROOFTOP

SHEET DESCRIPTION

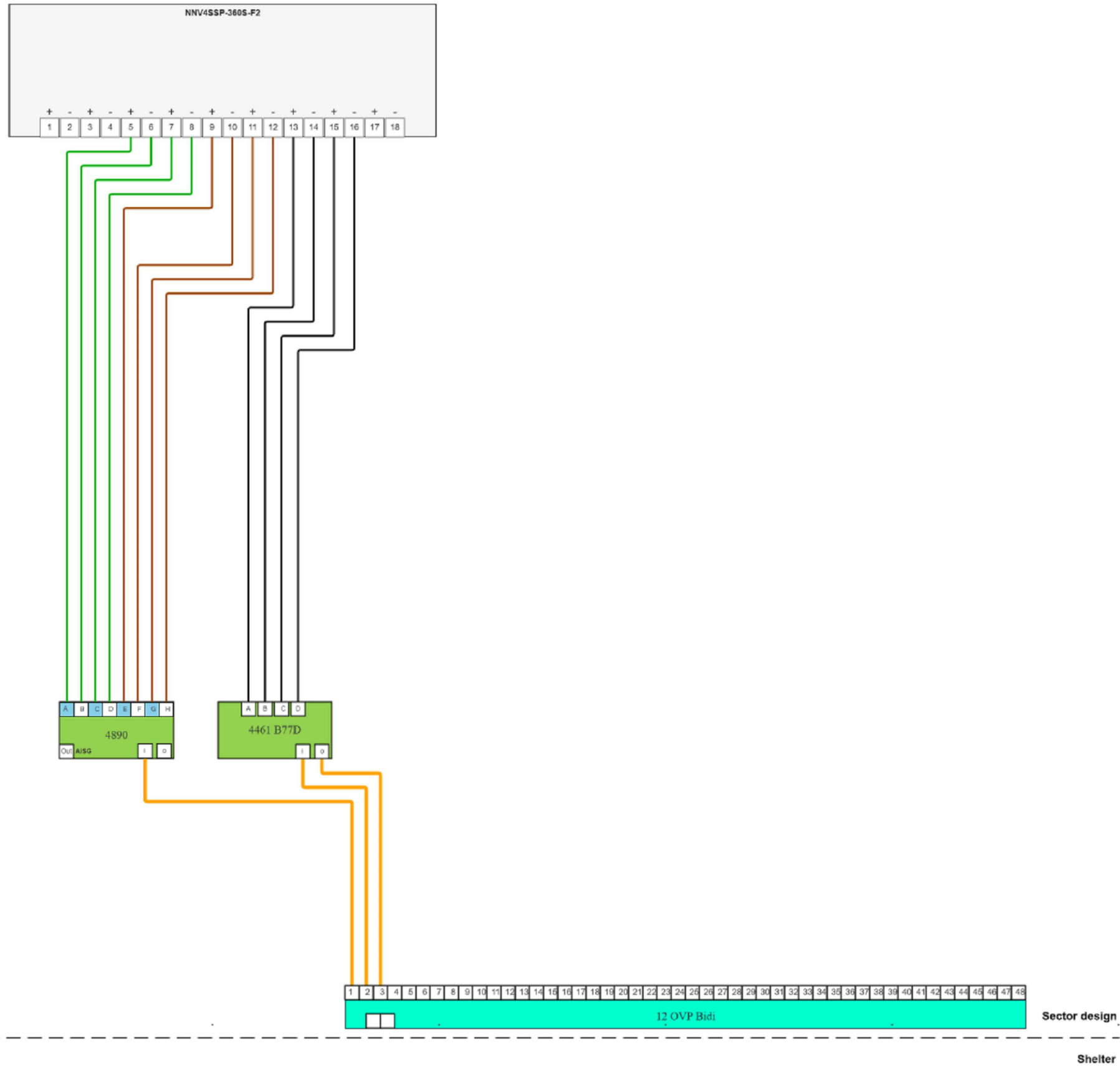
DETAILS

SHEET NO.

C-7

Alpha (Proposed)

Position 1



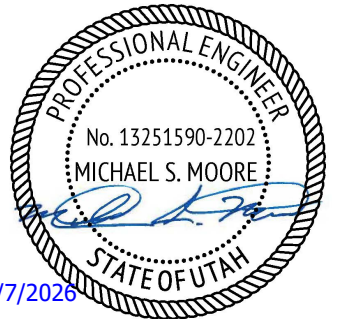
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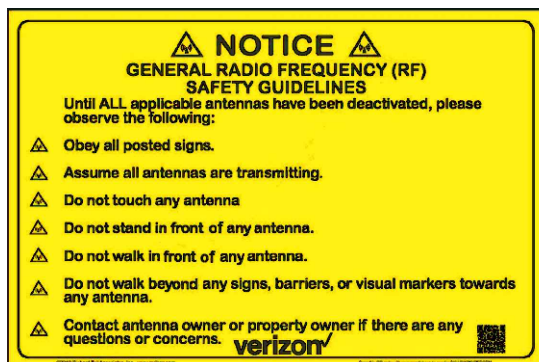
EXISTING ROOFTOP

SHEET DESCRIPTION

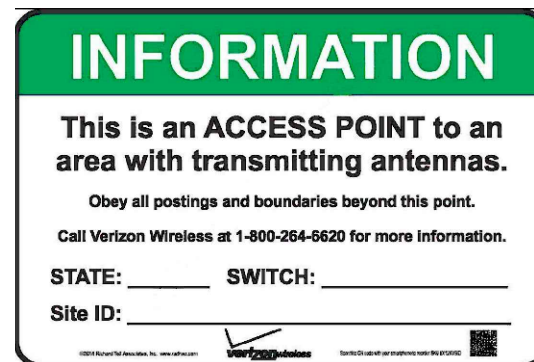
RF DIAGRAM

SHEET NO.

RF-1



SAFETY GUIDELINES

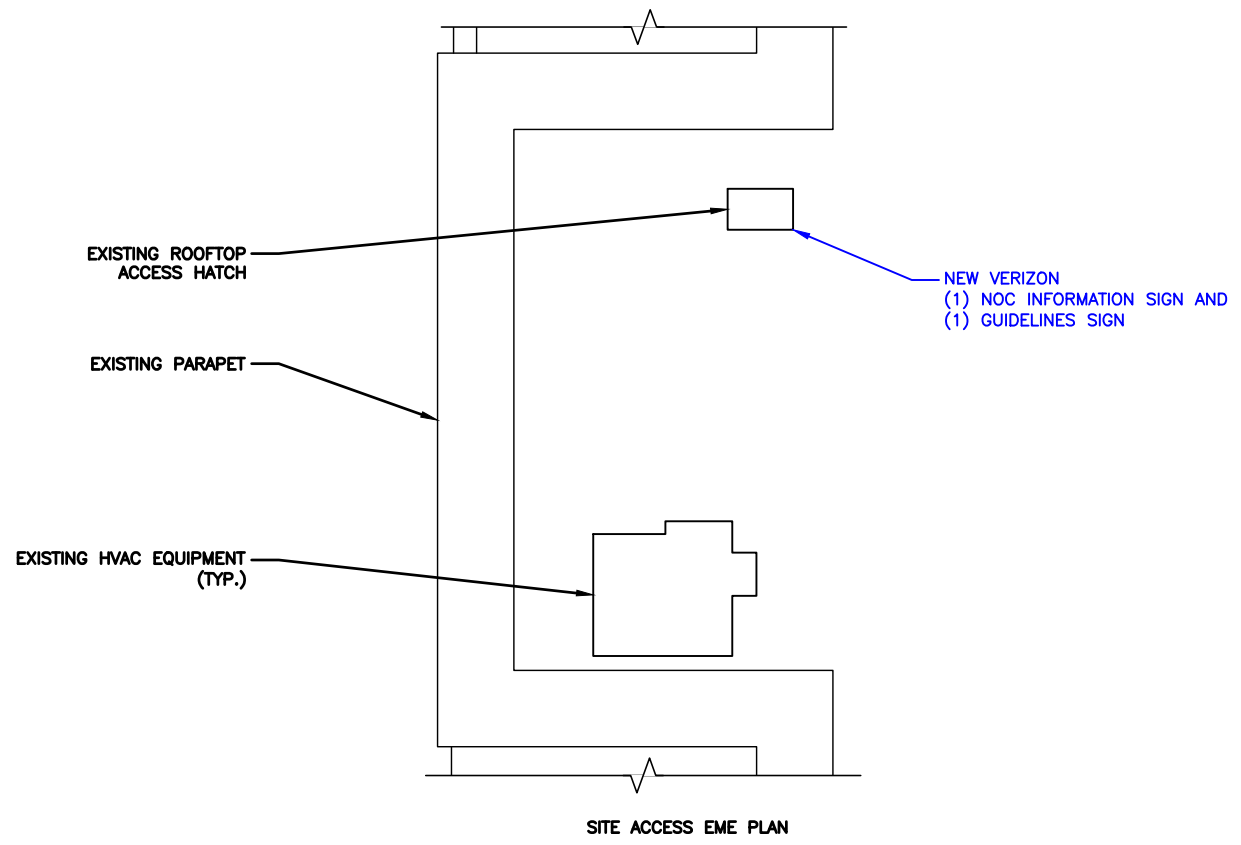


NOC INFO

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EME SIGNAGE DETAILS

N.T.S. 1



SITE ACCESS EME PLAN



4/7/2026

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WALMART DRAPER SC

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DRAPER, UT 84020

EXISTING ROOFTOP








SHEET DESCRIPTION

RF DIAGRAM

SHEET NO.

RF-2

GROUNDING PLAN LEGEND:

	#6 STRANDED COPPER WITH GREEN INSULATION GROUND WIRE
	#2 STRANDED COPPER WITH GREEN INSULATION GROUND WIRE
	#2 BARE, SOLID, TINNED COPPER GROUND WIRE
	EXOTHERMIC WELD
	MECHANICAL CONNECTION
	COPPER GROUND ROD
	GROUND ROD W/ TEST WELL

NOTE:
 SEE FINAL EQUIPMENT PLAN FOR NEW EQUIPMENT REQUIRING GROUNDING. CONTRACTOR TO VERIFY EXISTING EQUIPMENT GROUNDING IN FIELD. CONTRACTOR TO VERIFY IN FIELD AND INSTALL ANY MISSING T-MOBILE GROUND BARS ON SITE.

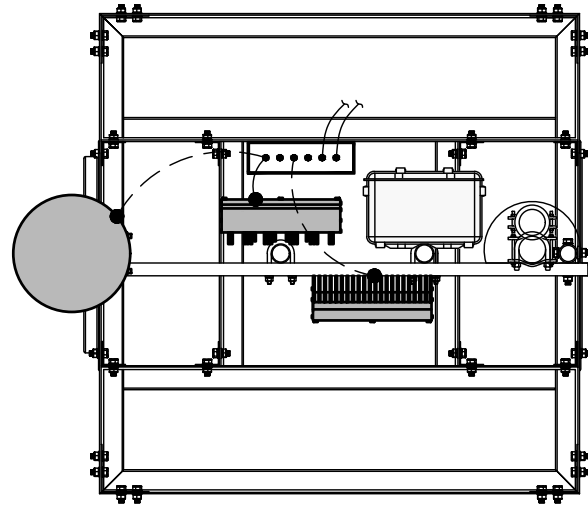


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PROFESSIONAL ENGINEER
 No. 13251590-2202
 MICHAEL S. MOORE
 STATE OF UTAH
 4/7/2026

PROJECT TITLE

VERIZON SITE ID: 5035313

WALMART DRAPER SC

1360 DRAPER PARKWAY
 DRAPER, UT 84020

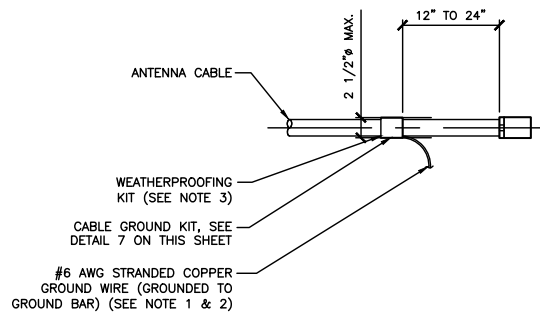
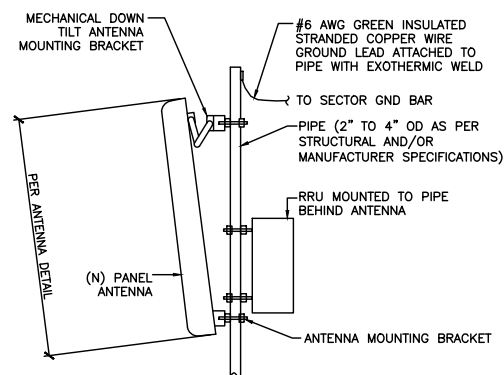
EXISTING ROOFTOP

SHEET DESCRIPTION

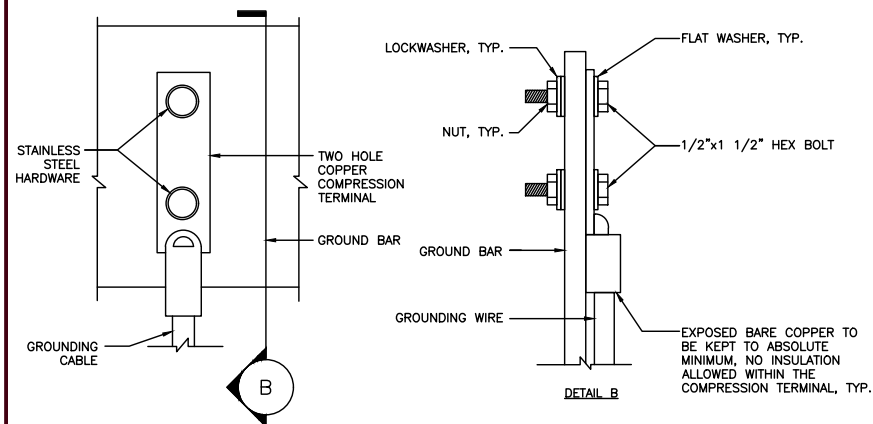
GROUNDING DETAILS

SHEET NO.

G-1



- NOTES:**
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 - GROUNDING KIT SHALL BE ANDREW SUREGROUND TYPE KIT WITH TWO-HOLE LUG.
 - WEATHER PROOFING SHALL BE ANDREW TWO-PART TAPE SUPPLIED WITH KIT. COLD SHRINK SHALL NOT BE USED.



- NOTES:**
- "DOUBLING UP" OR "STACKING" OF CONNECTIONS IS NOT PERMITTED.
 - OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS AND TO BE APPLIED PRIOR TO ADDING HARDWARE.

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4/7/2026

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WALMART DRAPER SC

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DRAPER, UT 84020

EXISTING ROOFTOP

SHEET DESCRIPTION

GROUNDING DETAILS

SHEET NO.

G-2

ANTENNA PIPE MOUNT GROUNDING DETAIL

N.T.S.

1

CABLE GROUND KIT DETAIL

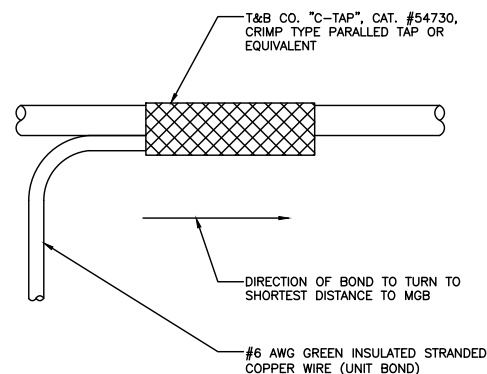
N.T.S.

2

TYPICAL GROUND LUG CONNECTION DETAIL

N.T.S.

3



GROUNDING WIRE CONNECTION

N.T.S.

4

ANTENNA GROUNDING BAR CONNECTION DETAIL

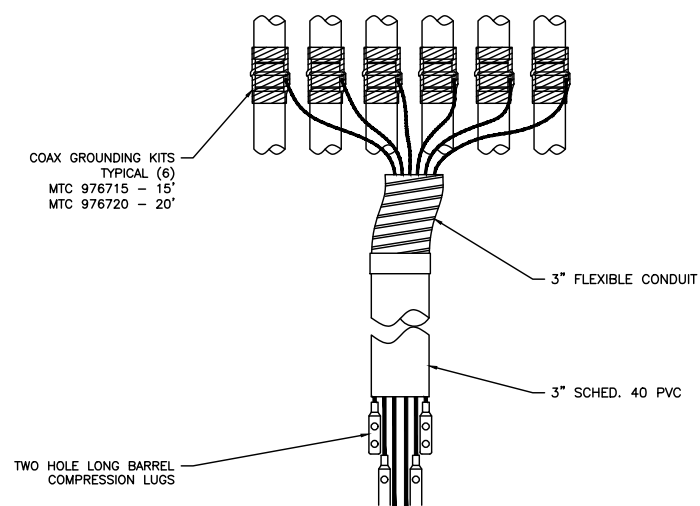
N.T.S.

5

ANTENNA (12") GROUND BAR DETAIL

N.T.S.

6



COAX GROUND KIT

N.T.S.

7

RRU GROUNDING DETAIL

N.T.S.

8

TYPICAL CADWELD TYPES

N.T.S.

9

