



Development Review Committee
1020 East Pioneer Road
Draper, UT 84020
(801) 576-6399

STAFF REPORT
July 13, 2020

To: Jennifer Jastremsky, AICP, Zoning Administrator

Approved _____ Date _____

From: Travis Van Ekelenburg, Planner II
Planning Division
Community Development Department
(801) 576-6522 or travis.vanekelenburg@draper.ut.us

Re: Traverse Ridge Co-Location UTL02011 – Permitted Use Permit

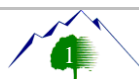
Application No.: USE-1009-2020
Applicant: John Walesa
Project Location: 15025 S Traverse Ridge Rd
Current Zoning: RM (Multi-family Residential)
Acreage: 5.06 Acres (Approximately 220,414 Square Feet)
Request: Request to add a new carrier to an existing stealth wireless facility.

SUMMARY and BACKGROUND

The current application is for a co-location on an existing wireless facility on Traverse Ridge Road that is currently constructed as a stealth wireless facility (water tower). There are currently two existing carriers on the tower; T-mobile and Verizon Wireless (Exhibit B). The site was approved in 2011 and the current lease agreement approved by Draper City accurately mirrors this submittal in regard to design and requirements.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Open Space/Parks land use designation for the subject property (Exhibit C). This category is characterized as follows:



Open Space and Parks

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Applies to natural areas that have the potential to be permanent open space • Efforts should continue to preserve mountainous areas, drainage and riparian areas with attractive indigenous vegetation • Areas designated as permanent natural open space should be placed within a conservation easement
LAND USE MIX	<ul style="list-style-type: none"> • City's established parks • Public/private golf courses • Greenbelts/linear parks • Large retention areas that have recreational potential • Natural area open space
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Public Open Space (OS) • Agricultural (A2) • Agricultural (A5)
OTHER CRITERIA	<ul style="list-style-type: none"> • A variety of methods can be used to preserve these areas, including easements, dedications, and acquisition, some with the potential of having tax relief benefits

The property is currently zoned RM (Multi-family Residential) zoning designation: The purpose of the RM zone is "To provide areas for low-to-medium residential density with opportunity for varied housing styles and character, providing for a maximum density of up to twelve (12) units per acre". (Please see Exhibit D) The property is surrounded by the RM zone.

Request: The existing water tower currently has two wireless carriers installed at the facility taking up the height of the actual water reservoir at 45 and 55 feet. This carrier will have antennas mounted at 39 feet, mounted to the legs of the water tower and will have several components of ground equipment installed at the site as well.

The following equipment will be installed:

Tower work:

- Installation of six (6) Panel Antennas
- Installation of three (3) Squids (internet monitors)
- Installation of twelve (12) Radio Heads

Ground Work:

- Installation of H-Frame
- Installation of Walk in Cabinet
- Installation of 30Kw Generator
- Installation of two (2) Concrete Pads

Criteria for Approval. Section 9-41-050 of the Draper City Municipal Code (DCMC) contains the development standards for wireless communications facilities:

The development standards set forth in this section shall apply to any wireless telecommunication facility established as a permitted use. The standards in each subsection are not mutually exclusive; thus the requirements of more than one subsection may apply in any given case.

A. In General: The following development standards shall be applicable to all facilities regardless of the facility type or zone within which the facility is proposed to be located:

1. The proposed facility shall be located on an approved structure and/or site in conformance with this code. If a proposed facility site does not conform to this code, the carrier shall submit and have approved by staff a plan to bring the structure and/or site into conformance with the code prior to completion and operation of the proposed facility. This plan shall be submitted with a permitted use application.

2. Any associated mechanical or electrical equipment shall be completely screened from view, from public rights of way, on site parking areas and adjacent properties, with a solid screen.

3. The proposed facility, including associated mechanical and electrical equipment, shall not be located within a public right of way.

4. The proposed facility shall conform to the requirements of this title, this code, and other laws, including pertinent regulations of the federal communications commission and the federal aviation administration.

5. Copies of required permits from pertinent federal agencies establishing compliance with applicable federal regulations shall be filed with the city prior to the issuance of any permit for a proposed facility.

6. The proposed facility shall conform to applicable development standards set forth in this section.

7. Lightning rods shall not be include in the height calculation for any facilities.

B. Stealth Design Antennas: The following provisions shall apply to stealth design antennas. The intent of this subsection is to allow creativity in designing a proposed facility so that it will have essentially no visual impact:

1. Stealth designs may include, but are not limited to, the use of one or more of the following:

a. Screening, structure and/or antenna design which blend with the architecture of the existing structure upon which the antenna will be mounted.

b. Screening, structure, antenna and/or location design which blend with and/or take advantage of existing vegetation and/or features of a site.

c. Color schemes that make an antenna less noticeable.

2. The city shall have sole authority to determine whether or not a proposed facility design will have essentially no visual impact.

a. The zoning administrator shall determine whether a proposed stealth design meets the intent of this subsection B, or defer the matter to the planning commission.

b. If a determination is made that a proposed facility design will have a visual impact, a conditional use permit shall be required as set forth in section [9-41-060](#) of this chapter.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the request and has issued a recommendation for approval. Comments, if any, can be found in Exhibit A.

Draper City Fire Review. The Draper City Fire Marshal has completed their review of the request. Comments, if any, can be found in Exhibit A.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

The findings for approval as are follows:

1. That the proposed changes to the site will have no perceptible visual impact.
2. That the proposed changes to the site will have no adverse impact on public health and safety.
3. That the proposed changes to the site are compliant with Section 9-41-050 of the DCMC.
4. The applicant shall obtain all applicable permits from Draper City Fire and the Building Division as required.
5. The proposed change to the site will comply with stealth requirements so the new carrier blends in with the existing wireless facility.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: cn=Brien Maxfield, o=Draper City, ou,
email=brien.maxfield@draper.ut.us, c=US
Date: 2020.08.10 15:55:42 -06'00'

Draper City Public Works Department

Jennifer Jastremsky

Digitally signed by Jennifer Jastremsky
DN: C=US, E=jennifer.jastremsky@draper.ut.us,
O=Draper City Planning, CN=Jennifer Jastremsky
Date: 2020.08.18 11:43:11 -05'00'

Draper City Planning Division

Don Buckley

Digitally signed by Don Buckley
DN: C=US, E=don.buckley@draper.ut.us,
O=Draper City Fire *, OU=Fire Marshal,
CN=Don Buckley
Date: 2020.08.18 12:38:12 -06'00'

Draper City Fire Department

Mike Barker

Digitally signed by Mike Barker
DN: cn=Mike Barker, o=Draper City, ou=City
Attorney, email=mike.barker@draper.ut.us,
c=US
Date: 2020.08.10 16:07:40 -06'00'

Draper City Legal Counsel

Matthew T. Symes

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DN: C=US, E=Matt.symes@draper.ut.us,
O=Draper City, CN=Matthew T. Symes
Date: 2020.08.10 16:42:05 -06'00'

Draper City Building Division

EXHIBIT A
DEPARTMENT/DIVISION COMMENTS

Planning Division Review

No comments received.

Draper City Fire Review.

1. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed on every level of the home. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.
2. Fire Department Access is required to be maintained. Vehicles cannot park in such a way to impede fire department or emergency vehicle access.
3. Hazardous Material Permit – A Draper City Fire Hazardous Material Permit may need to be obtained. This is for all new and existing installations.

Note: Plan approval or review shall not be construed to relieve from or lessen the responsibility of any person designing, owning, operating or controlling any building. Damages to persons or property defects, fire, improper installation, or other emergency conditions that occur in or on the building property shall not hold the Draper City Fire Department as assuming any liability.

**EXHIBIT B
AERIAL MAP**

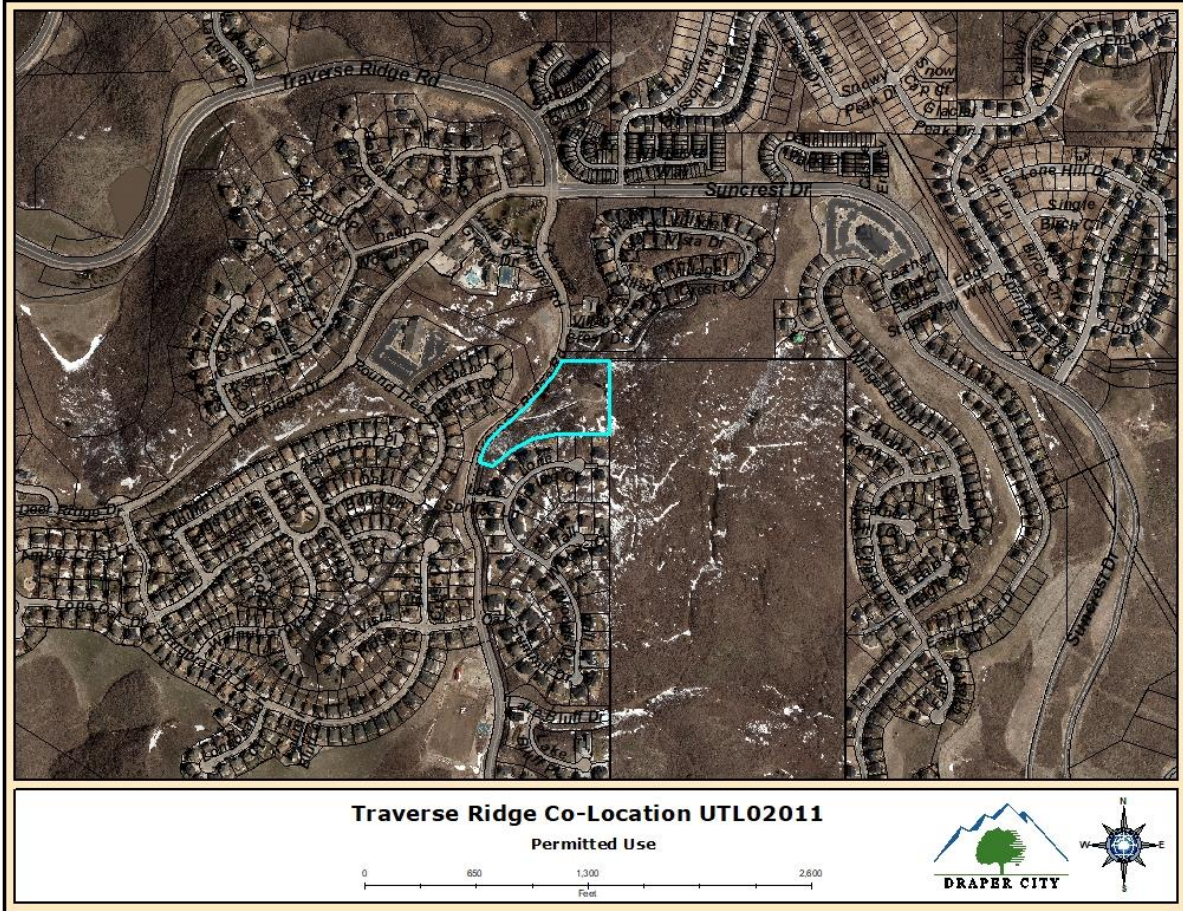


EXHIBIT C LAND USE MAP

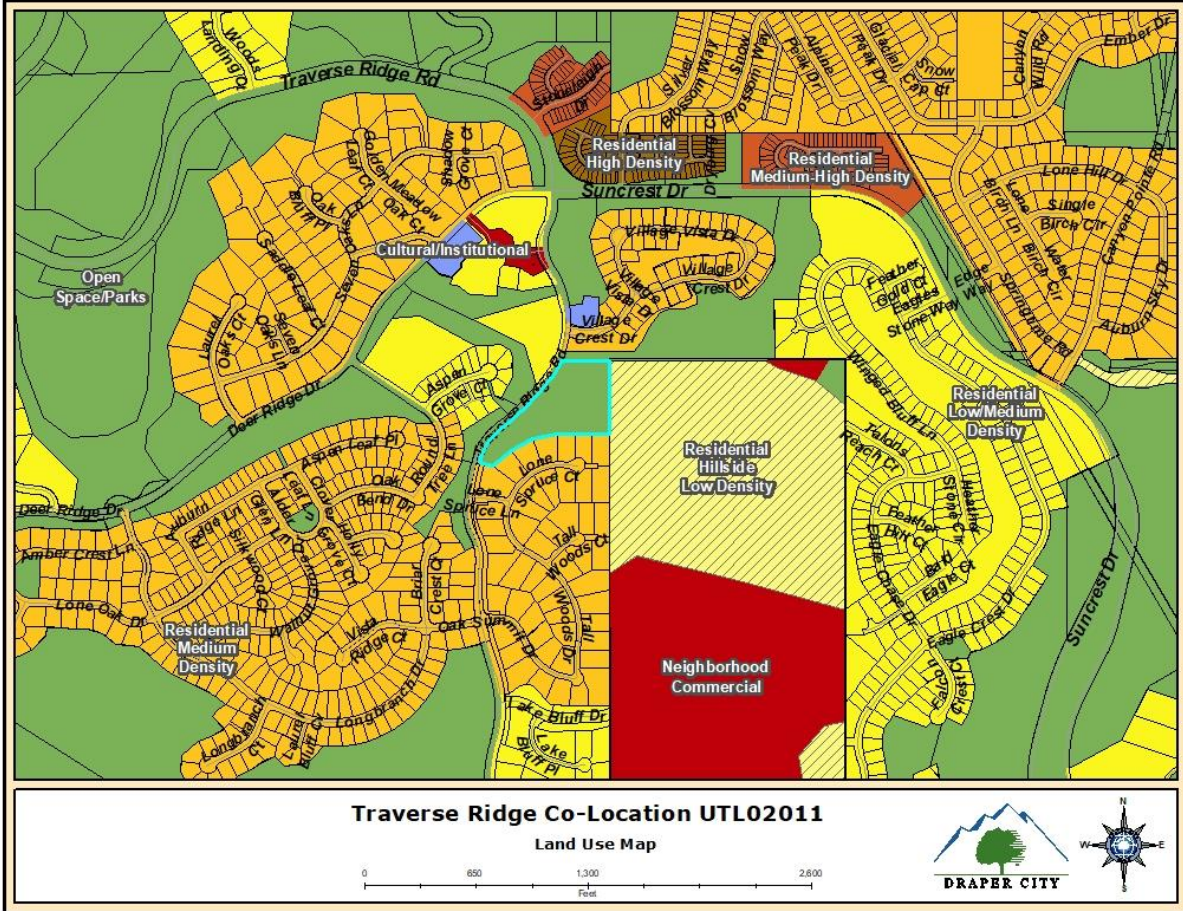
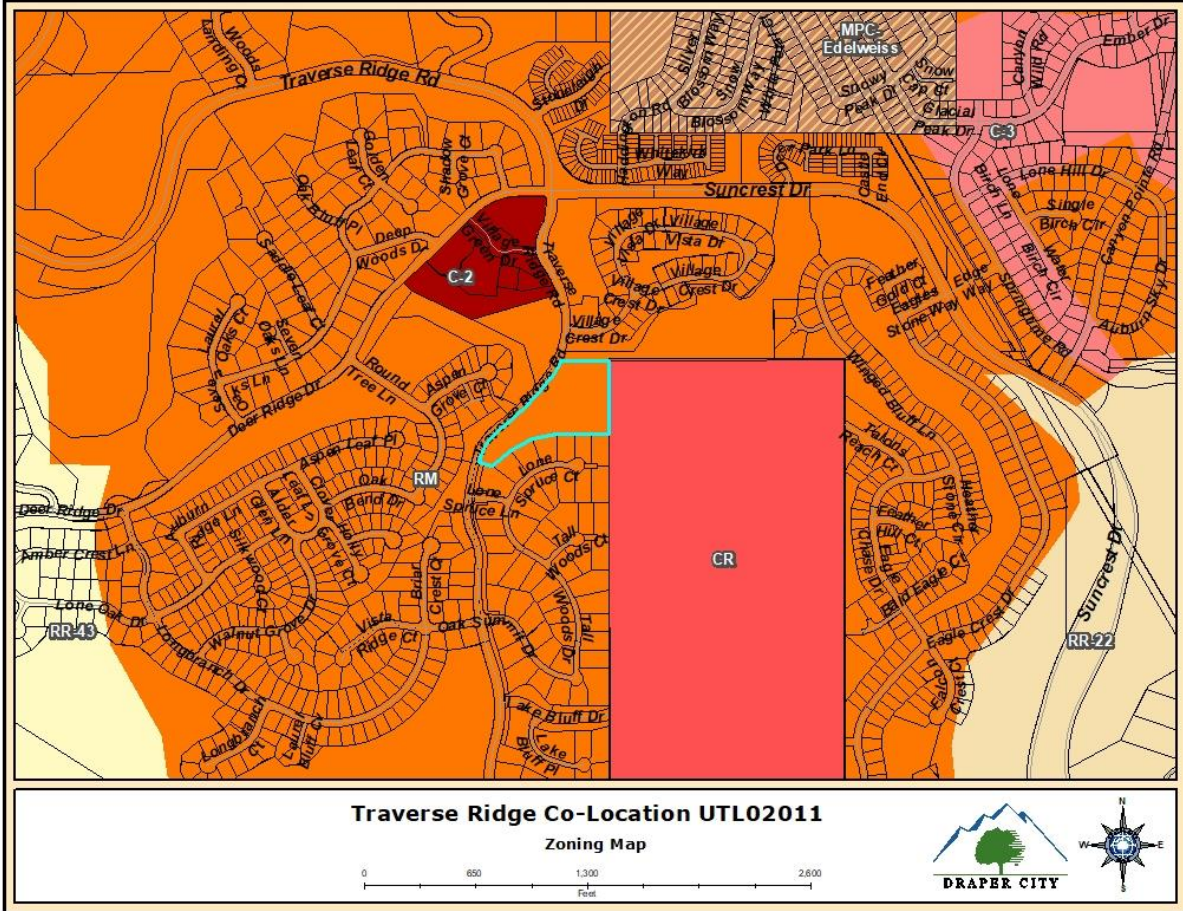
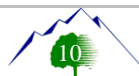


EXHIBIT D ZONING MAP



**EXHIBIT E
DRAWINGS**





AT&T

Mobility



Know what's below.
Call before you dig.

SITE NAME: NSB-UT. BDN_COV_RMR_109_UTL02011_TRAVERSE_RIDGE
 SITE NUMBER: UTL02011
 FA NUMBER: 12854507
 USID: 252651
 PACE NUMBER: MRUTH031953
 AT&T SITE ADDRESS: 14996 TRAVERSE RIDGE RD
 DRAPER, UT 84020
 STRUCTURE TYPE: 65'-0" WATER TANK
 PROJECT TYPE: NEW SITE BUILD

PREPARED BY:

NEXIUS

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(972) 581-9888

CLIENT:



AT&T

Mobility

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ENGLEWOOD, COLORADO 80112

PROFESSIONAL STAMP:

FOR ZONING

ZONING DOCUMENTS

THESE DOCUMENTS ARE RELEASED FOR THE PURPOSE OF ZONING UNDER THE AUTHORITY OF JACK T. PHIPPS ON 12/24/19.

- JACK T. PHIPPS, P.E.
- UTAH PROFESSIONAL ENGINEER REGISTRATION NUMBER 10850149-2202
- EXPIRATION DATE 03/31/2021
- NEXIUS SOLUTION, INC.

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SUBMITTALS

REV	DATE	DESCRIPTION	BY
A	10/21/19	FOR REVIEW	RA
B	11/07/19	FOR REVIEW	RA
C	11/12/19	FOR REVIEW	RA
D	12/24/19	FOR REVIEW	RA

SITE INFORMATION

SITE NAME:	NSB-UT. BDN_COV_RMR_109_UTL02011_TRAVERSE_RIDGE
SITE NUMBER:	UTL02011
FA LOCATION CODE:	12854507
ADDRESS:	14996 TRAVERSE RIDGE RD
CITY, STATE ZIP:	DRAPER, UT 84020
COUNTY:	SALT LAKE
LATITUDE:	40.478578'
LONGITUDE:	-111.833688'
GROUND ELEVATION:	6216' A.M.S.L.
STRUCTURE TYPE:	WATER TANK
STRUCTURE HEIGHT:	65'-0" A.G.L.
APPLICANT:	AT&T MOBILITY 161 INVERNESS DR W, 2ND FLOOR ENGLEWOOD, COLORADO 80112
SITE ACQUISITION:	NEXIUS SOLUTIONS, INC. 7025 S FULTON ST, SUITE 100 CENTENNIAL, CO 80112
A&E SERVICES:	NEXIUS SOLUTIONS, INC. 2595 DALLAS PKWY FRISCO, TX 75034 (972) 581-9888
WATER TANK OWNER:	VZW
JURISDICTION:	CITY OF DRAPER
PARCEL #:	110100063
PARCEL OWNER:	DRAPER CITY
ZONING DESIGNATION:	RM

VICINITY MAP



SHEET INDEX

SHEET #	SHEET DESCRIPTION
T-1	TITLE SHEET
ZD-1	AERIAL MAP
ZD-2	OVERALL SITE PLAN
ZD-3	ENLARGED SITE PLAN
ZD-4	PROPOSED MOUNT PLAN AND TOWER ELEVATION

DRIVING DIRECTIONS

FROM SALT LAKE CITY INTERNATIONAL AIRPORT:

- GET ON I-80 E FROM N 3700 W, CROSSBAR RD AND TERMINAL DR
- HEAD NORTHEAST ON N TERMINAL DR
- SLIGHT RIGHT
- USE THE MIDDLE LANE TO TURN RIGHT TOWARD N 3700 W
- USE THE LEFT LANE TO TURN SLIGHTLY RIGHT ONTO N 3700 W
- TURN LEFT TO STAY ON N 3700 W
- CONTINUE STRAIGHT
- CONTINUE ONTO CROSSBAR RD
- TAKE THE RAMP ONTO TERMINAL DR
- USE THE LEFT 2 LANES TO TAKE THE I-80 E RAMP TO CITY CENTER/OGDEN/PROVO
- KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR I-80 E AND MERGE ONTO I-80 E
- TAKE I-15 S TO UT-140 E IN DRAPER. TAKE EXIT 288 FROM I-15 S
- MERGE ONTO I-80 E
- USE ANY LANE TO TAKE EXIT 121 TO MERGE ONTO I-15 S/I-80 E TOWARD CHEYENNE/LAS VEGAS
- KEEP LEFT TO CONTINUE ON I-15 S
- TAKE EXIT 288 FOR UT-140 TOWARD 14600 SO
- KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR DRAPER
- DRIVE TO TRAVERSE RIDGE RD
- USE THE RIGHT LANE TO TURN SLIGHTLY LEFT ONTO UT-140 E
- CONTINUE ONTO HIGHLAND DR
- TURN RIGHT ONTO TRAVERSE RIDGE RD

CODE COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH CURRENT EDITIONS OF THE FOLLOWING APPLICABLE CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.

- 2015 INTERNATIONAL BUILDING CODE
- 2017 NATIONAL ELECTRICAL SAFETY CODE
- 2017 NATIONAL ELECTRICAL CODE
- TIA/EIA-222-G-2 OR LATEST EDITION
- ADOPTED CITY/COUNTY ORDINANCES
- ALL CODES SUBJECT TO LOCAL JURISDICTION REQUIREMENTS

APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

NEXIUS LEASING/SITE ACQUISITION:	DATE:
NEXIUS A&E:	DATE:
NEXIUS CM:	DATE:
AT&T CM:	DATE:
AT&T RF:	DATE:

SCOPE OF WORK

THE PURPOSE OF THIS PROJECT IS AS FOLLOWS:

TOWER SCOPE OF WORK:

- INSTALLATION OF (6) PANEL ANTENNAS
- INSTALLATION OF (3) SQUIDS
- INSTALLATION OF (12) RRHs
- INSTALLATION OF 65'-0" WATER TANK

GROUND SCOPE OF WORK:

- INSTALLATION OF H-FRAME
- INSTALLATION OF WALK IN CABINET (WIC)
- INSTALLATION OF 30KW GENERATOR
- INSTALLATION OF (2) CONCRETE PADS

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE. POTABLE WATER OR TRASH DISPOSAL IS NOT REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

THIS DRAWING IS SIZED TO 34" X 22" FOR SCALING PURPOSES.

PROJECTS

LTE 1C / 2C / 3C / 4C / 5C / 6C

SITE INFORMATION:

SITE NAME:
NSB-UT. BDN_COV_RMR_109_UTL02011_TRAVERSE_RIDGE
 SITE NUMBER:
UTL02011
 FA LOCATION CODE:
12854507
 PACE ID:
MRUTH031953
 ADDRESS:
**14996 TRAVERSE RIDGE RD
DRAPER, UT 84020**

PROJECTS:

LTE 1C / 2C / 3C / 4C / 5C / 6C

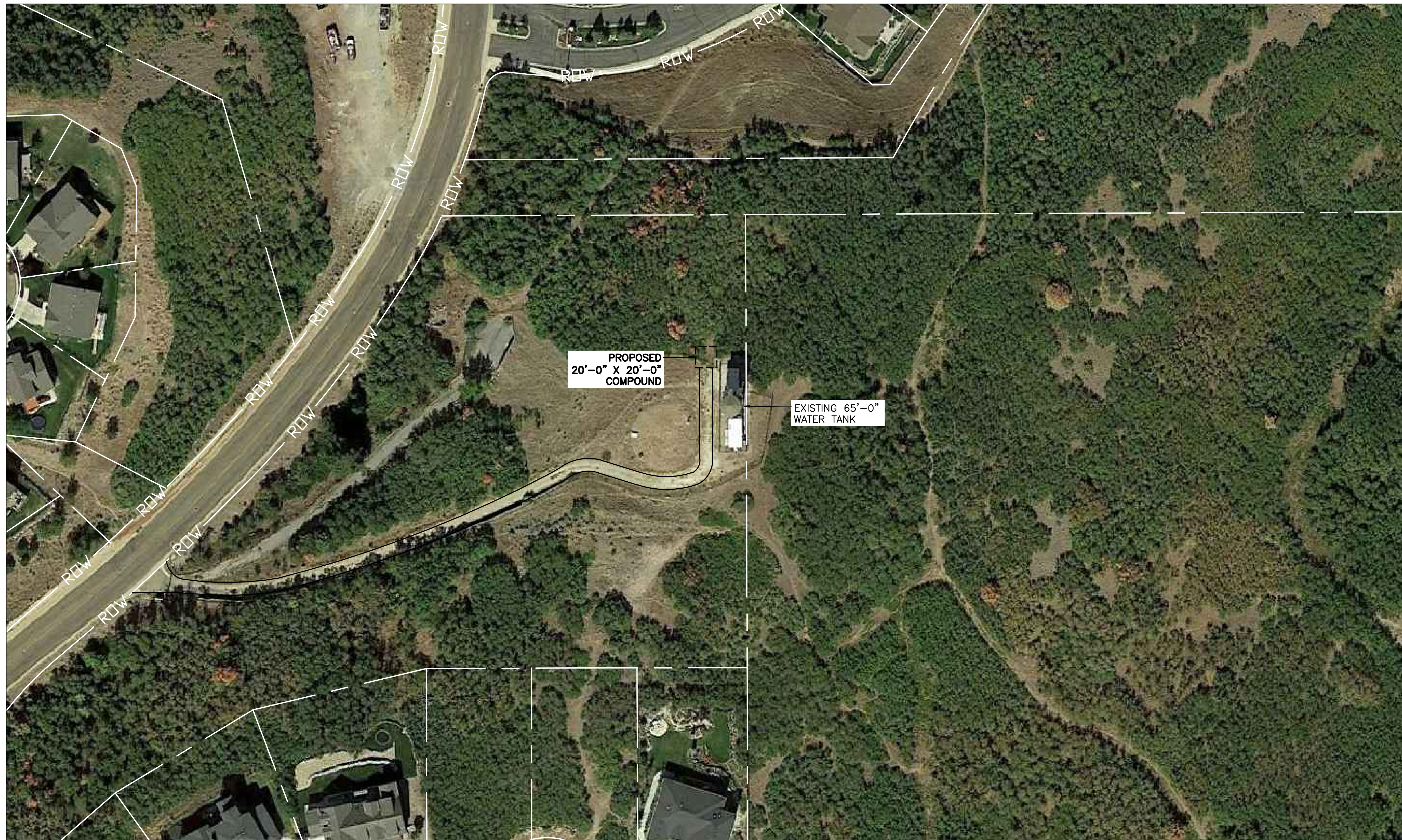
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RA	10/21/19

CHECKED BY:	DATE:
RA	12/24/19

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:

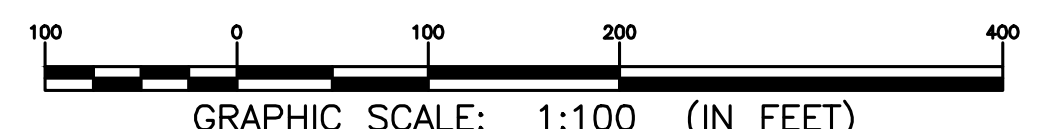
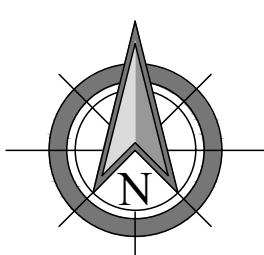
T-1



**PROPOSED
20'-0" X 20'-0"
COMPOUND**

**EXISTING 65'-0"
WATER TANK**

NOTE:
THIS PLAN WAS CREATED BASED ON INFORMATION GATHERED FROM AERIAL PHOTOGRAPHY, GIS DATA, AND/OR ASSESSORS MAPS PROVIDED BY LOCAL SOURCES. THIS PLAN IS IN NO WAY INTENDED TO BE USED AS A BOUNDARY SURVEY.



1 AERIAL MAP
SCALE: 1:100

PREPARED BY:

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PROFESSIONAL STAMP:

FOR ZONING

ZONING DOCUMENTS

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- JACK T. PHIPPS, P.E.
- UTAH PROFESSIONAL ENGINEER REGISTRATION NUMBER 10850149-2202
- EXPIRATION DATE 03/31/2021
- NEXIUS SOLUTION, INC.

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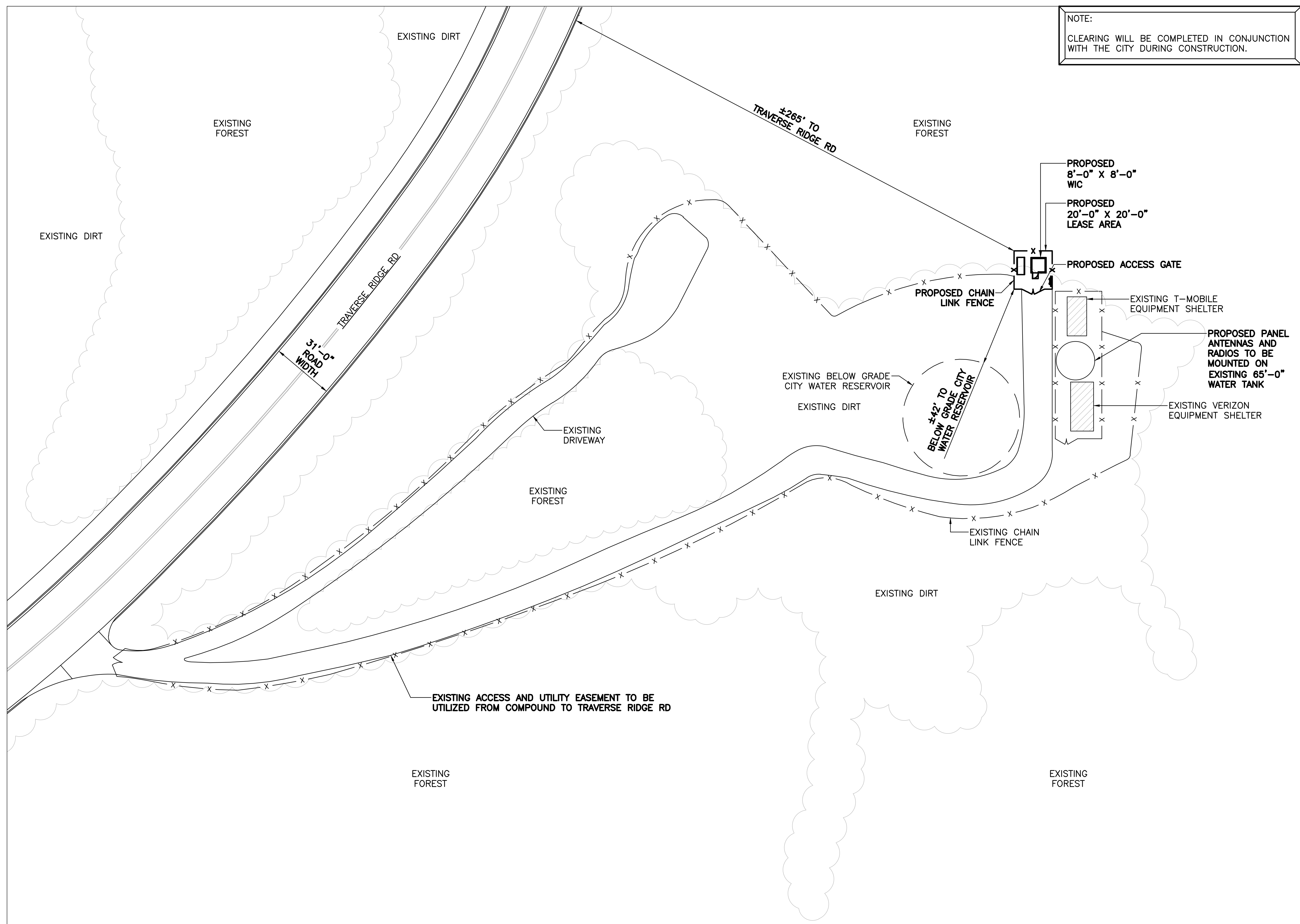
DRAWN BY: **RA** DATE: **10/21/19**

CHECKED BY: **RA** DATE: **12/24/19**

SHEET TITLE: **AERIAL MAP**

SHEET NUMBER:

ZD-1



NOTE:
CLEARING WILL BE COMPLETED IN CONJUNCTION WITH THE CITY DURING CONSTRUCTION.

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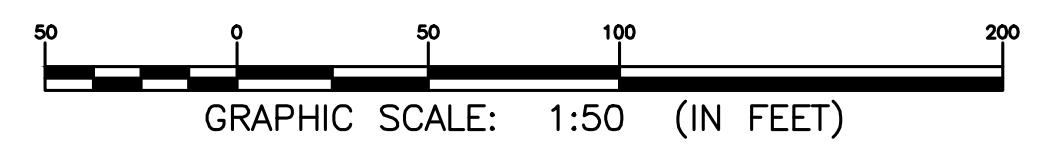
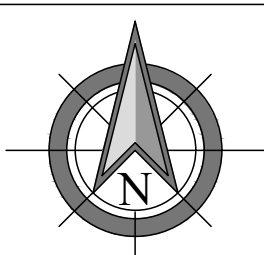
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RA
DATE:
10/21/19

CHECKED BY:
RA
DATE:
12/24/19

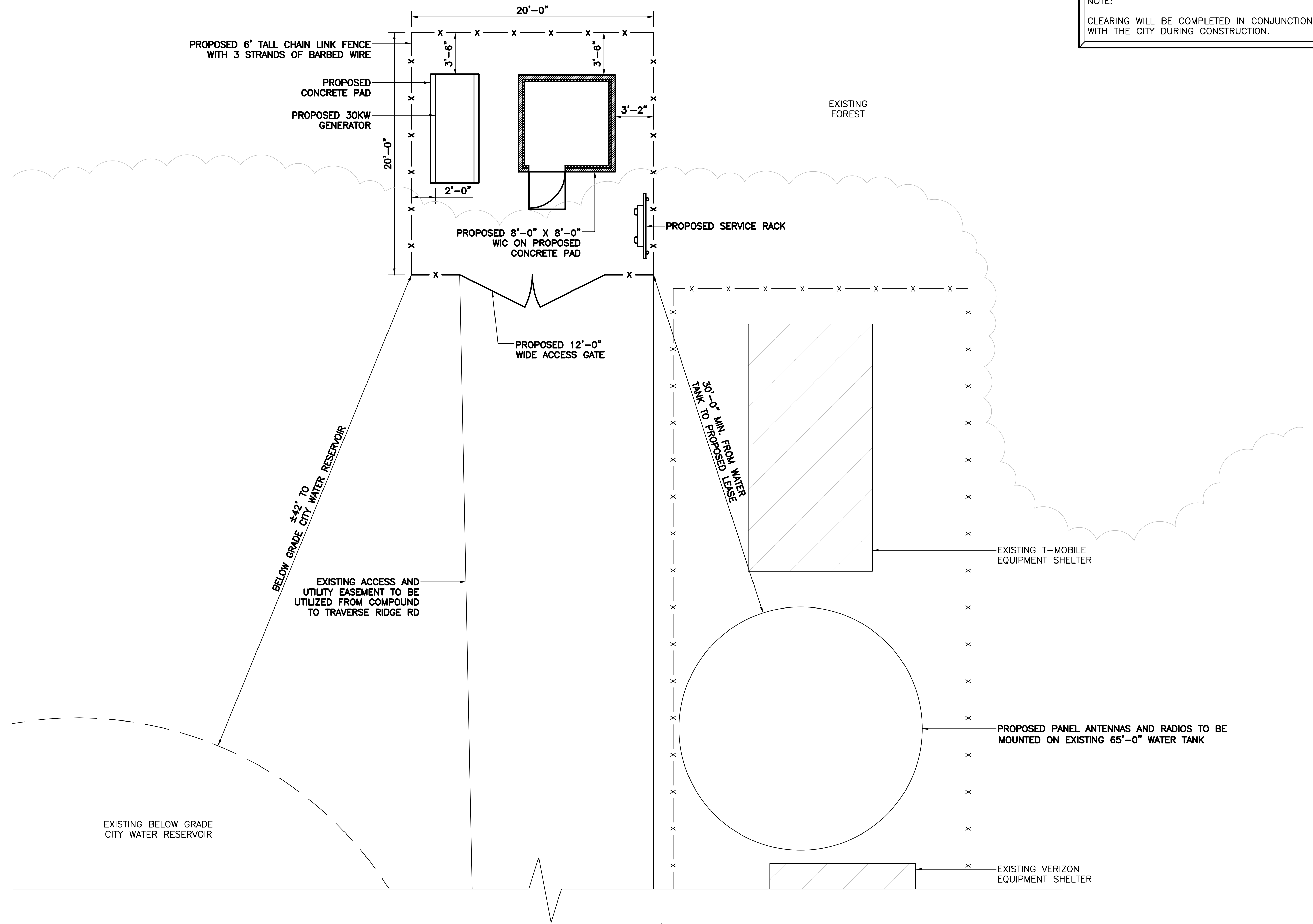
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OVERALL SITE PLAN

SHEET NUMBER:

1 SITE PLAN
SCALE: 1:50



ZD-2



NOTE:
CLEARING WILL BE COMPLETED IN CONJUNCTION WITH THE CITY DURING CONSTRUCTION.

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(972) 581-9888

CLIENT:

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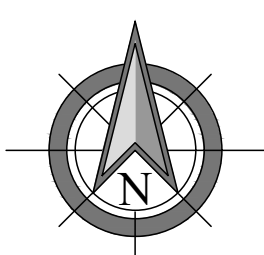
DRAWN BY: **RA** DATE: **10/21/19**

CHECKED BY: **RA** DATE: **12/24/19**

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:

1 ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"




GRAPHIC SCALE: 1/8" = 1'-0"

ZD-3

NOTE:
 PROJECT OWNER IS RESPONSIBLE FOR PROVIDING A STRUCTURAL STABILITY ANALYSIS TO DETERMINE CAPACITY AND SUITABILITY OF THE EXISTING ANTENNA SUPPORT STRUCTURE AND/OR TOWER STRUCTURE TO SAFELY CARRY ALL ADDITIONAL LOADS IMPOSED BY THE PROPOSED EQUIPMENT AS SHOWN HEREIN. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INCORPORATING ANY REQUIRED STRUCTURAL MODIFICATIONS INTO THEIR SCOPE OF WORK.

PREPARED BY:
nexius
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 (972) 581-9888

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 • EXPIRATION DATE 03/31/2021
 • NEXIUS SOLUTION, INC.

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SUBMITTALS

REV	DATE	DESCRIPTION	BY
A	10/21/19	FOR REVIEW	RA
B	11/07/19	FOR REVIEW	RA
C	11/12/19	FOR REVIEW	RA
D	12/24/19	FOR REVIEW	RA

SITE INFORMATION:
 SITE NAME:
NSB-UT. BDN_COV_RMR_109_UTL02011_TRAVERSE_RIDGE
 SITE NUMBER:
UTL02011
 FA LOCATION CODE:
12854507
 PAGE ID:
MRUTH031953
 ADDRESS:
**14996 TRAVERSE RIDGE RD
 DRAPER, UT 84020**

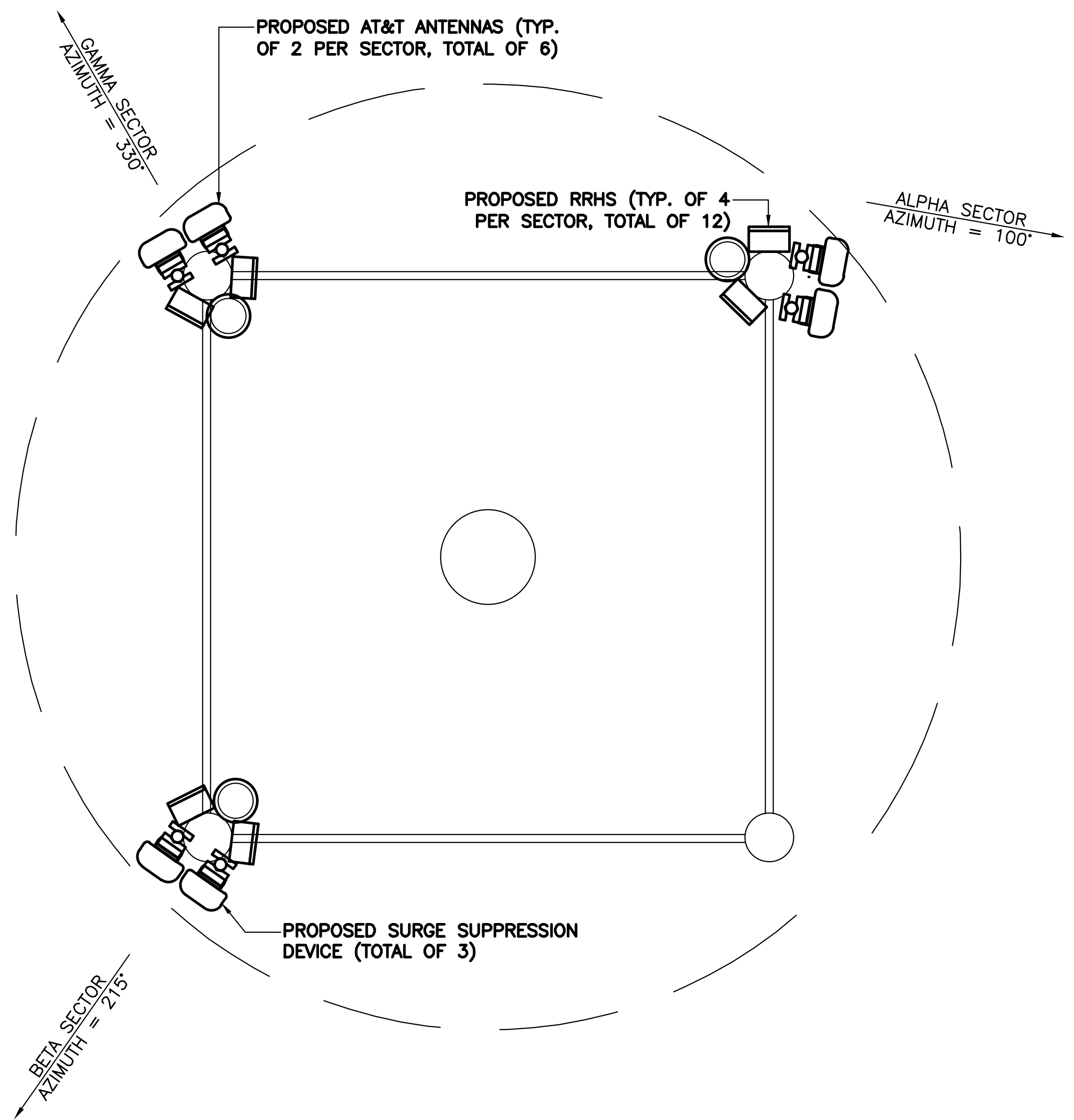
PROJECTS:
LTE 1C / 2C / 3C / 4C / 5C / 6C

DRAWN BY: **RA** DATE: **10/21/19**

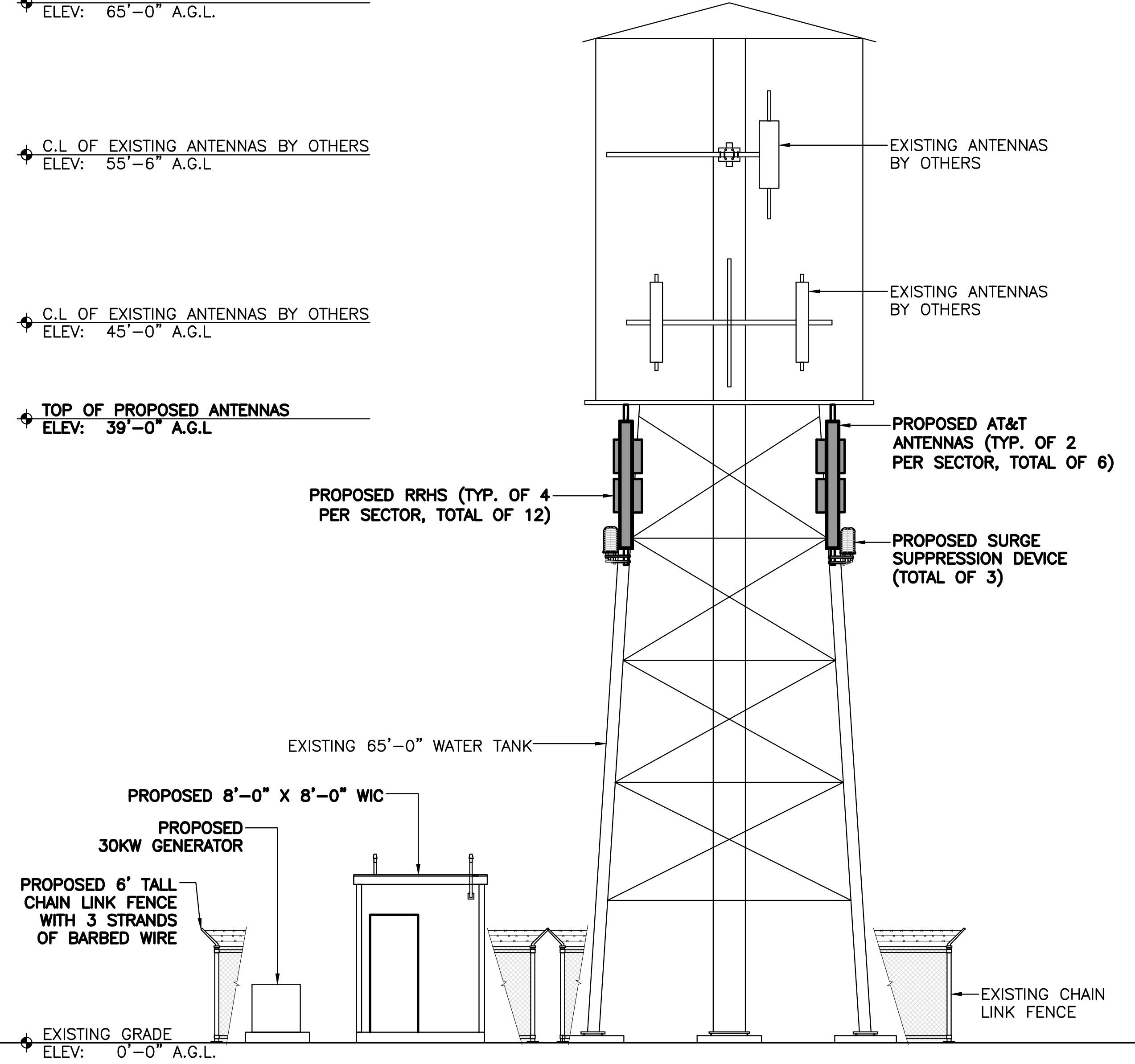
CHECKED BY: **RA** DATE: **12/24/19**

SHEET TITLE:
PROPOSED MOUNT PLAN AND TOWER ELEVATION

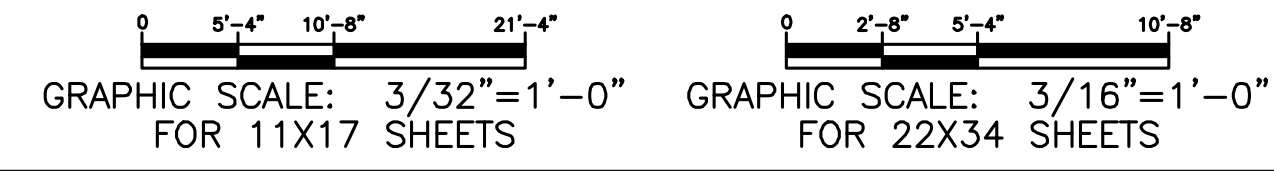
SHEET NUMBER:
ZD-4



- ◆ TOP OF EXISTING WATER TANK
ELEV: 65'-0" A.G.L.
- ◆ C.L. OF EXISTING ANTENNAS BY OTHERS
ELEV: 55'-6" A.G.L.
- ◆ C.L. OF EXISTING ANTENNAS BY OTHERS
ELEV: 45'-0" A.G.L.
- ◆ TOP OF PROPOSED ANTENNAS
ELEV: 39'-0" A.G.L.



2 PROPOSED TOWER ELEVATION
 SCALE: 3/32" = 1'-0"



1 PROPOSED MOUNT PLAN
 SCALE: 1/4" = 1'-0"

