

In January 2023, a Minor Subdivision application was approved for the site. However, the mylar was not recorded within the one-year time frame and an extension was not requested. The property was sold to the current owner and applicant in October 2023. The prior application expired on January 5, 2024 before a mylar was recorded or an extension requested. This is a new application for essentially the same project by a new owner.

ANALYSIS

General Plan and Zoning.

Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Residential Medium/High Density	Exhibit D
Current Zoning	RM1	Exhibit E
Proposed Use	Single Family Residential	
Adjacent Zoning		
East	RA1 (Residential Agricultural, 40,000 square foot minimum) and RA2 (Residential Agricultural, 20,000 square foot minimum)	
West	RA1	
North	RM1	
South	RA1	

The Residential Medium/High Density land use designation is characterized as follows:

Residential Medium-High Density

LAND USE DESCRIPTION			
CHARACTERISTICS	<ul style="list-style-type: none"> • Abundant landscaping • Uniform design standards which also allow architectural variation between units • Architectural variation between units and/or buildings, designed to look like houses, not boxes • Adequate off-street parking • Avoid walls and fences, except for screening and buffering with neighboring developments 		
LAND USE MIX	<table border="0"> <tr> <td> Primary <ul style="list-style-type: none"> • Single-family homes • Patio homes • Townhouses • Multifamily housing </td> <td> Secondary <ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space </td> </tr> </table>	Primary <ul style="list-style-type: none"> • Single-family homes • Patio homes • Townhouses • Multifamily housing 	Secondary <ul style="list-style-type: none"> • Parks • Churches • Schools • Open Space
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DENSITY	<ul style="list-style-type: none"> • Density range: 4-8 dwelling units per acre 		
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Single-family Residential (R4) • Single-family Residential (R5) • Master Planned Community (MPC) • Multiple-family Residential (RM1) 		
OTHER CRITERIA	<ul style="list-style-type: none"> • The Master Planned Community may be utilized • The developer must demonstrate that the project provides a quality living environment 		

According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the RM1 zone is to *"permit well designed apartments, townhomes, twin homes, and condominiums at relatively high densities that are appropriately buffered from and compatible with surrounding land uses."* The RM1 zone allows for single-family homes on lots with at least 6,000 square feet in size.

Subdivision Layout.

Standard	DCMC Requirements	Proposal	Notes
Lot/Parcel Size	6,000 square foot minimum		Exhibit F
Lot 1		6,000 square feet	
Lot 2		6,000 square feet	
Lot 3		6,000 square feet	
Lot 4		6,000 square feet	
Lot 5		6,000 square feet	
Lot 6		8,075 square feet	
Lot 7		11,050 square feet	
Lot 8		7,954 square feet	
Lot Width	No minimum	All are a minimum of 60 feet	



Lot Depth	5.0 to 1 maximum	Ranges from 1.65 to 2.5	
Street Width	31 feet	31 feet	
Street Ownership	Private	Private	
<i>Setbacks (*per approved Development Agreement)</i>			
Front – Garage	20 feet	20 feet	
Front – Living Area	20 feet	15 feet*	
Side	6 feet	6 feet*	
Side – North and South Lines of Subdivision	n/a	12 feet*	
Rear Corner	6 feet	6 feet*	
Rear Interior	20 feet	20 feet	

Subdivision Minor Plat. The criteria for review and potential approval of a minor subdivision request are found in Sections 17-8-020 of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

The Zoning Administrator, or designee, shall have the ability to approve, approve with conditions, or deny a minor subdivision in accordance with the regulations of this chapter. Alternatively, the Zoning Administrator may direct that the application follow the standard procedure for subdivision approval. The applicant may appeal the decision of the Zoning Administrator to the Appeals and Variance Hearing Officer.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Minor Subdivision submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Minor Subdivision submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Minor Subdivision submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Minor Subdivision submission. Comments from this division, if any, can be found in Exhibit A.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval or denial, as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That the developer shall have one (1) year from the date of approval to record the plat or begin construction of the required landscaping and infrastructure, otherwise the approval shall become null and void. This time period may be extended by the Zoning Administrator for up to an additional six (6) month period for good cause shown. The subdivider must petition in writing for this extension prior to the expiration of the original six (6) month period.
4. Submit proposed CC&R's for review by staff prior to the recordation of the mylar.

The findings for approval are as follows:

1. The proposed subdivision plat complies with DCMC Chapters 17-8, 17-3, and 17-4.

MODEL MOTIONS

Sample Motion for Approval – I approve the Minor Subdivision, as requested by Greg Wall of Landex Development, representing Element Concord LLC, application 2024-0187-SUB, based on the findings and subject to the conditions listed in the Staff Report dated July 1, 2024.

Sample Motion for Modified Approval – I approve the Minor Subdivision, as requested by Greg Wall of Landex Development, representing Element Concord LLC, application 2024-0187-SUB, based on the findings and subject to the conditions listed in the Staff Report dated July 1, 2024, and as modified by the findings and conditions below:

1. List any additional findings and conditions...

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Division

Draper City Building Division

Draper City Fire Department

Draper City Planning Division

Draper City Legal Counsel

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. Submit proposed CC&R's for review by staff prior to the recordation of the mylar.

Building Division Review.

1. No additional comments received.

Engineering and Public Works Divisions Review.

1. All subsurface drains or land drains require a private maintenance plan and protective covenants per DCMC 17-3-030(K) and 17-3-030(N).
2. Stormwater Maintenance Plan and Agreement are now required for every private storm drainage system, per DCMC 16-2-170. Submission of the maintenance plan is now required prior to site approval. The maintenance agreement is a condition of approval; it is required to be recorded and returned to the city prior to issuance of the Land Disturbance Permit for construction of the site. Comment is fully addressed with submission of maintenance plan. Agreement will be requirement of Land Disturbance Permit.
3. Once final plat has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division.
4. Any work in a public right-of-way will require an Encroachment Permit obtained through the Engineering Division.
5. Draper City requires the engineer of record to provide the subdivision as- built drawings, retention basins volume certifications, and site grading and drainage certification letter after subdivision construction is complete.

Fire Division Review.

1. Fire Department Access is required. An unobstructed minimum road width of 26' exclusive of the shoulders and a minimum height of 13'6" inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of 28'. There shall be a maximum grade of 12%. Grades may be checked prior to building permits being issued.
 - a. D103.6.1 Roads 20 to 26 feet in width. Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads that are 20' to 26' wide.
 - This section requires that parking be prohibited on both sides of

narrower fire apparatus access roads. 20' is the appropriate width needed for two average-size fire trucks to pass one another. If that width is reduced by parking even on one side, it will be potentially difficult for a fire department to undertake emergency operations in that area.

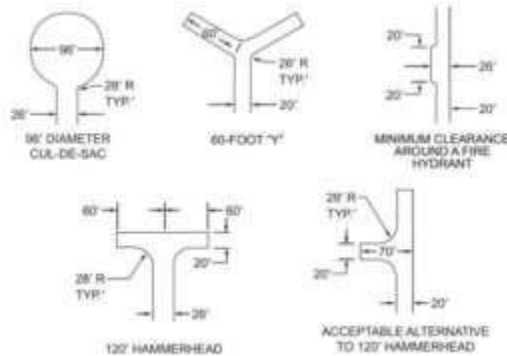
- b. D103.6.2 Roads more than 26' in width. Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads more than 26' wide and less than 32' wide.
 - Because this width is more than sufficient for maneuvering at least two fire department vehicles by one another, parking would be allowed on one side.
2. Site Access Required During Construction. Prior to and throughout construction a form of acceptable temporary Fire Department Access to the site shall be installed this includes turn arounds. The required access for fire apparatus access shall have a base material capable of supporting a 75,000 lb vehicle, during most-weather conditions, installed and compacted to 95% relative compaction at a minimum of 26' wide. There shall be no parking of construction vehicles, sub-contractor vehicles within the required fire access they shall be parked on the non-hydrant side of the road to allow for emergency vehicles to still access the subdivision. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
3. Access and Fire Protection During Construction All buildings under construction shall meet the requirements of IFC Chapter 33, Fire Safety During Construction and Demolition as well as all of the sections detailed in this document.
4. IFC SECTION 3310 ACCESS FOR FIRE FIGHTING DURING CONSTRUCTION
 - a. 3310.1.1 Required access. Approved vehicle access for firefighting shall be, provided to all construction or demolition sites. Vehicle access shall be provided to within 100' of temporary or permanent fire department connections. Either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions, shall provide vehicle access. Vehicle access shall be, maintained until permanent fire apparatus access roads are available. Throughout development, please keep all construction parking to one side of road to allow fire access.
 - b. Until permanent fire apparatus access roads are constructed, fire-fighting vehicle access is the means by which fire fighters gain access to the construction or demolition site and building for fire suppression and rescue operations. Such access is an integral component of the fire prevention program. The site superintendent or other person responsible for construction and demolition operations is responsible for maintaining and policing fire-fighter access routes, as pro-vided in Section 3308. Fire apparatus must be able to get within 100' of any installed fire department connection supplying water to temporary or permanent fire protection systems. Access roads must support the weight of the heaviest vehicle that

might respond. The weight requirements are available from the local fire department. All-weather surfaces are required because the responding fire department should not waste time moving snow or trying to get out of mud.

5. D103.6 Signs May be Required. Where required by the fire code official, fire apparatus access roads shall be marked with permanent NO PARKING—FIRE LANE signs complying with Figure D103.6. Signs shall have a minimum dimension of 12" wide by 18" high and have red letters on a white reflective background. Signs shall be, posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2. NO PARKING FIRE LANE signs shall be placed every 150'. Please show on plans.



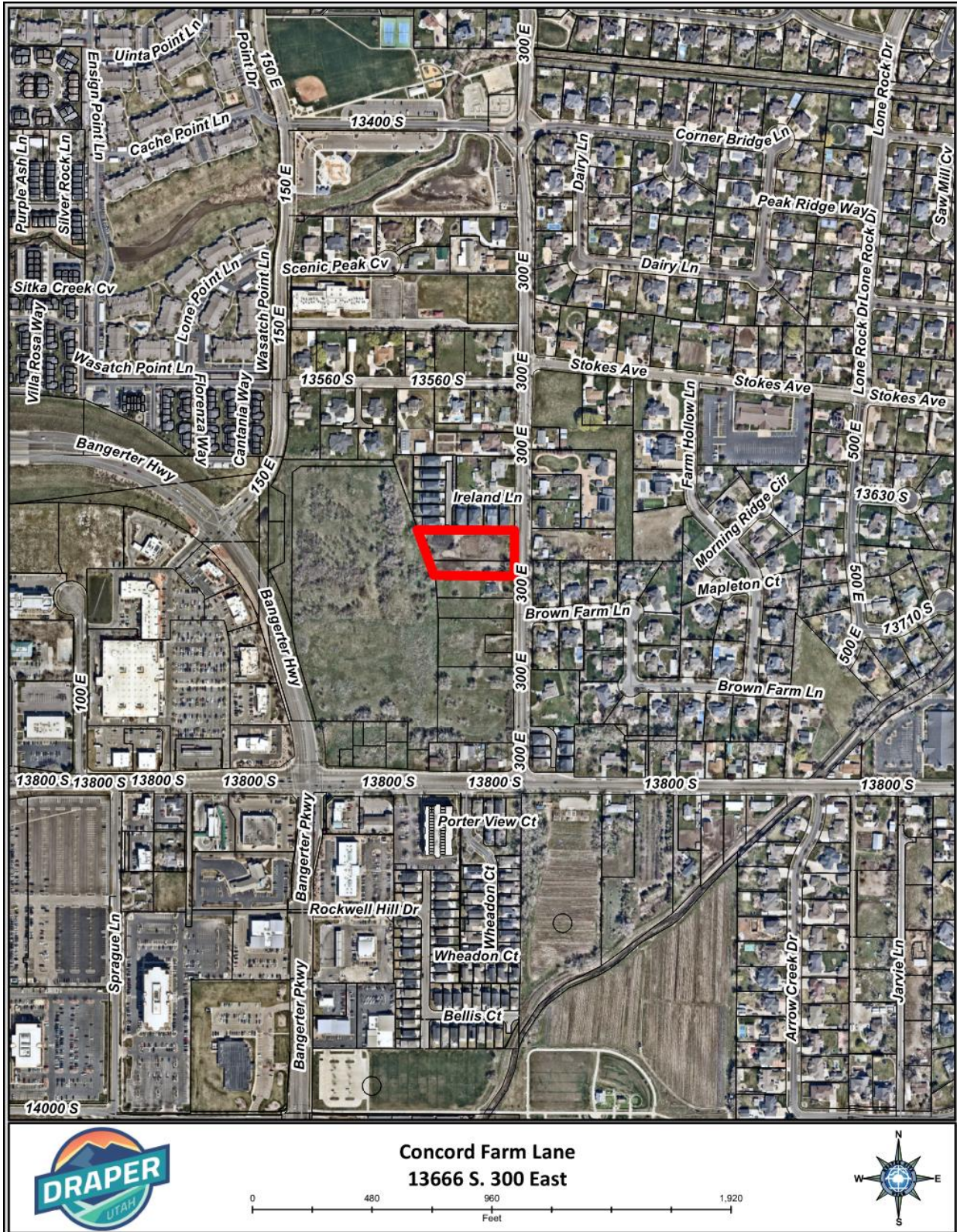
6. Fire Department Approved Turn Around Required. Access roads over 150' long shall require an approved turn around. Below is a diagram of approved fire department turn arounds.



7. Fire Hydrants are required. Hydrants are required to be spaced at 450' as the hose lays not as the crow flies for this project. Fire Flow of 2,000 GPM @ 20 p.s.i. residual pressure. All fire hydrants are required to be operational and unobstructed at all times throughout the project. If at any time a hydrant needs to be shut down and made inoperable the Fire Marshal shall be notified immediately.
8. Utilities. All utilities including Fire hydrants within the required width of fire apparatus access roads shall be installed prior to introducing combustible materials to a site or commencing vertical construction. Any excavation in the required fire department access roadway after combustible materials are on site shall be performed in a manner to maintain access to the site and shall be coordinated with the Fire Marshal. Combustible material shall not be placed in any way that will impede fire apparatus access to any site.

9. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.
10. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
11. Street Signs required and are to be posted and legible prior to building permits being issued. All lots to have lot number or address posted and legible.
12. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.
13. Plan approval or review shall not, be construed to relieve from or lessen the responsibility of any person designing, owning, operating or controlling any building. Damages to persons or property caused by defects, fire, improper installation, or other emergency conditions that occur in or on the building property shall not hold the Draper City Fire Department as assuming any liability.

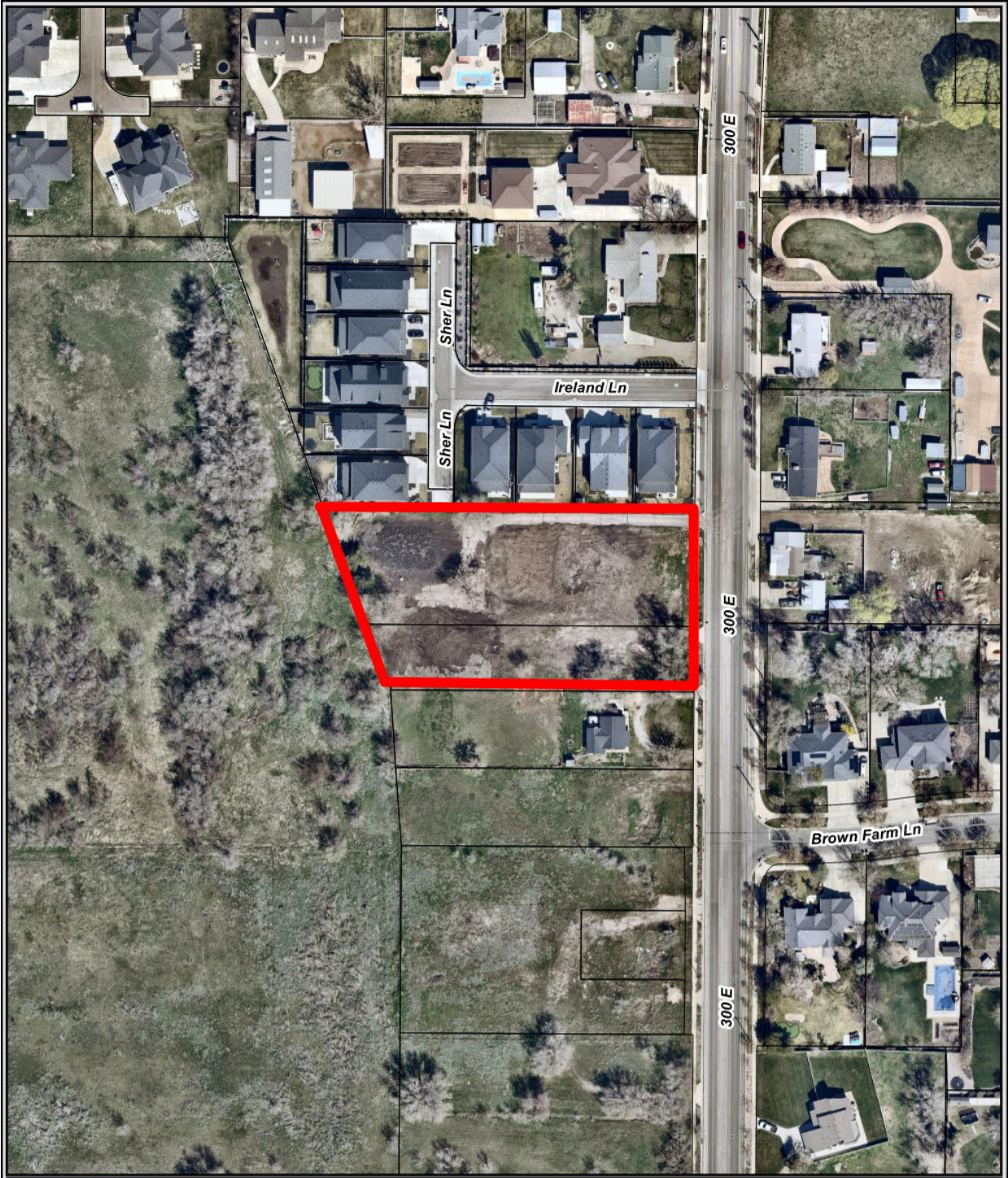
EXHIBIT B
VICINITY MAP



Concord Farm Lane
13666 S. 300 East



EXHIBIT C
AERIAL MAP



Concord Farm Lane
13666 S. 300 East

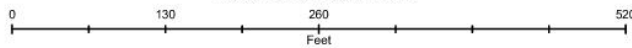
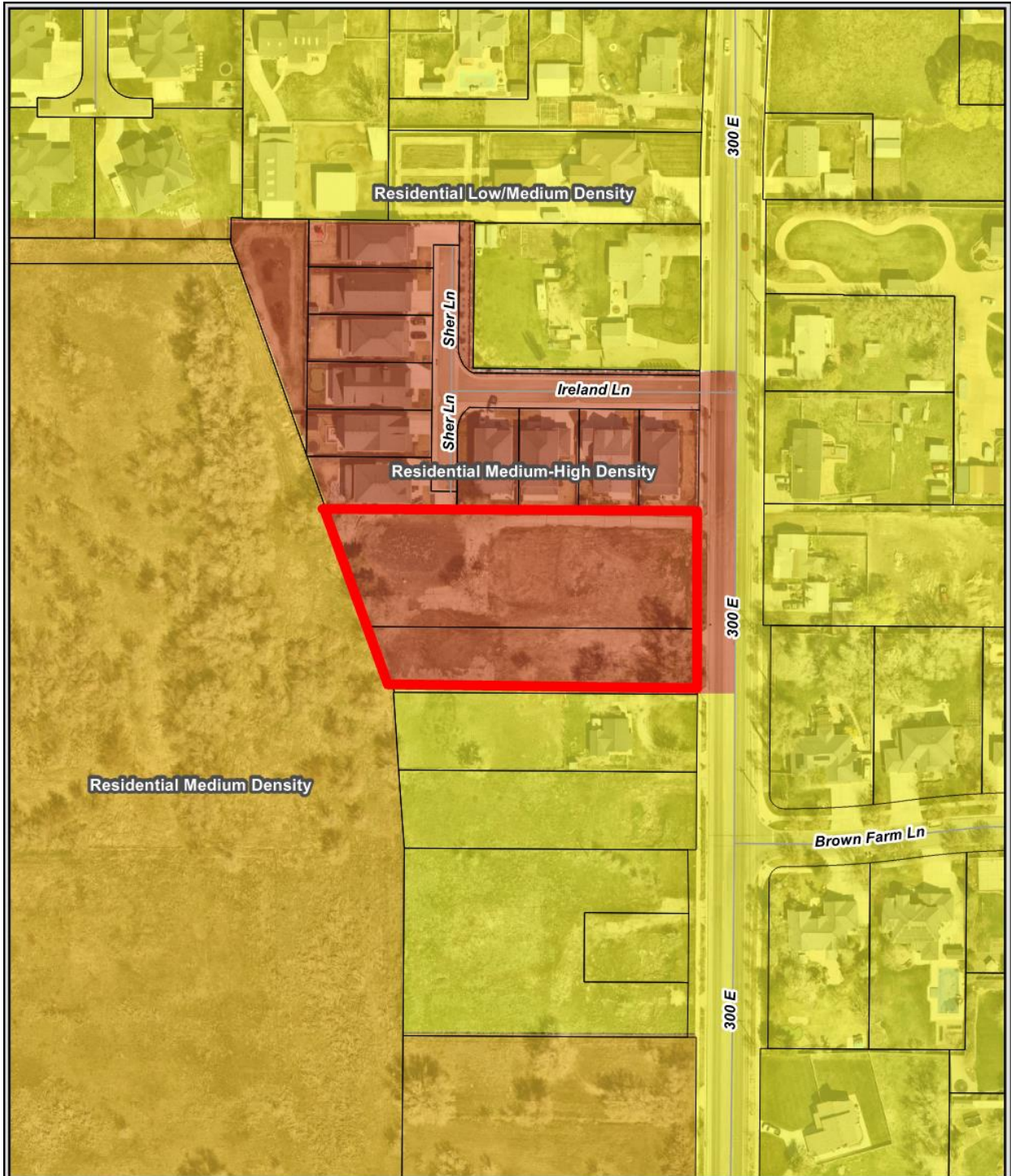


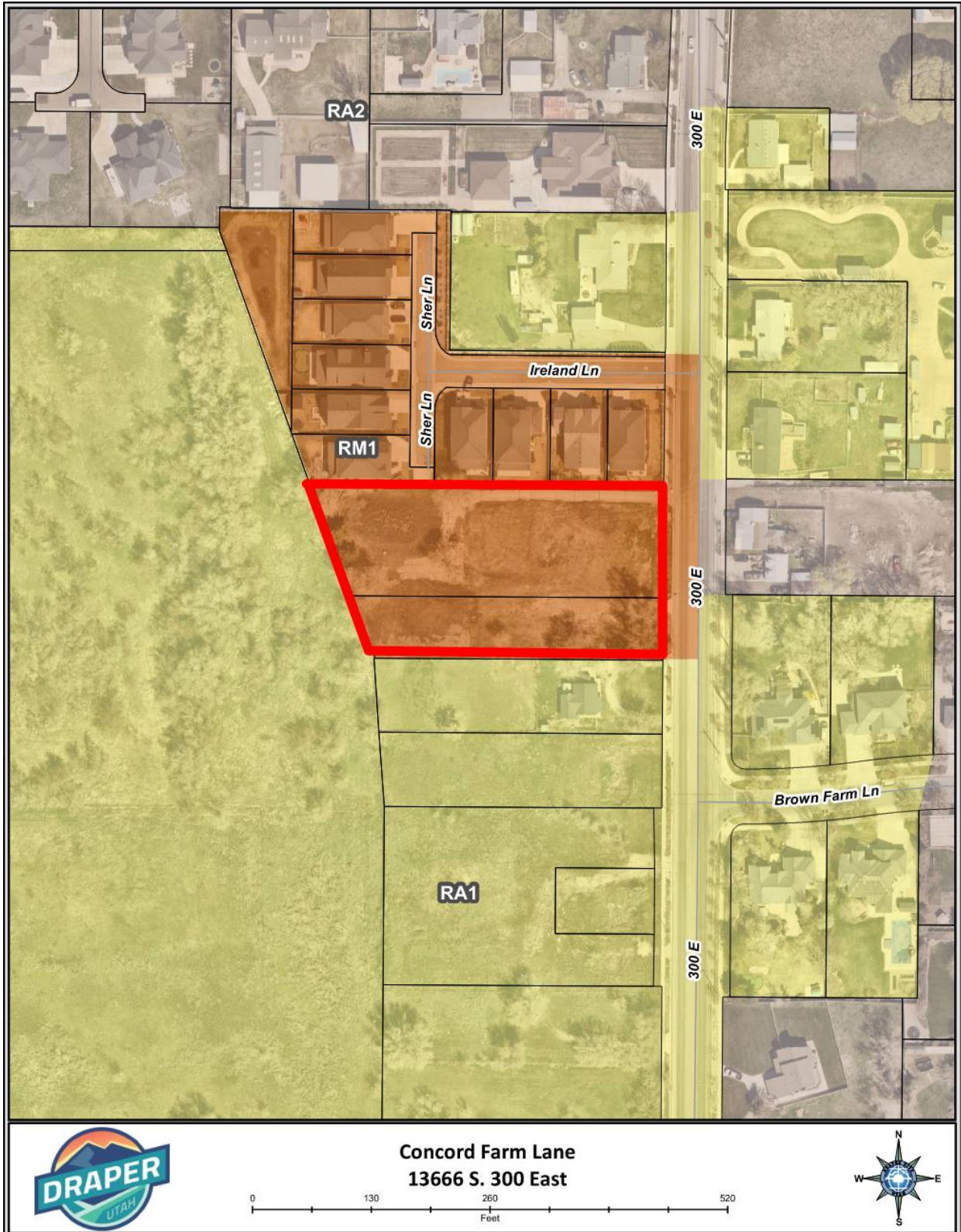
EXHIBIT D
LAND USE MAP



Concord Farm Lane
13666 S. 300 East



EXHIBIT E
ZONING MAP



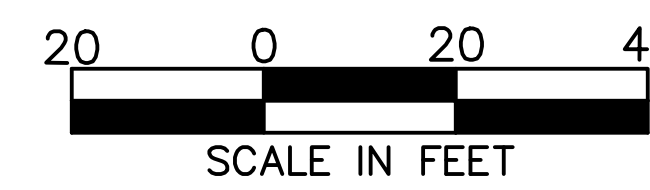
**EXHIBIT F
PROPOSED PLAT**

CONCORD FARM LANE SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 6,
TOWNSHIP 4 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN.
DRAPER CITY, SALT LAKE COUNTY, UTAH
MAY 2024

IRELAND LANE (13625 S.)

NORTH QUARTER CORNER OF SECTION 6,
TOWNSHIP 4 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
(FOUND STANDARD FLAT BRASS 2.5")



LEGEND

- PROPERTY LINE
- LOT LINE
- SECTION LINE
- - - ADJACENT PARCELS
- - - SEWER EASEMENT
- - - PUBLIC UTILITY & DRAINAGE EASEMENT (PU&DE)
- COMMON AREA
- ▨ RETENTION/DETENTION BASIN AREA
- ▧ CLEAR VIEW TRIANGLE
- REBAR & CAP TO BE SET AT ALL REAR LOT CORNERS MARKED WITH L.S. #7377758
- ◆ FOUND MONUMENT
- STREET MONUMENT TO BE SET

CLIENT

CONTACT: GREG WALL
134 W 13100 SOUTH, SUITE 200
DRAPER, UTAH 84020

STATEMENT OF ACCURACY

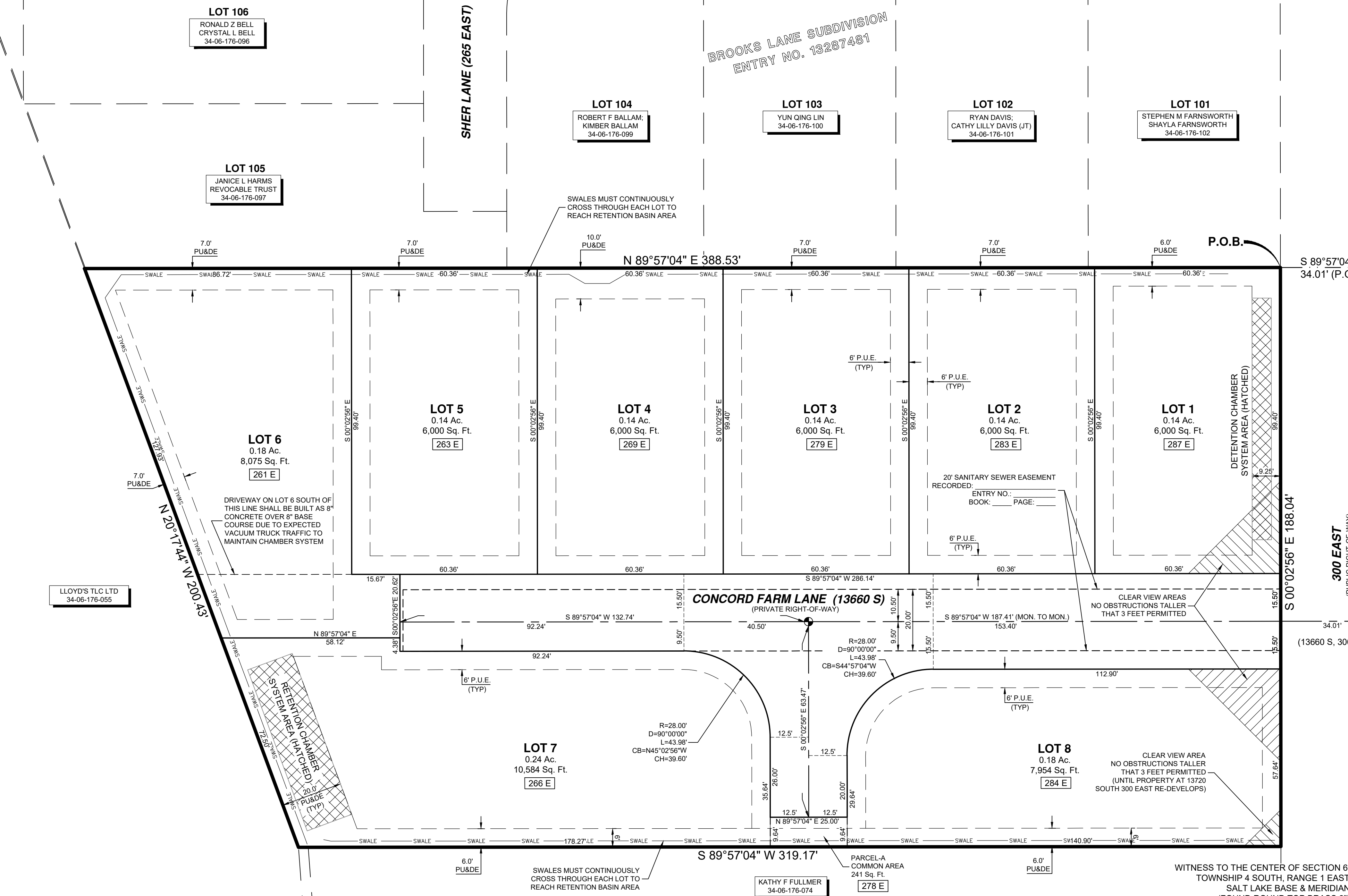
MEETS THE MINIMUM ALLOWABLE ERROR OF 1:20,000

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 00°02'56" EAST BETWEEN THE NORTH 1/4 CORNER AND A WITNESS CORNER TO CENTER SECTION 6, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

NOTES:

- LOT 1 DRIVEWAY SHALL BE 30 FEET FROM 300 EAST RIGHT-OF-WAY LINE. LOT 8 DRIVEWAY SHALL BE 40 FEET FROM 300 EAST RIGHT-OF-WAY LINE.
- LOT 1 & 8 SHALL HAVE NO OBSTRUCTION HIGHER THAN 3 FEET IN THE TRIANGLE AREA.
- LOT 1 & 8 SHALL NOT HAVE ACCESS TO 300 EAST.
- SEE THE RECORDED DEVELOPMENT AGREEMENT FOR INFORMATION ON BUILDING SETBACK REQUIREMENTS.
- SHALLOW SEWER DEPTHS! CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.
- RETENTION AND DETENTION CHAMBER SYSTEMS IN THIS SUBDIVISION SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. THE HOMEOWNERS ASSOCIATION IS HEREBY PERMITTED TO ACCESS LOTS 1, 6, AND 7 FOR THIS PURPOSE. TOTAL REQUIRED RETENTION VOLUME CAPACITY IS 2,726 FT³. TOTAL REQUIRED DETENTION VOLUME CAPACITY IS 963 FT³.
- CONCORD LANE (13660 S) ROAD IS A PRIVATE ROAD AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- CROSS-LOT SWALES ARE REQUIRED. EACH LOT OWNER IS RESPONSIBLE FOR MAINTAINING THE PORTIONS OF SUBDIVISION DRAINAGE SWALES WITHIN THEIR RESPECTIVE LOTS.
- RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, TO CONSTRUCT, OPERATE AND MAINTAIN ITS LINES OF TELEPHONE AND TELEGRAPH ACROSS THE PROPERTY, RECORDED AUGUST 15, 1940 AS ENTRY NO. 886915 IN BOOK 252, PAGE 341-342.
- NO STREET PARKING IS ALLOWED IN CONCORD LANE SUBDIVISION, EXCEPT ON THE SOUTH-SIDE OF CONCORD LANE, IN AREAS OF 26' WIDE ASPHALT, FRONTING LOT 8.
- ALL OF CONCORD LANE (13660 S) ROAD IS HEREBY DEDICATED AS A WATER UTILITY EASEMENT TO DRAPER IRRIGATION COMPANY.
- LOTS 1-8 MAY BE REQUIRED TO CONNECT TO THE SEWER SYSTEM WITH A PRIVATE EJECTOR PUMP, WHICH WILL BE OPERATED, OWNED AND MAINTAINED BY THE LOT OWNER.
- CONCORD LANE PROJECT WILL BE SUBJECT TO THE RECORDED CC&R'S OF THE HOMEOWNERS ASSOCIATION.
- BASEMENT ELEVATION SHALL BE A MINIMUM OF 3 FEET ABOVE HIGHEST GROUNDWATER ELEVATION.



SURVEYOR'S CERTIFICATE
I, MICHAEL S. WITHERS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 7377758 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS CONCORD FARM LANE SUBDIVISION AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

BOUNDARY DESCRIPTION
Beginning at point on the west right-of-way line of 300 East Street; said point being the southeast corner of Lot 101 of the Brooks Lane Subdivision, according to the official plat of record on file at the Salt Lake County Recorder's Office as Entry 13287481; said point also being North 00°02'56" West, along the section line, 1020.03 feet and South 89°57'04" West, 34.01 feet from the Witness Corner to the Center of Section 6, Township 4 South, Range 1 East, Salt Lake Base and Meridian; and running thence South 00°02'56" East, along said west right-of-way line, 188.04 feet; thence South 89°57'04" West, 319.17 feet to a point on a Boundary Line Agreement, recorded as Entry 9833629, in Book 9345, at Page 7775; thence North 20°17'44" West, along said Boundary Line Agreement, 200.43 feet to a point on the south boundary line of said Brooks Lane Subdivision; thence North 89°57'04" East, along said south boundary line, 388.53 feet to the point of beginning.

Contains: 1.53 Acres (or 66,539 Sq. Ft.)
8 Lots

06-25-2024
MICHAEL S. WITHERS
6-25-24
DATE

OWNERS DEDICATION
Know all men by these presents that I/we, the undersigned owner(s) of the hereon described tract of land, hereby set apart and subdivide the same into lots and streets as shown on this plat and name said plat CONCORD FARM LANE SUBDIVISION, and do hereby dedicate, grant and convey to Draper City, Utah: (1) all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever; (2) those certain public utility and drainage easements as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage; and (3) those parcels designated as public open space, parks, trail or easements, or of similar designation.

In witness whereof, we have hereunto set our hands this _____ day of _____, 2024

NAME _____ ITS _____

LLC ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF } S.S.
On the _____ day of _____, a.d. 20____, personally appeared before me, the undersigned notary public, personally appeared before me _____, whose identity is personally known to me (or proven to me on the basis of satisfactory evidence) and who by me duly sworn/affirmed, do say that he/she is the manager of Element Concord LLC and that said document was signed by him/her in behalf of said LLC by authority of its bylaws or resolution of its board of directors and said _____ acknowledged to me that said LLC executed the same.

Commission Number _____ Signed (A Notary Public Commissioned in Utah)

Commission Expires _____ Print Name of Notary

ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF } S.S.
On the _____ day of _____, a.d. 20____, personally appeared before me, the undersigned notary public, in and for said County of Salt Lake in said State of Utah, the signer(s) of the above Owner's Dedication, _____ in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

Commission Number _____ Signed (A Notary Public Commissioned in Utah)

Commission Expires _____ Print Name of Notary

CMT TECHNICAL SERVICES
9270 SOUTH 300 WEST • SANDY, UT 84070
PHONE: (801) 562-2521 • FAX: (801) 562-2551
DATE: JUNE 25, 2024 FILE: 1488.2110DWGIFPLAT-01

CONCORD FARM LANE SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 6,
TOWNSHIP 4 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN.
DRAPER CITY, SALT LAKE COUNTY, UTAH

RECORDER # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEE _____ SALT LAKE COUNTY RECORDER

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

BY: _____
APPROVED THIS _____ DAY OF _____, A.D. 20____ TITLE: _____

SOUTH VALLEY SEWER DISTRICT
APPROVED THIS _____ DAY OF _____, A.D. 20____
DIRECTOR, SOUTH VALLEY SEWER DISTRICT

ZONING ADMINISTRATOR
APPROVED THIS _____ DAY OF _____, A.D. 20____
ZONING ADMINISTRATOR

EASEMENT APPROVAL

CENTURY LINK COMMUNICATIONS	DATE _____
ROCKY MOUNTAIN POWER	DATE _____
COMCAST CABLE	DATE _____

CITY ENGINEER
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.
DATE _____ DRAPER CITY ENGINEER

DRAPER IRRIGATION COMPANY
(WATER PRO)
APPROVED THIS _____ DAY OF _____, A.D. 20____
DRAPER IRRIGATION COMPANY

CITY ATTORNEY
APPROVED AS TO FORM _____ DAY OF _____, A.D. 20____
DRAPER CITY ATTORNEY

BOARD OF HEALTH
APPROVED THIS _____ DAY OF _____, A.D. 20____
SALT LAKE COUNTY BOARD OF HEALTH

DRAPER CITY COUNCIL
PRESENTED TO DRAPER CITY THIS _____ DAY OF _____, A.D. 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
ATTEND: DRAPER CITY RECORDER MAYOR, DRAPER CITY