



**ANALYSIS**

General Plan and Zoning. The Land Use Map of the General Plan calls for the Residential High Density land use designation for the subject property (Exhibit C). This category is characterized as follows:

*Residential High Density*

LAND USE DESCRIPTION			
<b>CHARACTERISTICS</b>	<ul style="list-style-type: none"> <li>• Abundant landscaping</li> <li>• Architectural variation between units and/or buildings, designed to look like houses, not boxes</li> <li>• Avoid walls and fences, except for screening and buffering with neighboring developments</li> </ul>		
<b>LAND USE MIX</b>	<table border="0"> <tr> <td> <b>Primary</b> <ul style="list-style-type: none"> <li>• Patio homes</li> <li>• Townhouses</li> <li>• Multifamily housing</li> </ul> </td> <td> <b>Secondary</b> <ul style="list-style-type: none"> <li>• Parks</li> <li>• Churches</li> <li>• Schools</li> <li>• Open Space</li> </ul> </td> </tr> </table>	<b>Primary</b> <ul style="list-style-type: none"> <li>• Patio homes</li> <li>• Townhouses</li> <li>• Multifamily housing</li> </ul>	<b>Secondary</b> <ul style="list-style-type: none"> <li>• Parks</li> <li>• Churches</li> <li>• Schools</li> <li>• Open Space</li> </ul>
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<b>DENSITY</b>	<ul style="list-style-type: none"> <li>• Density range: 8-12 dwelling units per acre</li> </ul>		
<b>COMPATIBLE ZONING</b>	<ul style="list-style-type: none"> <li>• Institutional care (IC)</li> <li>• Multiple-family Residential (RM1)</li> <li>• Multiple-family Residential (RM2)</li> <li>• Master Planned Community (MPC)</li> </ul>		
<b>LOCATION</b>	<ul style="list-style-type: none"> <li>• Near retail centers, offices, or other compatible uses</li> <li>• Near major transit investment corridors</li> </ul>		
<b>OTHER CRITERIA</b>	<ul style="list-style-type: none"> <li>• Care must be taken to minimize impacts on other residential areas to provide adequate circulation to accommodate the traffic demands</li> <li>• The developer must demonstrate that the project provides a quality living environment</li> </ul>		

The property has been assigned the CG zoning classification (Exhibit D). According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CG zone is to *“provide areas to accommodate commercial uses which are not within shopping centers of integrated design. This zone is intended to apply to existing “strip commercial” developments. The zone should not be used for new commercial development unless integrated shopping center development is not practical or desirable because of difficult size, shape, topography, or similar problems related to land otherwise deemed to be appropriate for commercial use. Typical uses in this zone include offices, retail stores, personal services, heavy commercial, and institutional uses.”* The property abuts the R3 (Single-family Residential, 13,000 square foot lot minimum) zone on the west, east, and south. The CR (Regional Commercial) zone abuts on the north.

Site Plan Layout. The applicant is proposing to add two new wings to the building (Exhibit E). These additions will create an additional 34 units. Each addition will be two stories in height and will be located along the west side of the existing building. This area is currently



finished with sod. The 2017 site plan contemplated the expansion and the applicant provided the necessary improvements for the addition at that time. The site complies with both parking requirement and landscaping standards with the expansion added to the site. There are 60 existing parking spaces on the property. The existing and proposed units, 108, requires 54 parking spaces per DCMC Section 9-25-100. The site will contain 21% overall landscaping once the additions are constructed. The minimum required by code is 20% per DCMC Section 9-22-050(D).

Architecture. The buildings will be 26-feet tall (Exhibit F). Building materials will be a hardi-board shack single, hardi-board vertical siding, rock, and stucco. The additions will match the existing building architecturally.

Previous Conditions of Approval. The Planning Commission placed the following conditions of approval on the original Site Plan for the property on May 11, 2017:

1. That all requirements of the Draper City Engineering and Public Works Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the Draper City Building and Planning Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Unified Fire Authority are satisfied throughout the development of the site and the construction of all buildings on the site.
4. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
5. Address any outstanding redlines.
6. Provide a will serve letter from South Valley Sewer District and WaterPro.
7. This project will need approval from the State Fire Marshal's Office.
8. Obtain approval from the East Jordan Canal for any changes proposed within their easement area. If approval is not granted, changes may be required to the plans. Necessary changes may be approved at the staff level.

Criteria For Approval. The criteria for review and potential approval of a Amended Site Plan request is found in Sections 9-5-090(E) and (H) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

- E. Standards For Approval: The following standards shall apply to the approval of a site plan:*
- 1. The entire site shall be developed at one time unless a phased development plan is approved.*
  - 2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.*

3. *The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.*
4. *The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.*
5. *The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.*

*H. Amendments: Except as may be provided for in this section, no element of an approved site plan shall be changed or modified without first obtaining approval of an amended site plan as follows:*

1. *Alteration or expansion of an approved site plan may be permitted by the Zoning Administrator upon making the following findings:*
  - a. *The proposed use is consistent with uses permitted on the site;*
  - b. *Existing uses were permitted when the site plan was approved, or have received a conditional use permit;*
  - c. *The proposed use and site will conform to applicable requirements of this Code;*
  - d. *The proposed expansion meets the approval standards of subsection E of this section;*
  - e. *The site can accommodate any change in the number of people on the site or any change in impact on surrounding infrastructure; and*
2. *If the Zoning Administrator cannot make the findings required in this subsection H, the amended site plan may only be approved by the Planning Commission. The Planning Commission may only approve an amended site plan after a public hearing that complies with all requirements of this code, including section 9-5-045.*
3. *If the Zoning Administrator can make all findings required in this subsection H the Zoning Administrator may approve the proposed amendment without a public hearing and without notice.*
4. *Properties that do not conform to the standards found within this code may be required to come into compliance, subject to the standards in 9-6-040, 9-6-050, 9-6-060, and 9-6-070 of this title.*

## **REVIEWS**

*Planning Division Review.* The Draper City Planning Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

*Engineering and Public Works Divisions Review.* The Draper City Engineering and Public Works Divisions have completed their reviews of the Amended Site Plan submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

### **STAFF RECOMMENDATION**

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.

The findings for approval as are follows:

1. The entire site was approved as phased development.
2. The site plan conforms to applicable standards set forth DCMC Title 9, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

**DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT**

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

\_\_\_\_\_  
Draper City Public Works Department

\_\_\_\_\_  
Draper City Planning Division

\_\_\_\_\_  
Draper City Fire Department

\_\_\_\_\_  
Draper City Legal Counsel

\_\_\_\_\_  
Draper City Building Division



## **EXHIBIT A DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

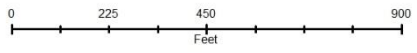
### *Engineering and Public Works Divisions Review.*

1. Stormwater Maintenance Plan and Agreement are now required for every private storm drainage system, per DCMC 16-2-170. Submission of the maintenance plan is now required prior to site approval. The maintenance agreement is a condition of approval; it is required to be recorded and returned to the city prior to issuance of the Land Disturbance Permit for construction of the site.
2. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance. *(Informational comment. No action required at this time.)*

# EXHIBIT B AERIAL MAP

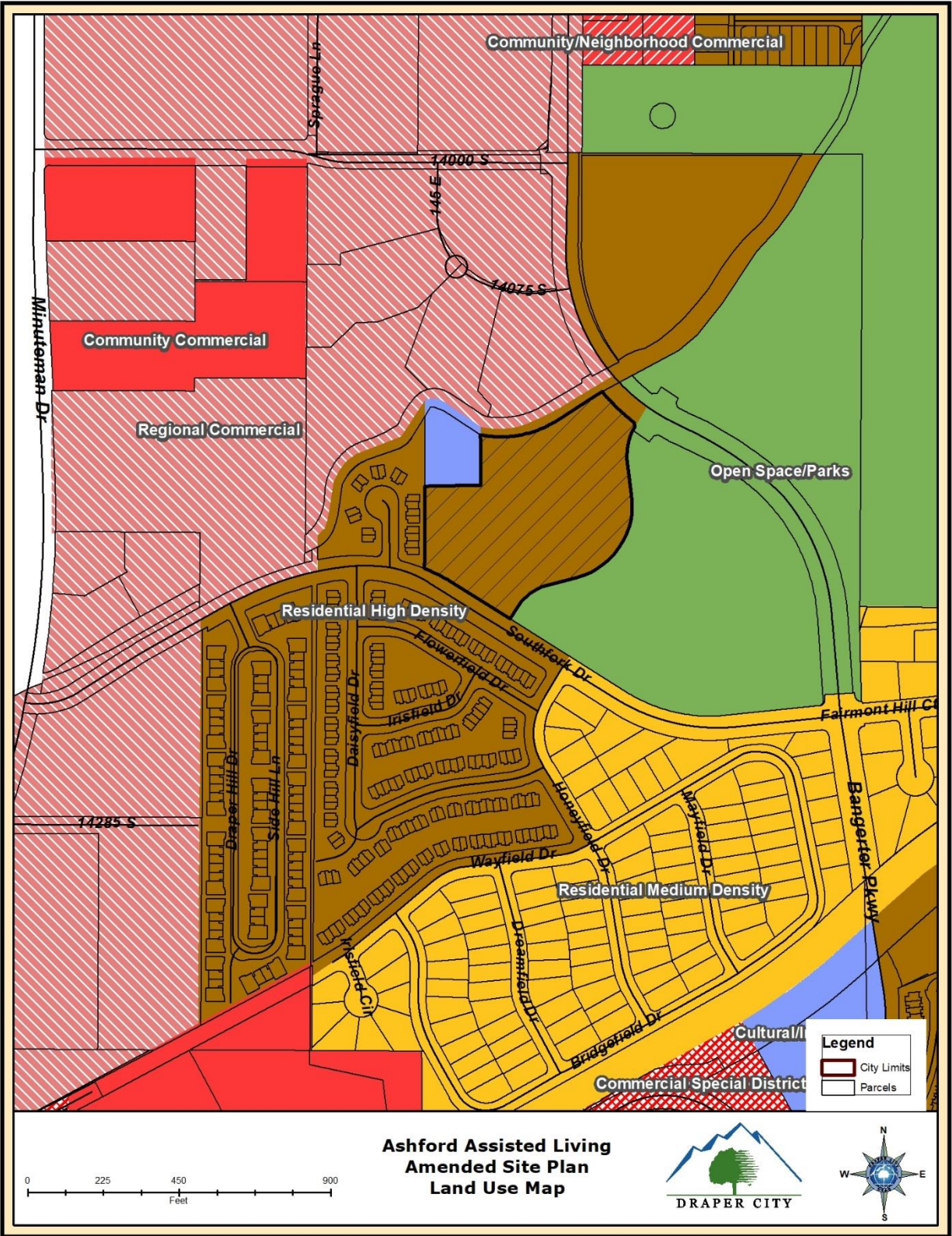


Ashford Assisted Living  
Amended Site Plan  
Aerial Map

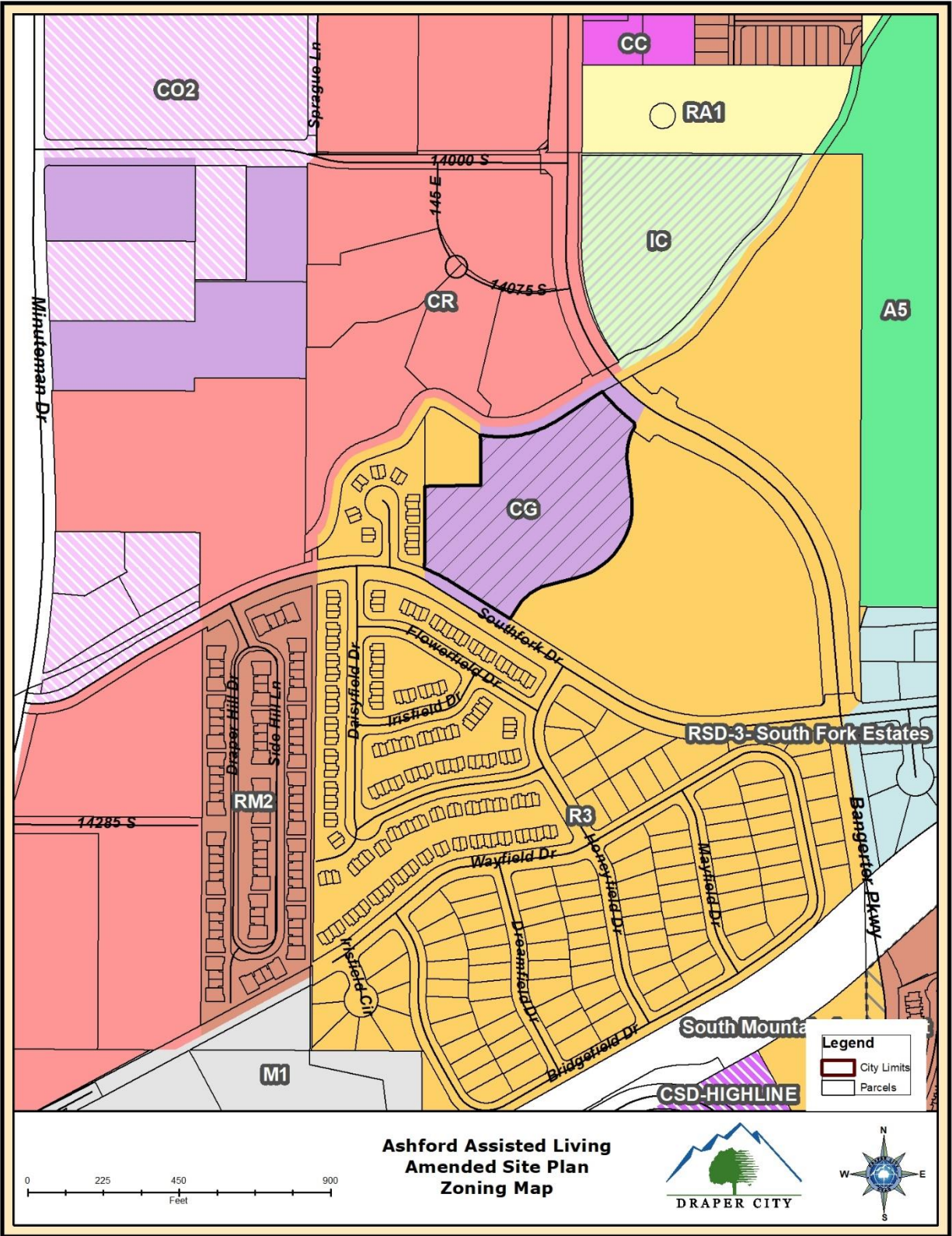




# EXHIBIT C LAND USE MAP



# EXHIBIT D ZONING MAP



**EXHIBIT E**  
**SITE PLAN**



**EXHIBIT F  
ELEVATIONS**

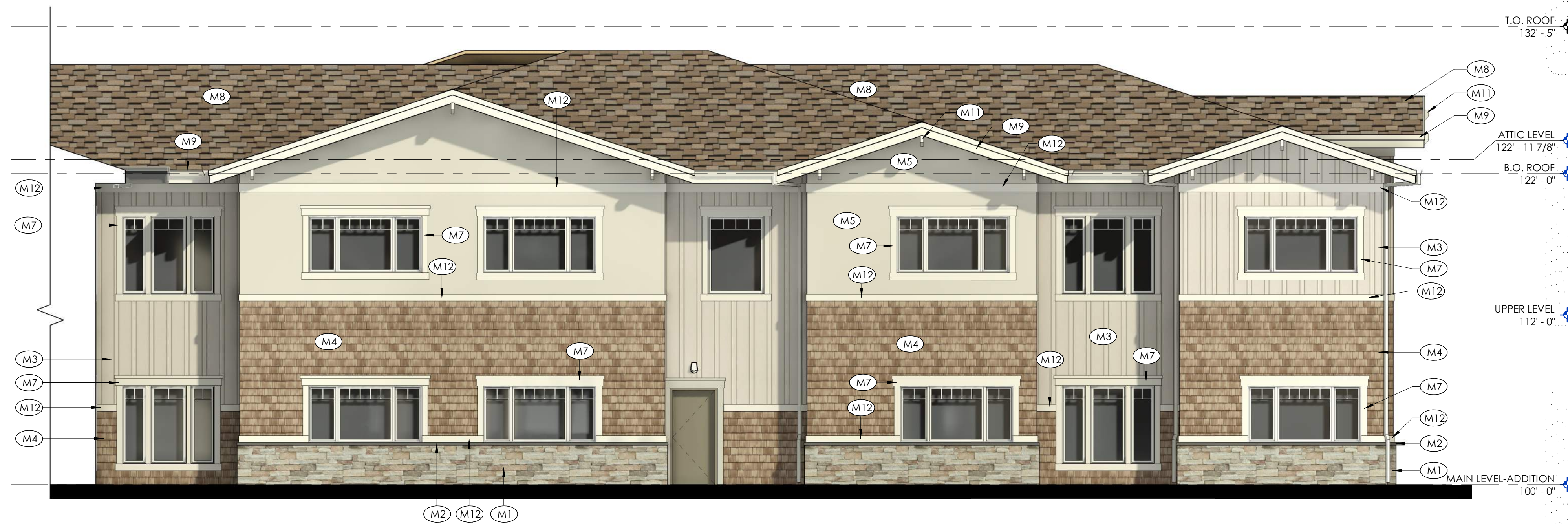


**3 SOUTH WING - EAST - COLOR**  
SCALE: 3/16" = 1'-0"

**SHAKE - 260 32%**  
**VERTICAL - 408 50%**  
**ROCK - 144 18%**  
**STUCCO - 0 -**

**WALL AREA: 812 SQ FT**

MATERIAL SCHEDULE	
(M1)	CULTURED STONE - HARRISTONE UTAH LEDGESTONE "SUMMIT"
(M2)	PRECAST CONCRETE CAP
(M3)	FIBER CEMENT PANEL - BOARD AND BATTEN - PAINT COLOR CUSTOM TAN
(M4)	FIBER COMPOSITE SHAKE - CEDAR COLOR
(M5)	STUCCO - DRYVIT "DOVER GRAY"
(M6)	VINYL WINDOW - WHITE
(M7)	FIBER CEMENT WINDOW/DOOR TRIM - BENJAMIN MOORE "MANCHESTER TAN"
(M8)	ASPHALT SHINGLE ROOFING - TO MATCH TAMKO "RUSTIC SLATE"
(M9)	METAL - FASCIA/SOFFIT - ALMOND
(M10)	METAL - GUTTER - ALMOND
(M11)	DECORATIVE BRACKET - BENJAMIN MOORE "MANCHESTER TAN"
(M12)	FIBER CEMENT BOARD TRIM - BENJAMIN MOORE "MANCHESTER TAN"
(M13)	VINYL TRELLIS - ALMOND
(M14)	WALL LOUVER - COLOR TO MATCH SURROUNDING MATERIAL. ENSURE EXHAUST IS NOT WITHIN 3'-0" OF OPERABLE PORTION OF WINDOW. SEE MECHANICAL PLANS FOR SIZES
(M15)	FIBER CEMENT PANEL COLUMNS - BENJAMIN MOORE "MANCHESTER TAN"
(M17)	METAL DOWNSPOUT - ALMOND



**2 SOUTH WING - NORTH - COLOR**  
SCALE: 3/16" = 1'-0"

**SHAKE - 567 34%**  
**VERTICAL - 495 30%**  
**ROCK - 173 11%**  
**STUCCO - 419 25%**

**WALL AREA: 1654 SQ FT**



**1 SOUTH WING - SOUTH - COLOR**  
SCALE: 3/16" = 1'-0"

**SHAKE - 634 24%**  
**VERTICAL - 1317 49%**  
**ROCK - 488 18%**  
**STUCCO - 244 9%**

**WALL AREA: 2683 SQ FT**

THE RICHARDSON DESIGN PARTNERSHIP, L.L.C.  
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F: 801.355.6880

DEC 28th, 2021

JEFFREY NIELSEN BYERS  
ARCHITECT  
STATE OF UTAH

CONSULTANT:

**GREG NIELD**  
**ETERNAL SPRING LLC**  
333 S 950 W  
SPRINGVILLE, UTAH

OWNER:

**ASHFORD ASSISTING LIVING AND MEMORY CARE - ADDITION**  
14178 SOUTH BANGERTER PARKWAY, DRAPER, UTAH

PROJECT:

DATE	DESCRIPTION

PROJECT # 15177  
DRAWN BY: JAB  
CHECKED BY: OCB

COLORED EXTERIOR ELEVATIONS

**A202**

SHEET #

12/28/2021 1:42:24 PM  
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