



Development Review Committee
1020 East Pioneer Road
Draper, UT 84020
August 12, 2019

To: Zoning Administrator, Jennifer Jastremsky


Approved

8/20/19
Date

From: Community Development Department
Prepared by: Dennis Workman, Planner II
801-576-6522, dennis.workman@draper.ut.us

Re: Leatherheads Site Plan Amendment

Application No.: SPR-719-2019
Applicant: Jeni Rasmussen
Location: 12147 S. State St.
Current Zoning: CR (Regional Commercial)
Parcel Size: 1.06 acres (approximately 46,174 square feet)
Request: Approval to amend the site plan for Leatherheads Sports Grill

SUMMARY

The applicant wishes to add a covered patio to the north side of the Leatherheads Sports Grill, formerly the Ruby Tuesday restaurant. This application may be approved at staff level with no public hearing required.

ANALYSIS

General Plan and Zoning. The General Plan designates the subject area as Community Commercial, which “permits the full scope of commercial land uses that are destination-oriented. The areas may include large-scale, master-planned commercial centers, big-box stores and offices. These areas are strategically placed along high-traffic corridors with convenient points of traffic access to and from residential areas.” The subject property is located in the CR (Regional Commercial) zone. The purpose of the CR zone is to provide areas where a combination of destination-oriented business, retail, commercial, entertainment and related uses may be established, maintained and protected to serve both residents and non-residents of the city. The subject property abuts CR zoning on its north and east sides. It abuts State Street on its west side and 12150 South on its south side. The use *Restaurant* is permitted in the CR zone.

Proposed Site Plan Modifications. Changes to the site will be as follows:

- Remove 2,170 square feet of landscaping on the north side of the building
- Install 31x57 slab-on-grade walk-out patio where landscaping is removed
- Install a door on north side of the building to access patio

Parking. The square footage of the building prior to the addition was 5,066 square feet. The 2,170 square foot patio will increase that number to 7,236 square feet. At eight stalls per 1,000 square feet gross floor



area, which is the parking requirement for a general restaurant, the number of required parking stalls is 58. The site has 71 existing parking stalls.

Landscaping. Currently, there is 15,600 square feet of landscaping on the site, or 33.5% lot coverage. Removing 2,170 square feet to accommodate the walk-out patio will reduce the landscaping to 13,430 square feet, or 28.8% lot coverage. The required amount of landscaping for a commercial site is 20%. One of the conditions of approval at the end of this report is that any landscaping that is damaged due to construction shall be repaired and replaced as needed.

Engineering Review. The Draper City Engineering Division has reviewed this proposal and recommends approval. Comments, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Official recommends approval without comment.

Draper City Fire Review. The Draper City Fire Marshal has reviewed this application and recommends approval. Comments, if any, can be found in Exhibit A.

Noticing. As a site plan amendment, this application will be reviewed and approved at staff level with no public hearing required.

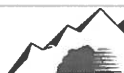
STAFF RECOMMENDATION

Staff recommends that the Zoning Administrator approve the Leatherheads Sports Grill Site Plan Amendment, application SPR-719-2019, with the following conditions:

1. That all of the original requirements of the Draper City Engineering Division and Fire Marshal remain in force.
2. That a land disturbance permit is issued prior to construction.
3. That any landscaping damaged by construction will be repaired and replaced as needed.
4. That after Zoning Administrator approval, the applicant submits six sets of plans to be stamped "Approved for Construction." Three of these shall be 24x36 in size and three shall be 11x17. Each of these sets shall contain all sheets previously submitted for review stapled together.

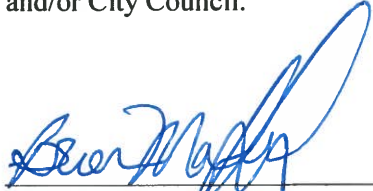
This recommendation is based on the following findings:

1. That the proposed site plan is consistent with the goals, objectives and policies of the City's General Plan.
2. That adequate facilities and services exist to serve the subject property, including but not limited to roadways, police and fire protection, storm water drainage systems, water supplies, and waste water and refuse collection.
3. That all site plan drawings were developed in accordance with the standards contained in Draper City's zoning ordinance.




DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.



Draper City Engineering Division




Draper City Building Division



Draper City Legal Counsel



Draper City Planning Division



Draper City Fire

EXHIBIT A

Draper City Fire Comments

1. Fire Department Access is required. An unobstructed minimum road width of twenty-four (24) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty – eight (28) feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.

2. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site **shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits.** If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.

3. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.

4. Fire Sprinklers Required. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at don.buckley@draper.ut.us . A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level III or better in Auto Sprinkler Layout. (There needs to be a hydrant with-in a 100 feet of the FDC.) **FDC is required to have KNOX Locking Caps. ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.**

5. Post Indicator Valve with Tamper Required. If there is no designated fire riser room with a direct access door from the outside. There shall be either a wall mounted P.I.V (OS&Y) or a typical P.I.V placed a minimum distance of 40 feet from the building with a tamper switch.

6. Fire Alarm Required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at don.buckley@draper.ut.us . A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level III or better in Fire Alarm Systems. **ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.**

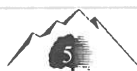
7. Knox Boxes Required. Fire Department “Knox Brand” lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room. **(At a height of 5 feet to the top of the box)** Lock box purchase can be arranged by the General Contractor. See attached information form.

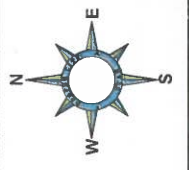
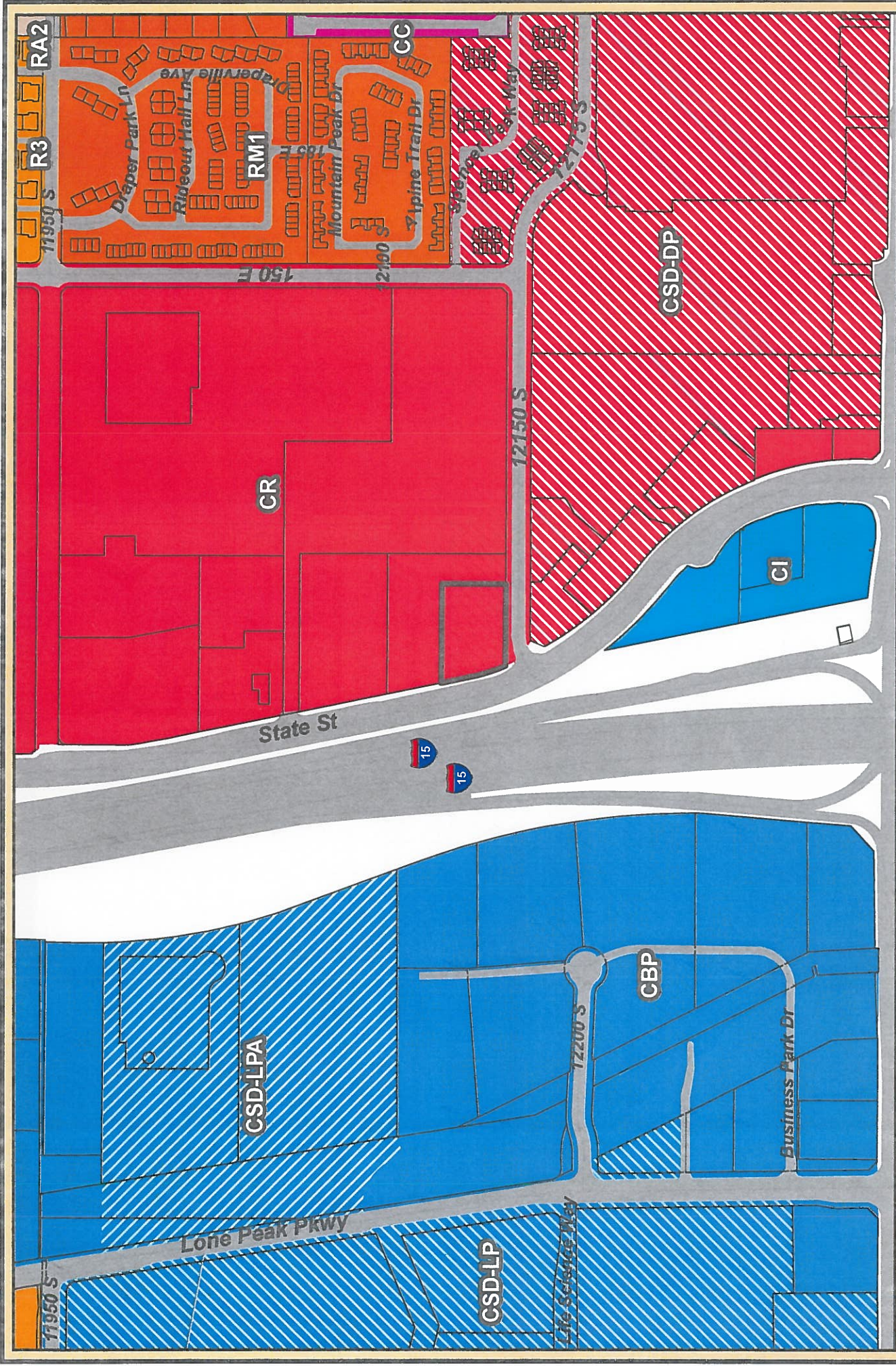
8. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75 feet of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.

9. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.

Draper City Engineering Comments

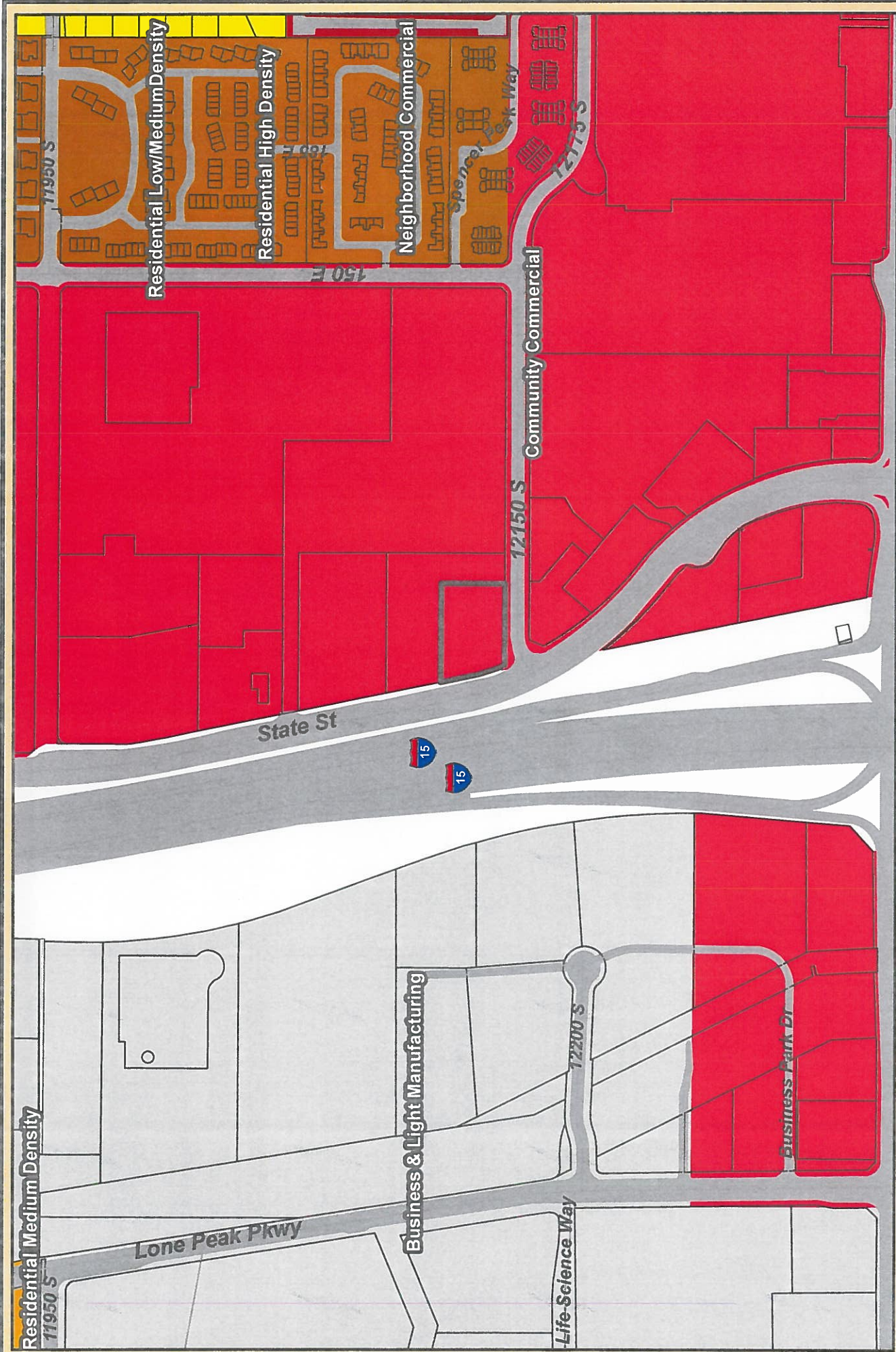
Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance.





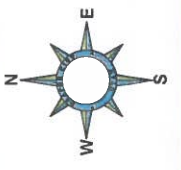
Zoning Map for Leatherheads Site Plan Amendment





Land Use Map for Leatherheads Site Plan Amendment





Aerial Map for Leatherheads Site Plan Amendment



ADVANCED DESIGN
 11902 South Stadium Ln.
 Suite 100
 Salt Lake City, UT 84119
 801-963-3333
 11902SouthStadium.com

GILSON ENGINEERING
 Consulting Engineers & Architects
 11902 South Stadium Ln., Suite 100
 Salt Lake City, UT 84119
 801-963-3333
 gilsoneng.com

PATIO

Contacts:
 Jeff Gilson 801-759-4233
 Email: jgilson100@gmail.com
 Email: rafsmussen15@yahoo.com

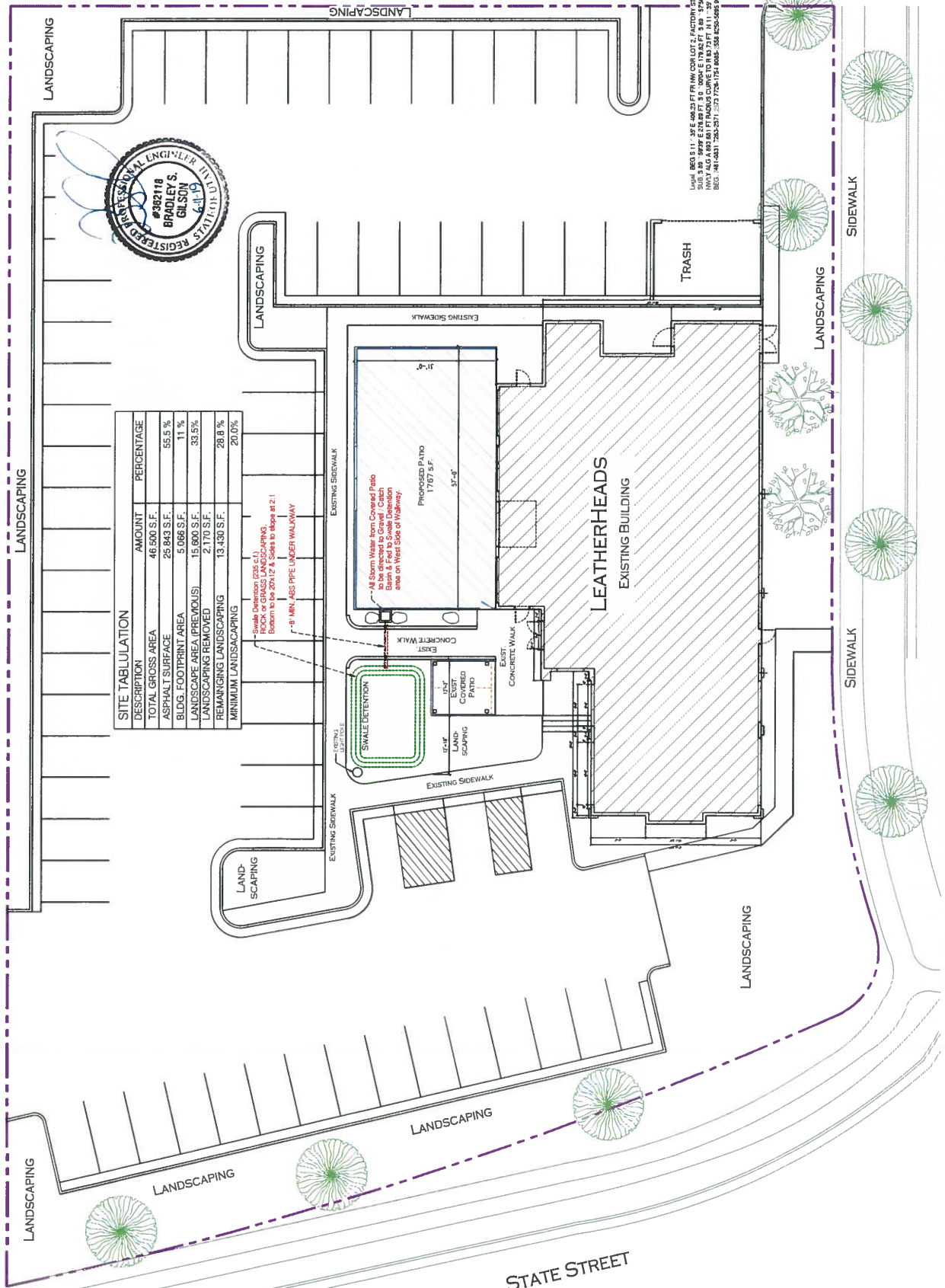
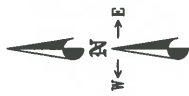
SITE PLAN /
 LANDSCAPING /
 ADD'L DRAINAGE

LEATHERHEADS

12147 SOUTH FACTORY OUTLET DRIVE
 DRAPER, UTAH 84020

REVISIONS

DATE:	07/31/2019
SCALE: (1:147)	1"=20'-0"
SCALE: (24x36)	1"=10'-0"
SHEET NO.	SD101



SITE TABULATION

DESCRIPTION	AMOUNT	PERCENTAGE
TOTAL GROSS AREA	46,500 S.F.	
ASPHALT SURFACE	25,843 S.F.	55.5 %
BLDG. FOOTPRINT AREA	5,066 S.F.	11 %
LANDSCAPE AREA (PREVIOUS)	15,800 S.F.	33.5%
LANDSCAPING REMOVED	2,170 S.F.	
REMAINING LANDSCAPING	13,430 S.F.	28.8 %
MINIMUM LANDSCAPING		29.0%

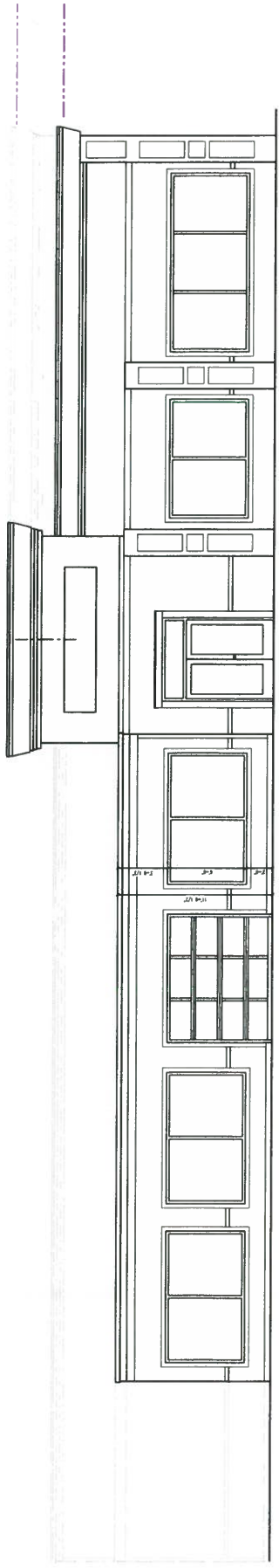
- Swale Detention (235 c.f.)
 ROCK or GRASS LANDSCAPING.
 Bottom to be 20", 12" & 6" to edges as 2:1
 - 8" MIN. ABS PIPE UNDER WALKWAY

- All Storm Water from Covered Patio
 to be collected in a Swale Detention
 Basin & Fed to Swale Detention
 area on West Side of Walkway.

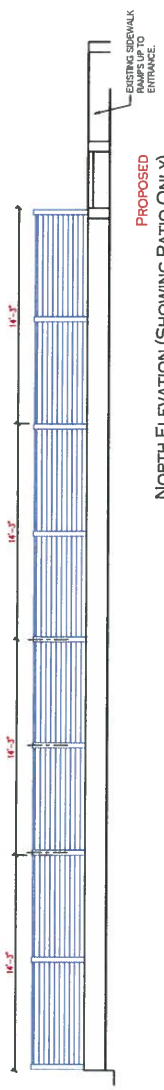
LYNCH REG 511 - 35'E 48x25 FT RW COR LOT 2, FACTORY STORES OF AMERICA
 1000 S 400 E 2700 N S.C. 1000 E 1985 FT S.W. 1200 W 2000 FT 14 CR L
 BEG. -N-14831 7283-2571 -273 372-1754 800-558-8205-565 9652-843

SITE PLAN

STATE STREET



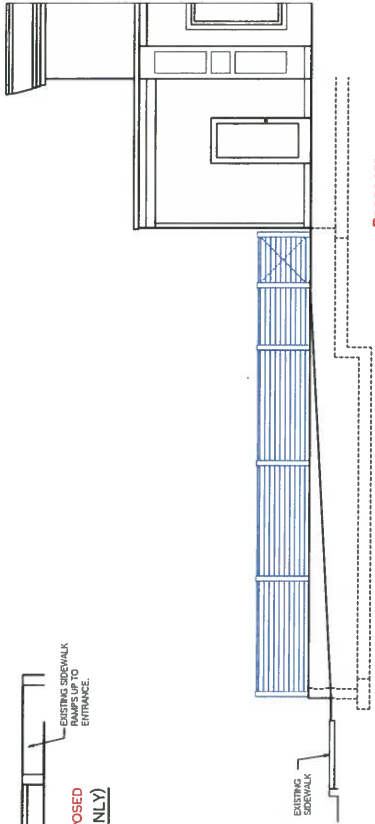
EXISTING NORTH ELEVATION



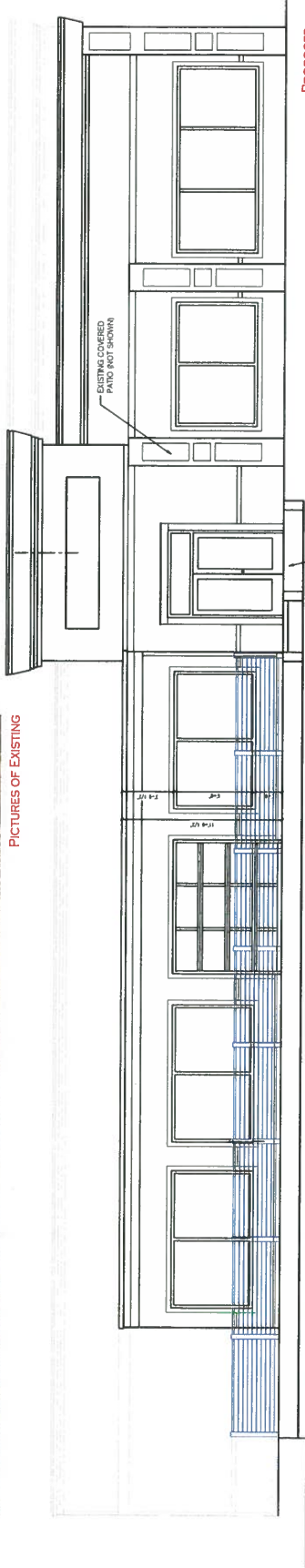
PROPOSED NORTH ELEVATION (SHOWING PATIO ONLY)



PICTURES OF EXISTING



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION

ILSON ENGINEERING
 Consulting Engineers & Architects
 1100 W. 12th St., Suite 200
 Salt Lake City, UT 84119
 Tel: 313-333-3333
 Fax: 313-333-3333
 Email: info@ilsoneng.com

PATIO
 Contact:
 Jay Cobb
 Email: jacob@ilsoneng.com
 801-759-4233
 Email: jacob@ilsoneng.com
 801-759-4233

EXTERIOR ELEVATIONS
 LEATHERHEADS
 12147 SOUTH FACTORY OUTLET DRIVE
 DRAPER, UTAH 84020

REVISIONS

DATE	07/31/2019
SCALE:	(1/4"=1'-0")
SCALE:	(1/8"=1'-0")
SCALE:	(2/4"=1'-0")
SHEET NO.	1/4"=1'-0"

A201

DESIGN CRITERIA

Address: 12147 SOUTH FACTORY OUTLET DR
DRAFTER: UTAH B420

- ROOF LOAD: 30 LB SHOW & 20 LB DEAD LOAD
- FLOOR LOADING: 30 LB LIVE LOAD & 20 LB DEAD LOAD
- GROUND SNOW LOAD: 1.500 PSF
- SOIL BEARING: 1.500 PSF
- SEISMIC ZONE: D
- WIND EXPOSURE: B or C
- FROST DEPTH: 30"

APPLICABLE BUILDING CODE: 2015 INTERNATIONAL RESIDENTIAL CODE AS AMENDED AND ADOPTED BY STATE OF UTAH. 2015 INTERNATIONAL BUILDING CODE.

CONCRETE STRENGTH:	2,500 PSI
FOOTINGS:	3,000 PSI
INTERIOR SLAB:	3,000 PSI
CHARGE SLAB:	4,000 PSI
EXPOSURE:	4,000 PSI

GENERAL

1. CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS ETC. AT THE SITE. SHALL COORDINATE WORK WITH ALL OTHER TRADES AND SUBCONTRACTORS.
2. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS DRAWINGS AND SPECIFICATIONS. ALL DISCREPANCIES SHALL BE RESOLVED BY THE ENGINEER. IN ALL CASES UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN IN ALL WORK.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS ETC. AT THE SITE. SHALL COORDINATE WORK WITH ALL OTHER TRADES AND SUBCONTRACTORS.
4. TEMPORARY BRACING SHALL BE PROVIDED WHENEVER NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED INCLUDING WIND. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS MAY BE REQUIRED FOR SAFETY.
5. CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM THEIR TRADES AND DUTIES IN A MANNER CONFORMING TO THE PROCEDURES AND REQUIREMENTS OF APPLICABLE BUILDING CODE AND ALL APPLICABLE REFERENCED CODES THEREIN.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE BUILDING CODE OFFICIAL.

FOOTINGS & FOUNDATIONS

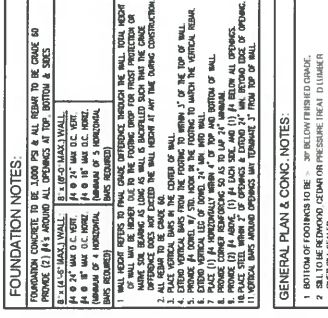
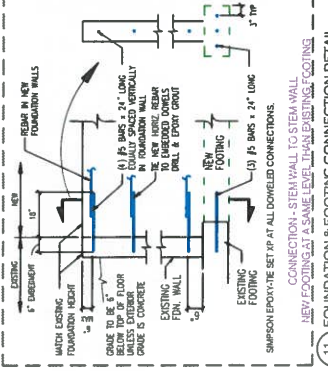
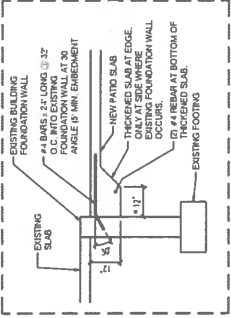
1. ALL FOOTINGS ARE BASED ON AN ALLOWABLE SOIL BEARING PRESSURE INDICATED IN THE DESIGN CRITERIA ABOVE. ANY EXCESSIVE SETTLEMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING.
2. ALL FOOTINGS SHALL BE FIRM ON UNDISTURBED NATIVE SOIL OR ENGINEERED FILL COMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT. ALL FOOTINGS SHALL BE PROTECTED FROM ALL ADJACENT FOUNDATIONS WITH RECOMMENDATIONS OF SOIL ENGINEER AND SHALL EXTEND DOWN TO IN-SITU COHESIVE SOILS. FILL SHALL BE COMPACTED UNDER ALL STRUCTURAL CONCRETE WORK ON THE SITE.
3. WATER LEVELS ARE FOUND WITHIN FIVE FEET BELOW THE FINISHED GRADES.
4. ALL FOUNDATIONS SHALL BE PROTECTED FROM ALL ADJACENT FOUNDATIONS WITH RECOMMENDATIONS OF SOIL ENGINEER AND SHALL EXTEND DOWN TO IN-SITU COHESIVE SOILS. FILL SHALL BE COMPACTED UNDER ALL STRUCTURAL CONCRETE WORK ON THE SITE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR LATERALLY SUPPORTING THE FOUNDATION WALLS WHILE EXCAVATIONS AND TRENCHES SHALL BE SUPPORTED & BRACED BY CONTRACTOR TO CONFORM TO OSHA SAFETY STANDARDS AND PRACTICES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR LATERALLY SUPPORTING THE FOUNDATION WALLS WHILE EXCAVATIONS AND TRENCHES SHALL BE SUPPORTED & BRACED BY CONTRACTOR TO CONFORM TO OSHA SAFETY STANDARDS AND PRACTICES.
7. PROVIDE DOWELS IN FOOTINGS AND FOUNDATIONS TO MATCH ALL VERTICAL BARS IN WALLS & COLUMNS ABOVE, UNLESS OTHERWISE NOTED.
8. ALL TRENCH AND GARGE SLABS SHALL BE OVER 4 INCHES OF ¾ INCH FREE GRANULAR FILL BEARING ON UNDISTURBED NATIVE SOIL OR ENGINEERED GRANULAR FILL. SEE NOTE #3. SEE TYPICAL DETAILS FOR CONTROL JOINTS REQUIREMENTS.
9. STABILITY OF SLOPED SITES SHALL BE VERIFIED BY SOILS ENGINEER OR OTHER QUALIFIED PROFESSIONAL ENGINEER.

CONCRETE

1. ALL FOOTINGS, FOUNDATIONS AND INTERIOR SLABS SHALL BE NORMAL WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH EQUAL TO AT LEAST THOSE SHOWN IN DESIGN CRITERIA ABOVE. WITHIN 28 DAYS AFTER POURING.
2. ALL CONCRETE SHALL BE PLACED, CURED, STIMPED, AND PROTECTED AS DIRECTED BY SPECIFICATIONS AND ACI STANDARDS AND PRACTICES.

CONCRETE REINFORCING

1. ALL REINFORCING SHALL BE DEFORMED IN ACCORDANCE WITH THE DESIGN CRITERIA ABOVE.
2. ALL METAL REINFORCEMENT SHALL BE DEFORMED TYPE BARS EXCEPT #3 BARS AND SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS ASTM A630 AS AMENDED.
3. ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE DESIGN CRITERIA ABOVE. ALL REINFORCING SHALL BE MADE IN A REGION OF COMPRESSION UNLESS OTHERWISE SHOWN. ALL CONTINUOUS REINFORCEMENT SHALL TERMINATE WITH A WEDGE, TURN OR A SEPARATE CORNER BAR.
4. ALL REINFORCING SHALL BE PLACED AND TIED IN PLACE AND SHALL BE SPACED FROM ADJACENT FORMED SURFACES (NOTED OTHERWISE) AS FOLLOWS:
a. 1" FROM FORMS
b. 1" FROM WEATHER GIRDS
c. 1" FROM WALLS
d. 1" FROM ADJACENT FORMED SURFACES
e. 1" FROM WEATHER GIRDS
f. 1" FROM WALLS
5. ALL REINFORCING SHALL BE PLACED AND TIED IN PLACE AND SHALL BE SPACED FROM ADJACENT FORMED SURFACES (NOTED OTHERWISE) AS FOLLOWS:
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b. 1" FROM WEATHER GIRDS
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8. ALL REINFORCING SHALL BE PLACED AND TIED IN PLACE AND SHALL BE SPACED FROM ADJACENT FORMED SURFACES (NOTED OTHERWISE) AS FOLLOWS:
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b. 1" FROM WEATHER GIRDS
c. 1" FROM WALLS
d. 1" FROM ADJACENT FORMED SURFACES
e. 1" FROM WEATHER GIRDS
f. 1" FROM WALLS



FOOTING SCHEDULE

MARK	WORK	TRK	LEIGH	REBAR	REMARKS
(C-2)	20"	10"	CONF	(2) #4 CORNERS	1, 2, 3
(C-3)	24"	10"	CONF	(2) #4 CORNERS	1, 2, 3

FOOTING LEGEND

NEW FOOTING & FOUNDATION WALL PER SPECS (THIS SHEET)

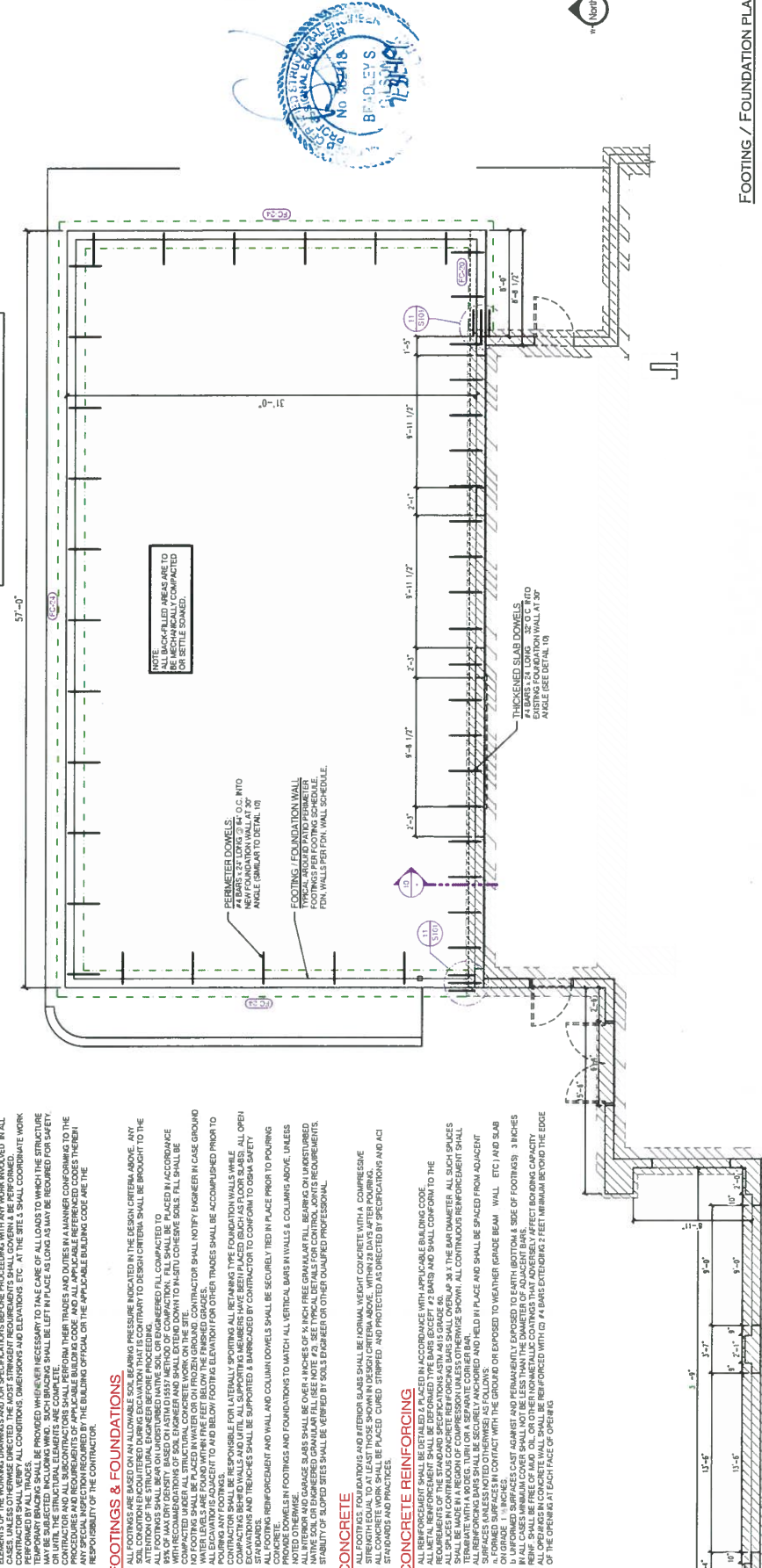
EXISTING FOOTINGS ARE EITHER 20" x 10" or 24" x 10" REINFORCED CONCRETE FOUNDATION WALLS or FILL CELL CUB BLOCK WALLS.

GENERAL PLAN & CONC. NOTES:

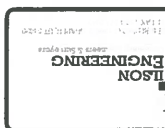
1. BOTTOM OF FOOTINGS TO BE 30" BELOW FINISHED GRADE.
2. ALL TIE BARS TO BE 6" BELOW FINISHED GRADE.
3. OVER ALL BARS.
4. SLOPE CHARGE SLAB 1" PER FOOT DOWN TO EXISTING GROUND.
5. N/A.

FOUNDATION NOTES:

1. FOUNDATION CONCRETE TO BE 3,000 PSI & ALL REBAR TO BE GRADE 60 PROVIDE (2) #4'S AROUND ALL OPENINGS AT TOP, BOTTOM & SIDES
2. 1/2" x 1/2" MAX WALL
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72. 1/2" x 1/2" MAX WALL
73. 1/2" x 1/2" MAX WALL
74. 1/2" x 1/2" MAX WALL
75. 1/2" x 1/2" MAX WALL
76. 1/2" x 1/2" MAX WALL
77. 1/2" x 1/2" MAX WALL
78. 1/2" x 1/2" MAX WALL
79. 1/2" x 1/2" MAX WALL
80. 1/2" x 1/2" MAX WALL
81. 1/2" x 1/2" MAX WALL
82. 1/2" x 1/2" MAX WALL
83. 1/2" x 1/2" MAX WALL
84. 1/2" x 1/2" MAX WALL
85. 1/2" x 1/2" MAX WALL
86. 1/2" x 1/2" MAX WALL
87. 1/2" x 1/2" MAX WALL
88. 1/2" x 1/2" MAX WALL
89. 1/2" x 1/2" MAX WALL
90. 1/2" x 1/2" MAX WALL
91. 1/2" x 1/2" MAX WALL
92. 1/2" x 1/2" MAX WALL
93. 1/2" x 1/2" MAX WALL
94. 1/2" x 1/2" MAX WALL
95. 1/2" x 1/2" MAX WALL
96. 1/2" x 1/2" MAX WALL
97. 1/2" x 1/2" MAX WALL
98. 1/2" x 1/2" MAX WALL
99. 1/2" x 1/2" MAX WALL
100. 1/2" x 1/2" MAX WALL



FOOTING / FOUNDATION PLAN



ADVANCED DESIGN

PATIO

FOOTING / FOUNDATION PLAN

12147 SOUTH FACTORY OUTLET DRIVE
LEATHERHEADS

REVISIONS

DATE:	07/31/2019
SCALE:	(1/11)
SCALE:	1/8" = 1'-0"
SCALE:	1/4" = 1'-0"
SHEET NO.:	S101

