



Development Review Committee

1020 East Pioneer Road

Draper, UT 84020

STAFF REPORT

12/13/2024

To: Jennifer Jastremsky, Zoning Administrator

Approved

Date

From: Todd A. Draper, AICP, Planning Manager
801-576-6335, todd.draper@draperutah.gov

Re: Verizon Antenna Modification – Permitted Use Permit Request

Application No.: 2024-0381-USE

Applicant: Patrick Hunter, representing Smartlink and Verizon

Project Location: 11585 S State Street

Current Zoning: CR (Regional Commercial) Zone

Acreage: 1.01 Acres (Approximately 43,996 ft²)

Request: Request for approval of a Permitted Use Permit in the CR zone regarding equipment upgrades for an existing wireless facility.

SUMMARY AND BACKGROUND

This application is a request for approval of a Permitted Use Permit for approximately 1.01 acres located on the east side of State Street, at approximately 11585 S State Street (Exhibits B and C). The property is currently zoned CR.

The wireless facility was developed in approximately 2016 as a sixty foot (60') tall monopole for Verizon Wireless. Changes to the equipment were last approved in 2022. This application is for an equipment upgrade to the antennas on the tower.

ANALYSIS

General Plan and Zoning.



Table 1	General Plan and Zoning Designations	Exhibit
Existing Land Use	Community Commercial	Exhibit C
Current Zoning	CR	Exhibit D
Proposed Use	Wireless Telecommunications Facility	
Adjacent Zoning		
East	R3 (Residential, 15,000 ft ² min. lot size)	
West	CC (Community Commercial)	
North	CR	
South	CR	

The Community Commercial land use designation is characterized as follows:

Community Commercial

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Includes the full scope of commercial land uses that require and utilize exposure to the freeway • Intended to be traveler-or commuter-oriented and should provide lodging, food, personal services and other similar uses • Frontage roads • Deeper setbacks for landscaping and enhancements • Limited traffic access points • Visual unity • Uniform design standards and aesthetics • Access to individual properties should be provided only from frontage roads • Well landscaped street frontages • Limited traffic access points for the site • Common off-street traffic circulation and parking areas • Pedestrian access from surrounding residential areas
LAND USE MIX	<ul style="list-style-type: none"> • Large-scale, master-planned commercial centers • Big-box stores and offices
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Community Commercial (CC) • General Commercial (CG) • Interchange Commercial (CI) • Institutional Care (IC)
LOCATION	<ul style="list-style-type: none"> • Strategically placed along high-traffic corridors with convenient points of traffic access to and from residential areas

According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CR zone is to *"provide areas where a combination of destination-oriented business, retail commercial, entertainment, and related uses may be established, maintained and protected to serve both residents and nonresidents of the city. Typical uses in this zone include large scale, master planned commercial centers with outlying commercial pads, big box stores, and offices."*

Request. The existing Wireless Facility was built in approximately 2015. The center of the Verizon antennas are located at 56-feet high on the pole. The proposed plans are included as Exhibit F in this report. The applicant notes the changes only include the following:

Tower Equipment

- Remove 1 OVP 12
- Remove 1 Hybrid cable
- Install 4 new antennas (2 on Alpha sector, 1 on Beta sector, 1 on Gamma Sector)
- Install 1 Hybrid cable
- Install 1 OVP 6
- Install 1 back to back mount
- Install 1 4' long 2" pipe

Lighting. No changes to the existing lighting for the site are being proposed.

Fencing. The existing fencing of the equipment area will not be changing

Criteria For Approval. The criteria for review and potential approval of a permitted use request is found in Section 9-5-070(E) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

- E. Approval Standards: The following standards shall apply to the issuance of a permitted use permit. A permitted use shall:*
- 1. Be allowed as a permitted use in the applicable zone;*
 - 2. Conform to development standards of the applicable zone;*
 - 3. Conform to applicable regulations of general applicability and regulations for specific uses set forth in this title;*
 - 4. Not be located on any land classified as a primary or secondary conservation area or sensitive land area, except as expressly permitted by provisions of this title;*
 - 5. Not be located in any protected area as shown on a natural resource inventory; and*
 - 6. Conform to any other applicable requirements of this code.*

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Permitted Use Permit submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the



Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Permitted Use Permit submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. A notice of decision will be issued as outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Zoning Administrator review the request and approve the application based on the findings listed below and the criteria for approval as listed within the staff report.

If the Zoning Administrator decides to approve the request, staff recommends they include the following conditions of approval:

1. That the applicant obtains all applicable permits from Draper City Fire and the Building Division, as required for installation of the new components.

Findings for approval:

1. The application is allowed as a permitted use in the applicable zone.
2. The application conforms to development standards of the applicable zone.
3. The application conforms to applicable regulations of general applicability and regulations for the specific use set forth in DCMC Chapter 9-41.
4. The application is not located on land classified as a primary or secondary conservation area or sensitive land area.
5. The land is not located in any protected area as shown on a natural resource Inventory.
6. The application conforms to applicable requirements of Title 9 of the DCMC.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: C=US,
E=brien.maxfield@draperutah.gov,
O=Draper, OU=Public Works -
Engineering, CN=Brien Maxfield
Date: 2025.01.02 09:04:24-07'00'

Draper City Public Works Department

Todd A. Draper

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Draper
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O=Draper City Planning,
CN=Todd A. Draper
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15:57:17-07'00'

Draper City Planning Division

Don Buckley

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O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2024.12.19 06:30:53-07'00'

Draper City Fire Department

Draper City Legal Counsel

Matthew Symes

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O=Draper City Corp., CN=Matthew Symes
Date: 2024.12.30 07:35:01-07'00'

Draper City Building Division

EXHIBIT A
DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments.

Engineering and Public Works Divisions Review.

1. No impact to public utilities, drainage, or traffic.

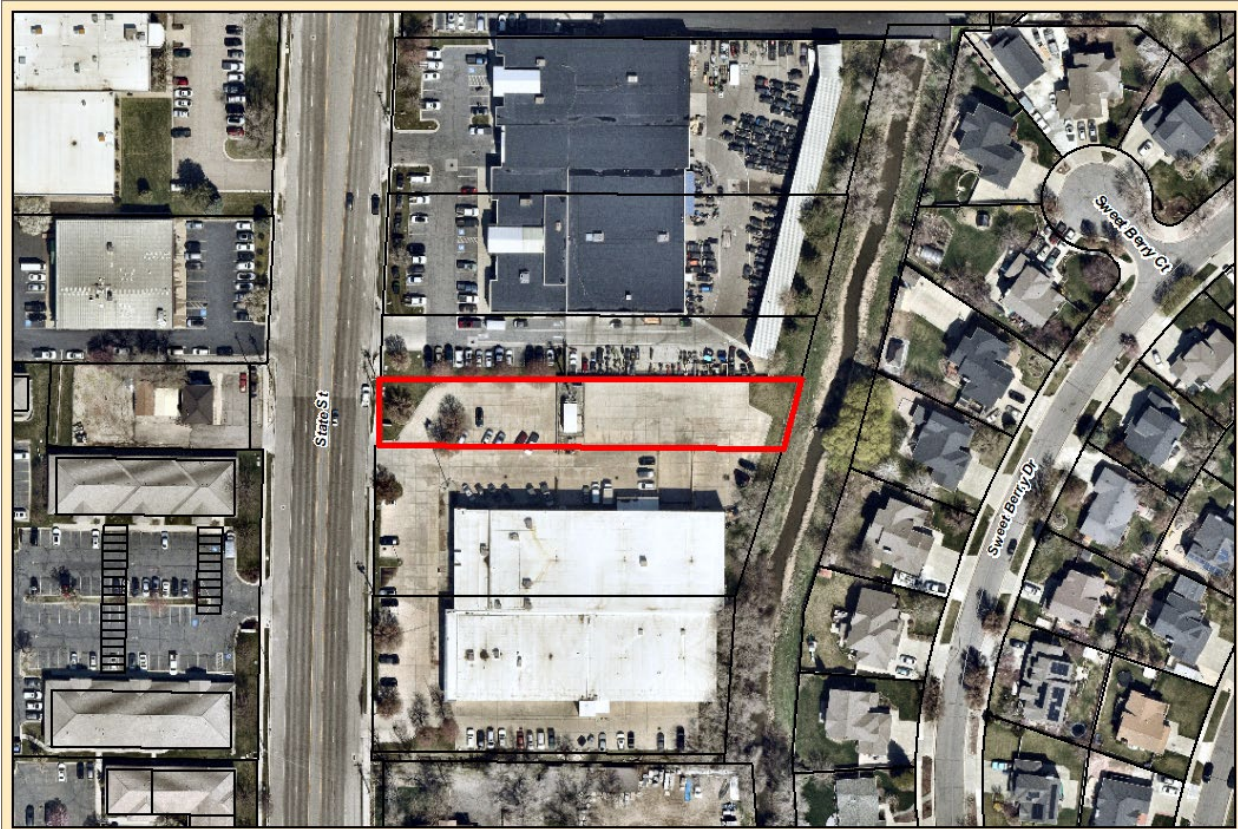
Building Division Review.

1. No additional comments.

Fire Division Review.

1. No additional comments.

**EXHIBIT C
AERIAL MAP**



Date Printed: 1/3/2025

Verizon Antenna Modification
11585 S State Street

0 70 140 280 Feet



EXHIBIT D LAND USE MAP

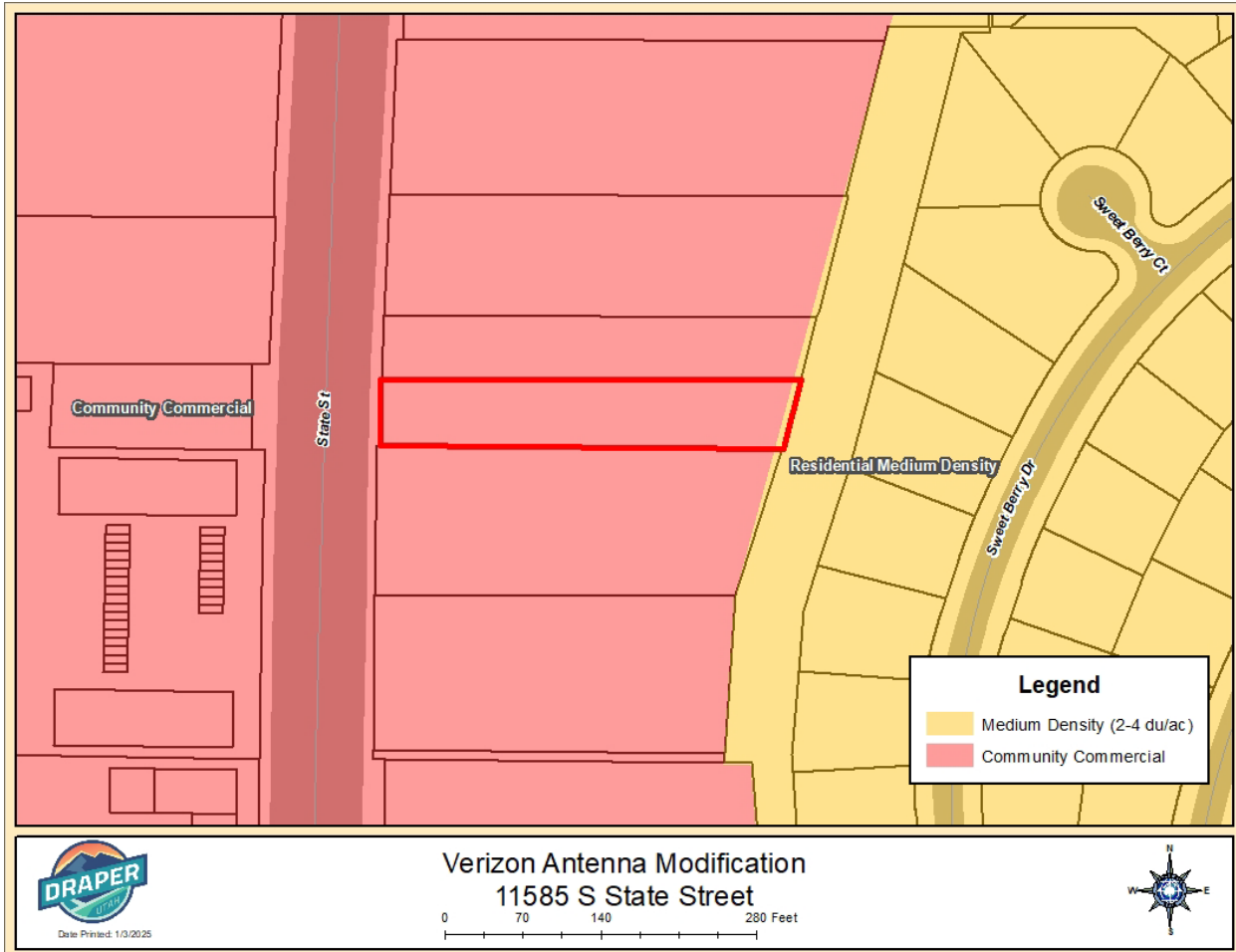


EXHIBIT E ZONING MAP

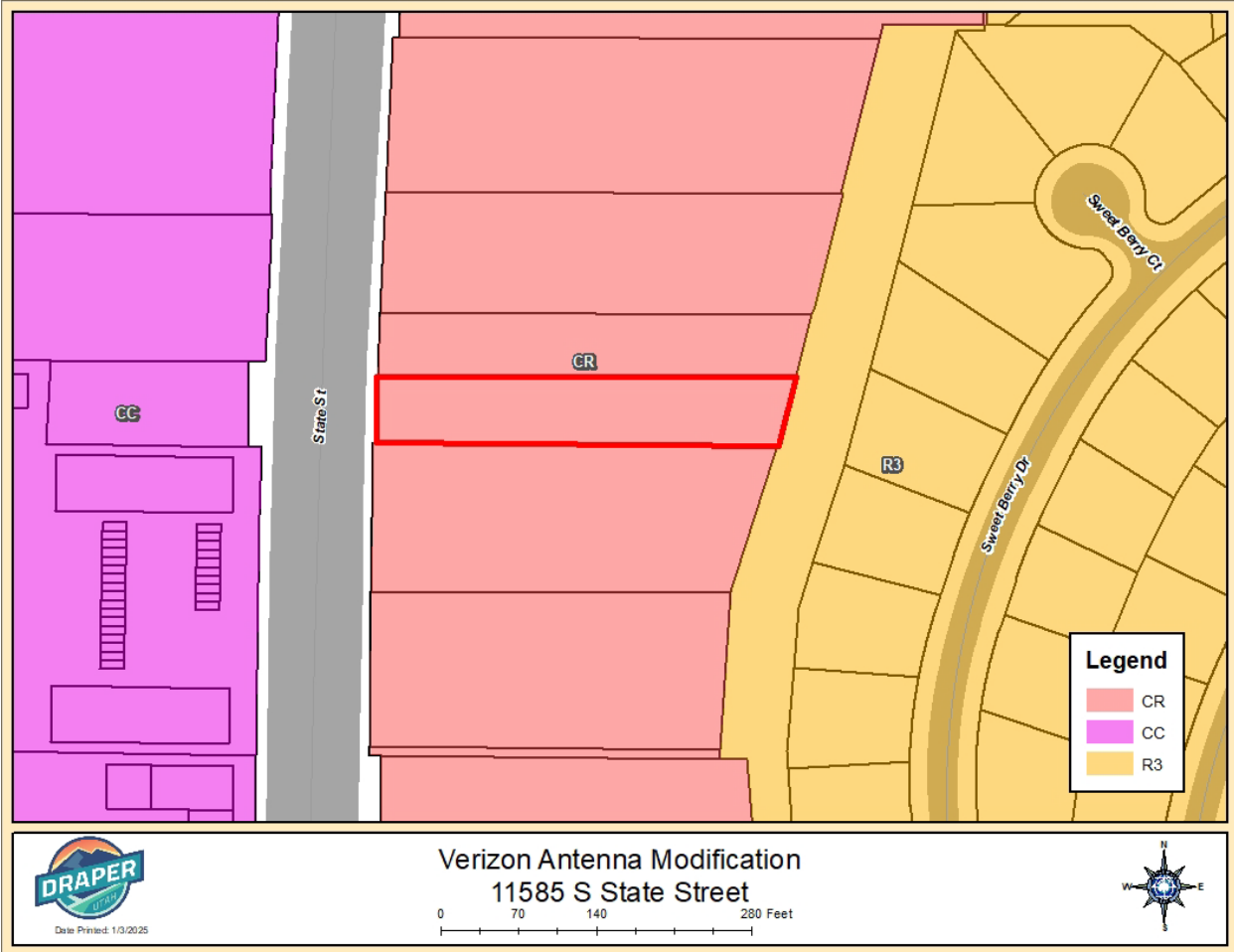


EXHIBIT F
CONSTRUCTION DRAWINGS



IX

MDG: 5000171385

FUZE PROJECT ID: 17344955

ADDRESS: 11585 SOUTH STATE STREET
DRAPER, UT 84020



1074 NALL AVE.
SUITE 400
OVERLAND PARK, KS 66211
PHONE: (913) 344-2800



1825 W. WALNUT HILL LANE, SUITE 120
IRVING, TEXAS 75038
1-855-669-5421



1362 MELLON RD. TUTE 140
HANOVER, MD 21076

ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 11"x17". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCEPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SUBMITTALS

REV	DATE	DESCRIPTION	BY
A	08/13/24	PRELIMINARY	SHA
B	08/15/24	PRELIMINARY	SHA
0	09/02/24	FINAL	DKA
1	10/16/24	FINAL	YOG
2	11/28/24	FINAL	YOG



PROJECT TITLE

MDG: 5000171385

IX

11585 SOUTH STATE STREET
DRAPER, UT 84020

SHEET DESCRIPTION

TITLE SHEET

SHEET NO.

T-1

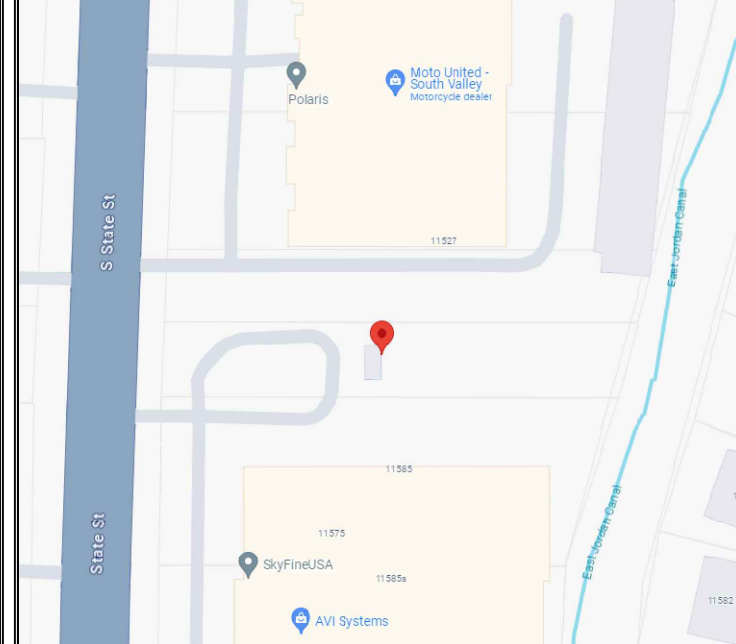
PROJECT INFORMATION

PROJECT DESCRIPTION: PMP DONOR
 SITE NAME: IX
 MDG: 5000171385
 LOCATION #: 262861
 SITE ADDRESS: 11585 SOUTH STATE STREET
DRAPER, UT 84020
 LATITUDE: 40° 32' 29.580" N (40.54155°)
 LONGITUDE: 111° 53' 25.910" W (-111.8905306°)
 JURISDICTION: SALT LAKE COUNTY
 TELCO COMPANY: VERIZON
 USE & OCCUPANCY GROUP: U
 GROUND ELEVATION: ±4469'-0" AMSL
 STRUCTURE TYPE: MONOPOLE
 STRUCTURE HEIGHT: ±60'
 HIGHEST APPURTENANCE: ±66'
 PROPERTY OWNER: CB ASSOCIATES/PROPERTIES LLC
9 S NORTHRIDGE WY BRIAN & GUNN CHALLIS
SANDY, UT 84092-4906
 APPLICANT: VERIZON WIRELESS
 SITE ACQUISITION FIRM: SMARTLINK
 CONTACT: TJ HARRIS
EMAIL: TIMOTHY.HARRIS@SMARTLINKGROUP.COM
PHONE: 443-370-5472
 ENGINEERING FIRM: TRYLON
1825 W. WALNUT HILL LANE, SUITE 120
IRVING, TEXAS 75038
1-855-669-5421
 CONTACT: CLIFF ABERNATHY
EMAIL: CLIFF.ABERNATHY@TRYLON.COM

AERIAL MAP



VICINITY MAP



A/E DOCUMENT REVIEW STATUS

TITLE	SIGNATURE	DATE
PROPERTY OWNER:		
SITE ACQUISITION:		
CONSTRUCTION MANAGER:		
ZONING:		
RF ENGINEER:		
STATUS CODE:		
1	ACCEPTED: WITH OR NO COMMENTS, CONSTRUCTION MAY PROCEED	
2	NOT ACCEPTED: RESOLVE COMMENTS AND RESUBMIT	

ACCEPTANCE DOES NOT CONSTITUTE APPROVAL OF DESIGN, CALCULATIONS, ANALYSIS, TEST METHODS OF MATERIALS DEVELOPED OR SELECTED BY THE SUBCONTRACTOR AND DOES NOT RELIEVE SUBCONTRACTOR FROM FULL COMPLIANCE WITH CONTRACTUAL OBLIGATIONS.



Know what's below.
Call before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN UTAH, CALL BLUE STAKES OF UTAH
TOLL FREE: 1-800-662-4111 OR
www.bluestakes.org

UTAH STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

PROJECT DESCRIPTION

VERIZON PROPOSES TO MODIFY AN EXISTING WIRELESS INSTALLATION. THE SCOPE WILL CONSIST OF THE FOLLOWING:
 PMI - EVERY SITE REQUIRES A PMI SUBMISSION TO THE EOR FOR THE FINAL ANTENNA PLACEMENT

TOWER SCOPE:

- REMOVE (1) OVP 6
- REMOVE (1) HYBRID
- INSTALL (4) ANTENNAS (2) PER ALPHA, (1) PER BETA AND GAMMA SECTOR
- INSTALL (1) HYBRID
- INSTALL (1) OVP 12
- INSTALL (1) SITE PRO-1 BBPM-K1 BACK TO BACK MOUNT
- INSTALL (1) 2" STD (2.375" O.D.) SCH. 40 PIPE, 4'-0" LONG
- RETAIN (9) ANTENNAS
- RETAIN (9) RRRH'S
- RETAIN (1) OVP 12
- RETIAN (1) HYBRID

GROUND WORK SCOPE:

- REMOVE (1) OVP 6
- INSTALL (1) OVP 12
- RETIAN (1) OVP 12

DRAWING INDEX

SHEET # SHEET DESCRIPTION

T-1	TITLE SHEET
GN-1	GENERAL NOTES I
GN-2	GENERAL NOTES II
Z-1	SITE PLAN
Z-2	COMPOUND PLAN
Z-3	TOWER ELEVATION VIEW
Z-4	ANTENNA LAYOUT
Z-5	ANTENNA SCHEDULE

CODE COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2021 UTAH BUILDING CODE (IBC 2021)
- 2021 UTAH MECHANICAL CODE (IMC 2021)
- 2020 UTAH ELECTRICAL CODE (NFPA 70, 2020)
- 2021 UTAH PLUMBING CODE (IPC 2021 W/ AMENDMENTS)
- 2021 UTAH FIRE CODE (IFC 2021)

1. GENERAL REQUIREMENTS

A. PURPOSE AND INTENT

- THE DRAWING AND SPECIFICATION ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY, HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED, OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF DISCREPANCIES BETWEEN REQUIREMENTS SHOWN IN BOTH, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- THE INTENTION OF THE DOCUMENT IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.

B. CONFLICTS

- VERIFY ALL MEASUREMENTS AT THE SITE BEFORE ORDERING MATERIAL OR DOING ANY WORK, NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS OR DIMENSIONS SHOWN ON PLANS SUBMIT NOTICE OF ANY DISCREPANCY IN DIMENSIONS OR OTHERWISE TO VERIZON FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS GOVERNING THE WORK.

C. CLEANING

- KEEP THE SITE FREE FROM ACCUMULATION OF WASTE AND RUBBISH CAUSED BY EMPLOYEES AT THE COMPLETION OF THE WORK, REMOVE ALL WASTE AND NON-CONSTRUCTION MATERIAL INCLUDING ALL CONTRACT TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE SITE CLEAN AND READY FOR USE.

D. CODES

- CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS, AND RULES PROMULGATED BY FEDERAL STATE AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE SALTIER. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WEATHER THE LAW, ORDINANCE, REGULATION OR RULE IS MENTIONED IN THESE SPECIFICATIONS.

E. LICENSING

- CONTRACTOR SHALL HAVE AND MAINTAIN A VALID CONTRACTOR'S LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTOR PERFORMING THOSE SHALL BE LICENSED, RESEARCHED AND COMPLY WITH THE LICENSING LAWS, PAY LICENSE FEES, AND SELECT AND INFORM SUBCONTRACTORS REGARDING THESE LAWS.

F. OSHA

- FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS AND STATE LAWS BASED IN THE FEDERAL OCCUPATION SAFETY AND HEALTH ACT. THESE REGULATIONS INCLUDE, BUT ARE NOT LIMITED TO, REGULATIONS DEALING WITH TOWER CONSTRUCTION AND SAFETY, EXCAVATION AND TRENCHING, AND WORK IN CONFINED SPACES. ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES DURING CONSTRUCTION.

G. PHOTOS

- PROVIDE PHOTOGRAPHIC EVIDENCE OF ALL FOUNDATION INSTALLATIONS, GROUNDING, AND TRENCHING AFTER PLACEMENT OF UTILITIES PRIOR TO BACKFILL.

H. BUILDING PERMITS

- CONTRACTOR WILL SUBMIT CONSTRUCTION DOCUMENTS TO THE JURISDICTIONAL AUTHORITY FOR PLAN CHECK AND REVIEW. CONTRACTOR WILL SUBMIT LICENSING AND WORKMAN'S COMPENSATION INFORMATION TO THE JURISDICTION AS REQUIRED TO OBTAIN THE BUILDING PERMIT, CONTRACTOR SHALL COORDINATE AND SCHEDULE REQUIRED INSPECTIONS AND POST REQUIRED PERMITS AT THE JOB SITE COMPLY WITH SPECIFIC PROJECT RELATED REQUESTS AND SUGGESTIONS MADE BY BUILDING INSPECTOR, AND INFORM CONSTRUCTION MANAGER OF ANY SUCH WORK THAT MAY BE BEYOND THE SCOPE OF THE CONTRACT OR DEVIATE FROM THE CONSTRUCTION DOCUMENT. VERIZON WILL REIMBURSE THE CONTRACTOR FEES FOR PLAN REVIEW, BUILDING PERMIT, CONNECTIONS, AND INSPECTIONS. (INCLUDED IN THE BASE PROPOSAL).

I. ZONING REGULATIONS AND CONDITIONAL USE PERMITS

- CONTRACTOR WILL SUBMIT ALL ZONING AND CONDITIONAL USE PERMITS. SOME USE PERMITS MAY HAVE SPECIFIC REQUIREMENTS FOR THE SITE RELATED TO CONSTRUCTION, SUCH AS NOISE REGULATIONS, HOURS OF WORK, ACCESS LIMITATIONS, ETC. THE CONSTRUCTION MANAGER WILL INFORM THE CONTRACTOR OF THESE REQUIREMENTS AT THE PRE-BID MEETING OR AS SHOWN IN THE CONSTRUCTION DOCUMENTS.

J. FAA PERMIT AND TOWER LIGHTING

- REFER TO CONSTRUCTION DOCUMENTS AND CONSTRUCTION MANAGER FOR FAA AND STATE LIGHTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE TEMPORARY FM APPROVED LIGHTING UNTIL PERMANENT LIGHTING IS OPERATIONAL.

K. TOWER SECURITY

- IF REQUIRED, TOWER MUST BE FENCED, TEMPORARILY OR PERMANENTLY WITHIN 24 HOURS OF ERECTION. DO NOT ALLOW THE GATE ACCESSING THE TOWER AREA TO REMAIN OPEN OR UNATTENDED ANY TIME FOR ANY REASON. KEEP THE GATE CLOSED AND LOCKED WHEN NOT IN USE.

L. SITE CONTROL

- THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION AT THE SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO VERIZON.
 - THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
 - ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.
- M. LIVESTOCK PROTECTION
- PROTECT AND SECURE LIVESTOCK. MAINTAIN AND SECURE EXISTING PERIMETER FENCE AND/OR GATE ENCLOSURES.

2. SITE PREPARATION

A. SCOPE OF WORK INCLUDES

- PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES.
- TRIMMING OF EXISTING TREES AND VEGETATION AS REQUIRED FOR PROTECTION DURING CONSTRUCTION ACTIVITIES.
- CLEANING AND GRUBBING OF STUMPS, VEGETATION, DEBRIS, RUBBISH, DESIGNATED TREES AND SITE IMPROVEMENTS.
- TOPSOIL STRIPPING AND STOCKPILING.
- TEMPORARY EROSION CONTROL, SILTATION CONTROL, AND DUST CONTROL CONFORMING TO LOCAL REQUIREMENTS AS APPLICABLE.
- TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS, AND MONUMENTS.
- PROTECTION AND TEMPORARY RELOCATION, STORAGE AND RE-INSTALLATION OF EXISTING FENCE AND OTHER SITE IMPROVEMENTS SCHEDULED FOR RE-USE.
- REMOVAL AND DISPOSAL OF CLEARED MATERIALS.

B. PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS)

- MATERIALS USED FOR TREE PROTECTION, EROSION CONTROL, SILTATION CONTROL, AND DUST CONTROL.

3. EARTHWORK

A. SCOPE OF WORK INCLUDES

- EXCAVATION, TRENCHING, FILLING, COMPACTION, AND GRADING FOR STRUCTURES, SITE IMPROVEMENTS AND UTILITIES.
- MATERIALS FOR SUB-BASE, DRAINAGE, BACKFILL AND GRAVEL FOR SLABS, PAVEMENT AND IMPROVEMENTS.
- ROCK EXCAVATION WITHOUT BLASTING.
- SUPPLY OF ADDITIONAL MATERIALS FOR OFFSITE AS REQUIRED.
- REMOVAL AND LEGDK DISPOSAL OF EXCAVATED MATERIAL AS REQUIRED.

B. QUALITY ASSURANCE

- COMPACTION
 - UNDER STRUCTURES, BUILDING SLABS, PAVEMENTS AND WALKWAYS WILL OBTAIN A 95% COMPACTION AT A MINIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITH PLUS OR MINUS 3% OF THE MOISTURE CONTENT.
 - GRADING TOLERANCES OUTSIDE BUILDING LINES
 - LAWNS, UNPAVED AREAS AND WALKS PLUS OR MINUS 1 INCH.
 - UNDER PAVEMENTS PLUS OR MINUS ½ INCH.
 - GRADING TOLERANCES FOR FILL UNDER CONCRETE APPLICATIONS
 - PLUS OR MINUS ½ INCH MEASURED WITH 10 FOOT STRAIGHT EDGE.

C. PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS)

- SUB-BASE MATERIAL: GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE OR SLAG, AND NATURAL SAND.
- WASHED MATERIAL, EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95% PASSING A 1-1/2 INCH SIEVE.
- GRADING MATERIAL WILL CONSIST OF SATISFACTORY NATIVE OR IMPORTED SOIL MATERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS AND OTHER UNSUITABLE MATERIALS WILL NOT BE ALLOWED FOR USE. IMPORTED MATERIALS SHALL HAVE A CLAY CONTENT OF NO MORE THAN 5%.
- GRAVEL MATERIAL: EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95% PASSING A 1-1/2 INCH SIEVE.
- GEOTEXTILE FABRIC: AS PER CONSTRUCTION DOCUMENTS.

D. CLEARING AND GRUBBING

- REMOVE ALL VEGETATION AND MATERIALS AS REQUIRED. REMOVE STUMPS COMPLETELY UNDER FOUNDATIONS AND ROADWAYS. DISPOSE OF CLEARING AND GRUBBING OFF-SITE OR IN AN ON-SITE LOCATION APPROVED BY CONSTRUCTION MANAGER.

E. STRIPPING

- STRIP NOT LESS 3 INCHES OF SOD AND TOPSOIL FROM AREAS THAT WILL UNDERLAY GRAVEL, PAVEMENT, NEW STRUCTURES OR EMBANKMENTS. STOCKPILE STRIPPING ON-SITE FOR RE-USE AND FINAL LANDSCAPING.

F. EMBANKMENT

- CONSTRUCT EMBANKMENT TO THE LINES AND GRADES SHOWN ON THE DRAWING.
- CONSTRUCT EMBANKMENT FROM ON-SITE EXCAVATION MATERIAL WHEN SUITABLE. USE IMPORTED BACKFILL ONLY AFTER AVAILABLE ON-SITE EXCAVATION MATERIAL HAS BEEN USED.
- CONSTRUCT IN LIFTS OF NOT MORE THAN 12 INCHES IN LOOSE DEPTH. THE FULL WIDTH OF THE CROSS SECTION SHALL BE BROUGHT UP UNIFORMLY.
- MATERIAL SHALL BE PLACED IN LAYERS AND SHALL BE NEAR OPTIMUM MOISTURE CONTENT BEFORE ROLLING TO OBTAIN THE PRESCRIBED COMPACTION. WETTING OR DRYING OF THE MATERIAL AND MANIPULATION TO SECURE A UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYERS MAY BE REQUIRED. SUCH OPERATIONS SHALL BE INCLUDED IN THE APPROPRIATE BID ITEM. SHOULD THE MATERIAL BE TOO WET TO PERMIT PROPER COMPACTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO UTILIZE MATERIAL WITH AN ACCEPTABLE MOISTURE CONTENT.
- DO NOT PLACE FROZEN MATERIAL IN THE EMBANKMENT AND DO NOT PLACE EMBANKMENT MATERIAL UPON FROZEN MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF EMBANKMENTS AND THE REPLACEMENT OF ANY PORTION WHICH HAS BECOME DISPLACED DUE TO CONTRACTOR'S OPERATIONS.
- START LAYERS IN THE DEEPEST PORTION OF THE FILL AND AS PLACEMENT PROGRESSES, CONSTRUCT LAYERS APPROXIMATELY PARALLEL TO THE FINISH GRADE LINE.
- ROUTE EQUIPMENT BOTH LOADED AND EMPTY, OVER THE FULL WIDTH OF THE EMBANKMENT TO ENSURE UNIFORMITY OF MATERIAL PLACEMENT.
- COMPACT EMBANKMENT UNDERLYING NEW GRAVEL PAVING, FLOOR SLABS AND STRUCTURES TO BE 95% COMPACTION AT A MINIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT. COMPACT NON-STRUCTURAL AREA EMBANKMENTS TO A MINIMUM OF 90% OF ASTM 0-1557.

G. SITE GRADING

- USING ON-SITE EXCAVATION MATERIAL, SHAPE, TRIM, FINISH AND COMPACT SURFACE AREAS TO CONFORM TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE DRAWING OR AS DESIGNATED BY THE CONSTRUCTION MANAGER.
- GRADE SURFACES TO DRAIN AND ELIMINATE ANY PONDING OR EROSION.
- ELIMINATE WHEEL RUTS BY REGRADING.
- COMPACT AREAS OF UNDERLYING NEW GRAVEL, PAVING, FLOOR SLABS AND STRUCTURES TO BE AT 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM 0-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.
- CONSTRUCT FINISH SURFACE OF SITE GRADING AREAS WITHIN 1 INCH FROM SPECIFIED GRADE.

H. SUBGRADE PREPARATION

- SHAPE TOP OF SUBGRADE TO THE LINES AND GRADES SHOWN ON THE DRAWINGS.
- MAINTAIN TOP OF SUBGRADE IN A FREE-DRAINING CONDITION.
- DO NOT STOCK PILE MATERIAL ON TOP OF SUBGRADE UNLESS AUTHORIZED BY CONSTRUCTION MANAGER.
- COMPACT THE TOP 12 INCHES OF SUBGRADE TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3% OF THE OPTIMUM MOISTURE CONTENT.
- CONSTRUCT TOP OF SUBGRADE WITHIN 1 INCH OF ESTABLISHED GRADE AND CROSS SECTION.

I. GEOTEXTILE FABRIC

- LAY GEOTEXTILE FABRIC OVER COMPACTED SUBGRADE IN THE COMPOUND AREA AND UNDER LENGTH OF ROAD (WHEN REQUIRED). LAP ALL JOINTS TO A MINIMUM OF 36 INCHES.

J. GRAVEL SURFACING

- CONSTRUCT GRAVEL SURFACING AREAS USING CRUSHED AGGREGATE BASE AND FINISH COURSES AS SPECIFIED BY CONSTRUCTION MANAGER. SPREAD GRAVEL AND RAKE TO OBTAIN A UNIFORM SURFACE AREA.

K. LANDSCAPING

- FURNISH, INSTALL AND MAINTAIN LANDSCAPE WORK AS SHOWN AND/OR REQUIRED WITHIN THE CONSTRUCTION DOCUMENTS OR AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.

L. CONCRETE FORM WORK

- FORMS: SMOOTH AND FREE OF SURFACE IRREGULARITIES. UTILIZE FORM RELEASE AGENTS.
- CHAMFER EXPOSED EDGES OF ALL TOWER FOUNDATION SHALL RECEIVE A ¾ INCH BY ¾ INCH 45 DEGREE CHAMFER. OTHER EXPOSED EDGES SHALL RECEIVE A TOOLED RADIUS FINISH.
- UPON COMPLETION, REMOVE ALL FORMS INCLUDING THOSE CONCEALED OR BURIED.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

4. GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY SITE, YARD AND GROUNDS. CONTRACTOR SHALL REMOVE AND DISPOSE OFF SITE ALL RUBBISH, WASTE MATERIAL, LITTER AND ALL FOREIGN SUBSTANCES. REMOVE PETROCHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUND TO A SMOOTH EVEN-TEXTURED SURFACE.
- THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURE ABOVE GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATION INDICATED. IN PARTICULAR THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN 48 HOURS BEFORE YOU DIG, DRILL OR BLAST CALL LOCAL UTILITIES LOCATOR COMPANY.
- THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THE SITE DURING THE PERFORMANCE OF THIS CONTRACT.
- THE CONTRACTOR SHALL RESTORE ALL DAMAGED, PUBLIC OR PRIVATE PROPERTY TO AT LEAST AS GOOD OF CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE OWNER OR OWNER'S REPRESENTATIVE, SHALL BE REPLACED.
- ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH OSHA REGULATIONS FOR CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
- ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE.
- MAINTAIN FLOW FOR ALL EXISTING UTILITIES
- ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS AS DEFINED BY THE OWNER OF OWNER'S REPRESENTATIVE ON THE DRAWINGS OR GEOTECHNICAL REPORT RECOMMENDATIONS.
- CONTRACTOR TO GRADE ALL AREAS OF THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING OR EQUIPMENT PAD AND THE TOWER.
- IF NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND REGRADING ROADWAY AND ANY DISTURBED AREAS FOLLOWING INSTALLATION OF UTILITIES.
- NO COMMERCIAL MESSAGES TO BE DISPLAYED ON TOWER
- WATER AND SEWER SERVICES ARE NOT REQUIRED FOR THE DEVELOPMENT
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL UNLESS OTHERWISE NOTED.
- ELECTRICAL DRAWINGS HAVE BEEN REVIEWED AND SEALED FOR STRUCTURAL PURPOSES ONLY.

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ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 11"x17". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
A	08/13/24	PRELIMINARY	SHA
B	08/15/24	PRELIMINARY	SHA
0	09/02/24	FINAL	DKA
1	10/16/24	FINAL	YOG
2	11/28/24	FINAL	YOG



PROJECT TITLE

MDG: 5000171385

IX

11585 SOUTH STATE STREET
DRAPER, UT 84020

SHEET DESCRIPTION

GENERAL NOTES I

SHEET NO.

GN-1

ANTENNA CREW

1. REVIEW ANTENNA SCHEDULE WITH CELL TECH
2. FOR EACH SECTOR, LAY ANTENNAS OUT ON THE GROUND AS THEY WILL BE INSTALLED ACCORDING TO THE ANTENNA SCHEDULE
3. LABEL EACH ANTENNA WITH FACE AND POSITION WITH A SHARPIE (EX: "ALPHA-4")
4. LABEL ALL MOTORS WITH SHARPIE WITH BAND AND TECHNOLOGY (EX: "700LTE", "AWSLTE", "PCSLTE", "850VOICE", ETC)
5. CONNECT ALL AISG CABLES (INCLUDING JUMPERS THAT WILL BE USED IN FINAL ASSEMBLY) PER THE ANTENNA SCHEDULE
 - 5.A. WHEN DAISY CHAINING IS INEVITABLE, AS A GENERAL RULE
 - 5.A.A. KEEP LOW AND HIGH BANDS ON SEPARATE AISG CHAINS AS MUCH AS POSSIBLE
 - 5.A.B. MINIMIZE AMOUNT OF MOTORS PER CHAIN AS MUCH AS POSSIBLE
 - 5.B. WHEN COMPLETED ALL RET MOTOR PORTS NEED TO BE CONNECTED, INCLUDING THE MOTORS NOT BEING USED YET. THE ONLY UNUSED PORT WILL BE THE LAST IN THE DAISY CHAIN, WHICH NEEDS TO BE CAPPED AND WEATHERPROOFED.
6. ON LAPTOP, FILL OUT THE SOFTCOPY OF THE RET DEPLOYMENT FROM AND SAVE IT, REPLACING THE "#####" WITH THE 6-DIGIT ENB NUMBER IN THE FILENAME (EX: RET DEPLOYMENT FORM_0981234.XLSX")
7. GIVE A SOFTCOPY OF THE RET DEPLOYMENT FORM TO VZW CELL TECH AND GC/CONSULTANT (EITHER BY EMAIL OR USB STICK)
8. USING THE SAME LAPTOP WITH HAS THE RET DEPLOYMENT FORM OPENED, CONNECT THE CONTROL MODULE AND PROVISION EACH MOTOR RESPECTIVELY (NOTE: CREWS MUST USE SOFTWARE THAT IS SPECIFIC TO THE MOTOR TYPE BEING PROVISIONED (IE-JMA SOFTWARE SHOULD ONLY BE USED FOR JMA MOTORS)
 - 8.1. COPY AND PASTE "RET FRIENDLY NAME" FROM SPREADSHEET (COLUMN A) TO THE "SECTOR ID" FIELD OF EACH MOTOR
 - 8.2. POPULATE "SET RET TILT"
 - 8.3. POPULATE "MECHANICAL TILT"
9. CALIBRATE ALL MOTORS
10. DISCONNECT NECESSARY AISG JUMPERS TO TRANSPORT ANTENNAS SAFELY TO ASSEMBLY
11. INSTALL ANTENNAS ACCORDING TO THE ANTENNA SCHEDULE, USING THE SHARPIE LABELS AS REFERENCE
12. RECONNECT ALL AISG JUMPERS
13. BEFORE PLUGGING INTO EACH RRH, CONNECT MAIN AISG CABLE INTO CONTROLLER TO ENSURE ALL MOTORS ARE STILL SEEN IN THE DAISY CHAIN
14. PLUG AISG INTO RRH AND NOTIFY VZW TECH OF COMPLETION

VERIZON TECH

1. POWER ON RADIO EQUIPMENT AND RUN ANY NECESSARY WOS
2. "DISCOVER" THE RETS
 - 2.A. LOG INTO SAM
 - 2.A.A. VERIFY RET LICENSE ALLOCATION IN SAM
 - 2.A.A.A. ENBEQUIPMENT>ENB>ACTIVATIONSERVICE>ISAISGALLOWED=CHECKED
 - 2.B. LOG INTO NEM LOCAL
 - 2.B.A. GO TO TREE VIEW AND HIGHLIGHT RET SUBUNIT
 - 2.B.B. ENABLE BUS SCAN
 - 2.B.B.A. CONFIGURATION>ENABLE AISG BUS SCAN
 - 2.B.C. ALLOCATE CONFIG RIGHTS
 - 2.B.C.A. CONFIGURATION>ALLOCATION CONFIGURATION RIGHTS
 - 2.B.D. VERIFY CORRECT NUMBER OF RET ARE DISCOVERED
3. "COMMISSION" THE RETS
 - 3.A. LOG INTO NEM LOCAL
 - 3.A.A. STILL IN TREE VIEW, RIGHT CLICK ON "HW MODULES"
 - 3.A.B. SELECT "CREATE RET MO"
 - 3.A.C. RELEASE CONFIG RIGHTS
 - 3.A.C.A. CONFIGURATION>RELEASE CONFIGURATION RIGHTS
 - 3.A.D. VERIFY RETSUBUNIT:SECTORNAME, ELECTRICAL TILT, AND MECHANICAL TILT ARE POPULATED
4. "PROVISION" THE RETS
 - 4.A. LOG INTO SAM
 - 4.A.A. OPEN THE ENB PROPERTIES AND COMPLETE A FULL RESYNC
 - 4.A.B. IN THE SEARCH TEXT BOX, SEARCH FOR "RETSUBUNIT"
 - 4.A.C. VERIFY ALL RETS ARE ACCOUNTED FOR AND "RETSUBUNIT:SECTORNAME", "ANTENNAELECTRICALTILT", AND "RETSUBUNIT:MECHANICALTILT" ARE ACCURATE

POST-MODIFICATION INSPECTION (PMI) REQUIREMENT

1. PMI REQUIRED FOR ALL SITES, REFER TO VERIZON NSTD-446 SECTIONS 1.5 AND 2.3 FOR MORE INFORMATION
2. REFER TO MOUNT ANALYSIS (UNLESS FLAGPOLE) BY XXX DATED XXX FOR ADDITIONAL DETAILS
3. GENERAL CONTRACTOR SHALL PROVIDE THE BELOW DOCUMENTATION TO THE ENGINEER OF RECORD VIA EMAIL TO COLLIERS SMART TOOL TEAM, DROPBOX, OR OTHER FILESHARE METHOD. PROVIDE HIGH RESOLUTION PHOTOS (DO NOT COMPRESS).
4. ENGINEER OF RECORD WILL CONDUCT A REVIEW OF THE PROVIDED DOCUMENTS TO PREPARE A PMI REPORT. ENGINEER OF RECORD WILL NOTIFY GENERAL CONTRACTOR IF ANY ADDITIONAL DOCUMENTATION IS REQUIRED TO COMPLETE THE PMI.
5. PMI DOCUMENTATION SHALL BE SUFFICIENT TO CONFIRM THE UPGRADE WAS BUILT AS DESIGNED, INCLUDING CHANGES AND STRUCTURAL MODIFICATIONS, AND IS IN ADDITION TO ANY OTHER REQUIRED CLOSEOUT PACKAGE DOCUMENTATION
6. REQUIRED DOCUMENTATION FOR PMI INCLUDES THE FOLLOWING AT A MINIMUM. REFER TO THE MOUNT ANALYSIS (UNLESS FLAGPOLE) FOR POSSIBLE ADDITIONAL INFORMATION. IF STRUCTURAL MODIFICATIONS ARE REQUIRED, REFER TO THE MODIFICATIONS DRAWINGS FOR POSSIBLE ADDITIONAL REQUIREMENTS.
 - 6.1. PROVIDE PRE-AND-POST CONSTRUCTION PHOTOS OF EACH SECTOR FROM THE MOUNT ELEVATION AND THE GROUND. CONTRACTOR IS RESPONSIBLE FOR ENSURING THE PHOTOS PROVIDED PROVIDE POSITIVE CONFIRMATION THAT THE MODIFICATION/UPGRADE WAS COMPLETED IN ACCORDANCE WITH THESE CONSTRUCTION DRAWINGS AND ANY STRUCTURAL/MOUNT MODIFICATIONS DRAWINGS. CONTRACTOR SHALL RELAY ANY DATA THAT CAN IMPACT THE PERFORMANCE OF THE MOUNT OR MOUNT MODIFICATION, INCLUDING SAFETY ISSUES. PHOTOS SHALL HAVE A DATE/TIME STAMP IN THE PHOTO. REFER TO THE MOUNT ANALYSIS FOR FILE STRUCTURE SCHEDULE OF PHOTOS. PROVIDE PHOTOS OF THE GATE SIGNS AND CARRIER SHELTER TO IDENTIFY THE TOWER OWNER, SITE NAME, SITE NUMBER, ETC.
 - 6.2. VERIFICATION OF THE MEMBER CONNECTION, BRACING, AND RELEVANT DIMENSIONS
 - 6.3. VERIFICATION OF THE ANTENNA AND OTHER EQUIPMENT CONFIGURATION (PHOTOS OF MODEL NUMBERS/TAGS FOR ALL EQUIPMENT, AS WELL AS THE FEEDLINE CONFIGURATION). TAKE PHOTOS OF THE BACK SIDE OF EACH SECTOR AS WELL AS CLOSE-UPS OF ALL EQUIPMENT. PHOTOS SHOULD CONFIRM THE HORIZONTAL AND VERTICAL POSITIONING OF THE ANTENNAS AND EQUIPMENT AND SHALL HAVE TAPE MEASURERS IN THE PHOTOS TO CONFIRM.
 - 6.4. FOR TIE-BACKS, STRUTS, MOUNT PIPES, PHOTOS TO CONFIRM THE ANGLES AND LOCATION OF ATTACHMENT POINT AT BOTH ENDS OF MEMBER, AS WELL AS DIMENSIONS, THICKNESS, AND LENGTHS OF THE MEMBERS. REFER TO THE CHECKLIST IN THE MOUNT ANALYSIS (UNLESS FLAGPOLE) FOR ADDITIONAL INFORMATION
 - 6.5. MOUNT ATTACHMENT TO THE SUPPORTING STRUCTURE, INCLUDING ANY KICKERS OR SUPPORTS, OR TIEBACKS
 - 6.6. MATERIALS USED (TYPE, STRENGTH, DIMENSIONS, ETC.). PROVIDE BILL OF MATERIALS AND MATERIAL SPEC TO CONFIRM MATERIAL GRADES AND SIZES. PROVIDE DOCUMENTATION FOR GALVANIZATION OF MEMBERS WHETHER HOT-DIPPED OR COLD-GALVANIZED. IF MATERIALS DIFFER FROM THOSE SPECIFIED ON THE DRAWINGS, PROVIDE DOCUMENTATION THAT THE "EQUIVALENT" MATERIAL HAS THE SAME PROPERTIES
 - 6.7. MOUNT ORIENTATION/AZIMUTHS AND ELEVATION. PROVIDE TAPE DROP PHOTOS OF ANTENNA CENTERLINE(S) AND MOUNT ATTACHMENT POINTS TO THE SUPPORTING STRUCTURE. IF THERE ARE MULTIPLE RAD CENTERS, PROVIDE PHOTOS OF ALL ELEVATIONS
 - 6.8. VERIFICATION THAT THE INSTALL HAS NOT CAUSED DAMAGE TO OR UNPLANNED OBSTRUCTION OF THE FOLLOWING:
 - 6.8.1. CLIMBING FACILITIES
 - 6.8.2. SAFETY CLIMB IF PRESENT, INCLUDING PHOTOS ABOVE AND BELOW THE MOUNT
 - 6.8.3. LIGHTING SYSTEM
 - 6.8.4. OTHER INSTALLED SYSTEMS ON THE STRUCTURE
 - 6.8.5. CONTRACTOR SHALL ENSURE THE SAFETY CLIMB IS SUPPORTED AND NOT ADVERSELY AFFECTED BY THE INSTALLATION OF NEW COMPONENTS. THIS MAY INVOLVE THE INSTALLATION OF WIRE ROPE GUIDES OR OTHER ITEMS TO PROTECT THE WIRE ROPE
 - 6.9. OTHER ITEMS DETERMINED BY THE STRUCTURAL ENGINEER TO ENSURE THE MOUNT WILL PERFORM AS DESIGNED. PHOTOS OF RELEVANT MEASUREMENTS, WITH SUFFICIENT DETAILS TO CONFIRM CONNECTION DETAILS, PLACEMENT OF EQUIPMENT, WALL ANCHOR DETAILS, BALLAST QUANTITIES, STRUCTURAL MODIFICATIONS ETC. DIAMETER OF THICKNESS OF BOLTS/THREADED RODS/ANGLES/TUBES ETC SHALL HAVE PHOTOS CONFIRMING CALIPER MEASUREMENTS.
 - 6.9.1. CONFIRMATION THAT ALL HARDWARE WAS PROPERLY INSTALLED, AND EXISTING HARDWARE WAS INSPECTED FOR AN ISSUES
 - 6.9.2. FOR BALLAST SLEDS, DOCUMENTATION OF THE WEIGHT OF BALLAST IN EACH SECTOR
 - 6.9.3. FOR WALL ANCHORS, PHOTOS AN MEASUREMENTS OF OUTSIDE AND INSIDE OF CONNECTIONS. DOCUMENTATION OF ADHESIVE USED, SIZE AND LENGTH OF ANCHORS, EFFECTIVE EMBEDMENT DEPTH OF THE ANCHORS, GROUTING OF HOLLOW WALLS, SPACING AND EDGE DISTANCE MEASUREMENTS, AND ANY THROUGH-BOLTS OR BACKING PLATES.
 - 6.9.4. FOR STUD WELD CONNECTIONS, DOCUMENTATION TO CONFIRM SURFACE PREPARATION, STUD WELD SIZE, GRADE, LENGTH, AND SPACING
 - 6.9.5. FOR FABRICATED PARTS, SHOP DRAWINGS TO BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION
 - 6.9.6. FOR WELDED PARTS, CERTIFIED WELD INSPECTION
 - 6.9.7. FOR BOLTED PARTS, BOLT INSTALLATION AND TORQUE.
7. CONTRACTOR SHALL PROVIDE, IN ADDITION TO THE ABOVE, AS-BUILT CDS WITH REDLINES IDENTIFYING AND CHANGES. THE AS-BUILTS SHALL CONTAIN THE CONTRACTOR'S NAME, PREPARER'S SIGNATURE, AND DATE.
8. IF THE MODIFICATION INSTALLATION WOULD FAIL THE PMI ("FAILED PMI"), THE CONTRACTOR SHALL WORK WITH THE ENGINEER OF RECORD TO COORDINATE A REMEDIATION PLAN IN ONE OF TWO WAYS:
 - 8.A. CORRECT FAILING ISSUES TO COMPLY WITH THE SPECIFICATIONS CONTAINED IN THE ORIGINAL CONTRACT DOCUMENTS AND COORDINATE A SUPPLEMENTAL PMI
 - 8.B. OR, WITH THE EOR'S APPROVAL, THE GC MAY WORK WITH THE EOR TO RE-ANALYZE THE MODIFICATION/REINFORCEMENT/UPGRADE USING THE AS-BUILTS CONDITION
9. NOTE: IF LOADING IS DIFFERENT THAN THAT SHOWN IN THESE CONSTRUCTION DRAWINGS OR STRUCTURAL/MOUNT MODIFICATION DRAWINGS, CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY FOR RESOLUTION
10. THE ENGINEERING FIRM PERFORMING AN ANALYSIS SHALL PROVIDE A CONTRACTOR'S PHOTO LOG AN CHECKLIST TO BE COMPLETED BY THE INSTALLING CONTRACTOR. THE CONTRACTOR SHALL THEN PROVIDE POST-INSTALLATION INFORMATION TO THE STRUCTURAL ENGINEER. THE STRUCTURAL ENGINEER SHALL REVIEW THE DOCUMENTS FOR AN DEFICIENCIES THAT CAN BE DETERMINED FROM THE DESKTOP REVIEW OF THE DATA. THE ENGINEERING FIRM SHALL THEN PROVIDE DOCUMENTATION TO VZW THAT THE SITE IS COMPLETED, AND THE PMI REPORT IS APPROVED.

NOTES



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SUBMITTALS			
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1	10/16/24	FINAL	YOG
2	11/28/24	FINAL	YOG



PROJECT TITLE
MDG: 5000171385

IX

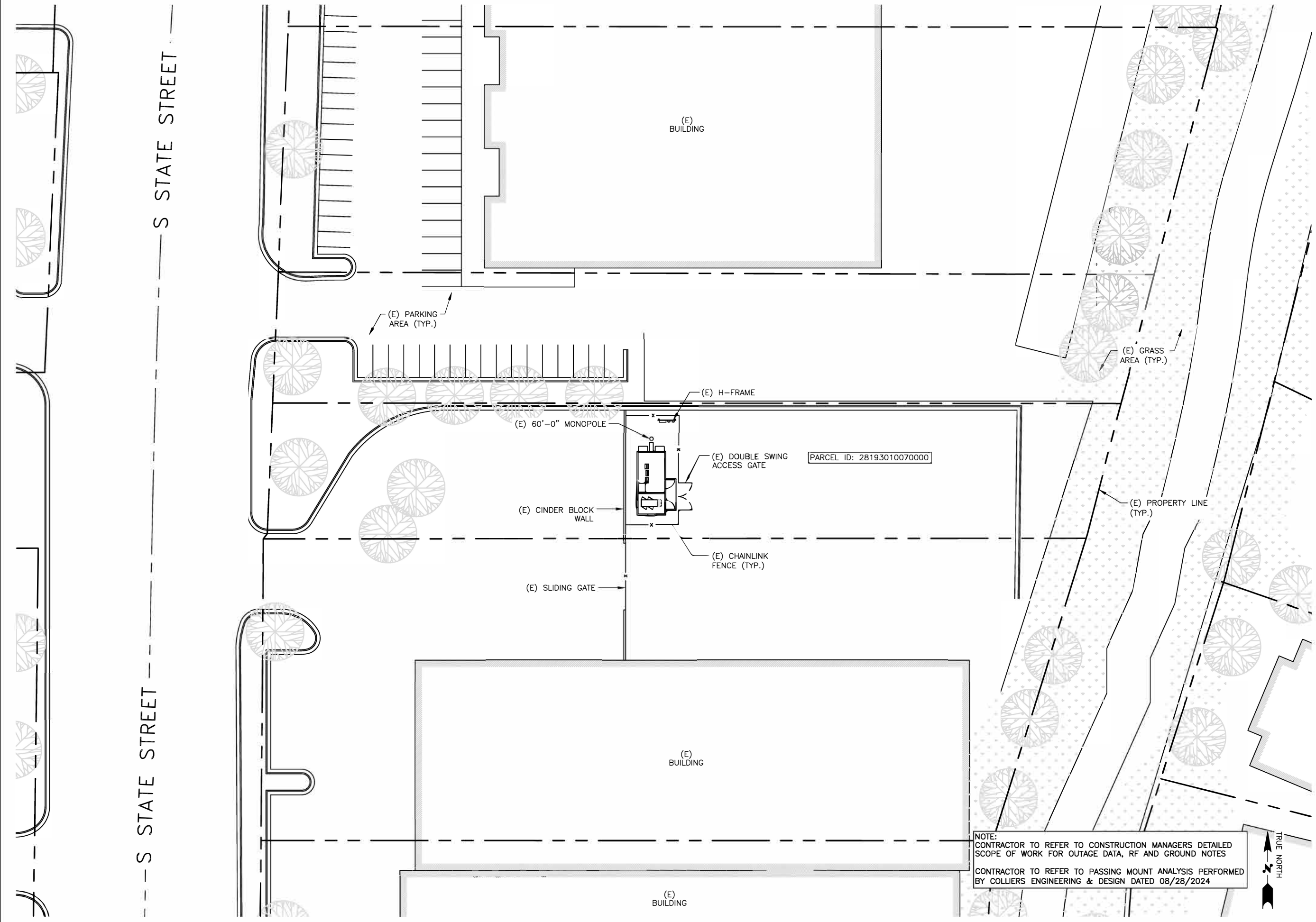
11585 SOUTH STATE STREET
DRAPER, UT 84020

SHEET DESCRIPTION

GENERAL NOTES II

SHEET NO.

GN-2



S STATE STREET

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smartlink
 1362 MELLON RD. SUITE 140
 HANOVER, MD 21076

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PROJECT TITLE
 MDG: 5000171385
 IX
 11585 SOUTH STATE STREET
 DRAPER, UT 84020

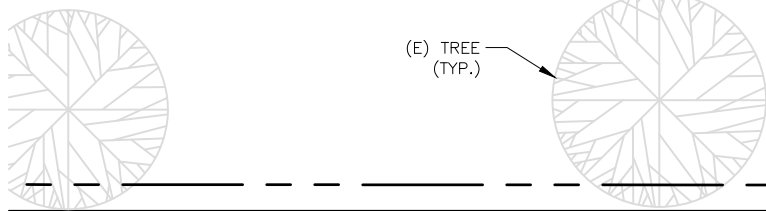
SHEET DESCRIPTION
 SITE PLAN

SHEET NO.
 Z-1

NOTE:
 CONTRACTOR TO REFER TO CONSTRUCTION MANAGERS DETAILED SCOPE OF WORK FOR OUTAGE DATA, RF AND GROUND NOTES
 CONTRACTOR TO REFER TO PASSING MOUNT ANALYSIS PERFORMED BY COLLIERS ENGINEERING & DESIGN DATED 08/28/2024



SCALE: 1"=40'-0" (11x17)
 (OR) 2"=40'-0" (22x34)



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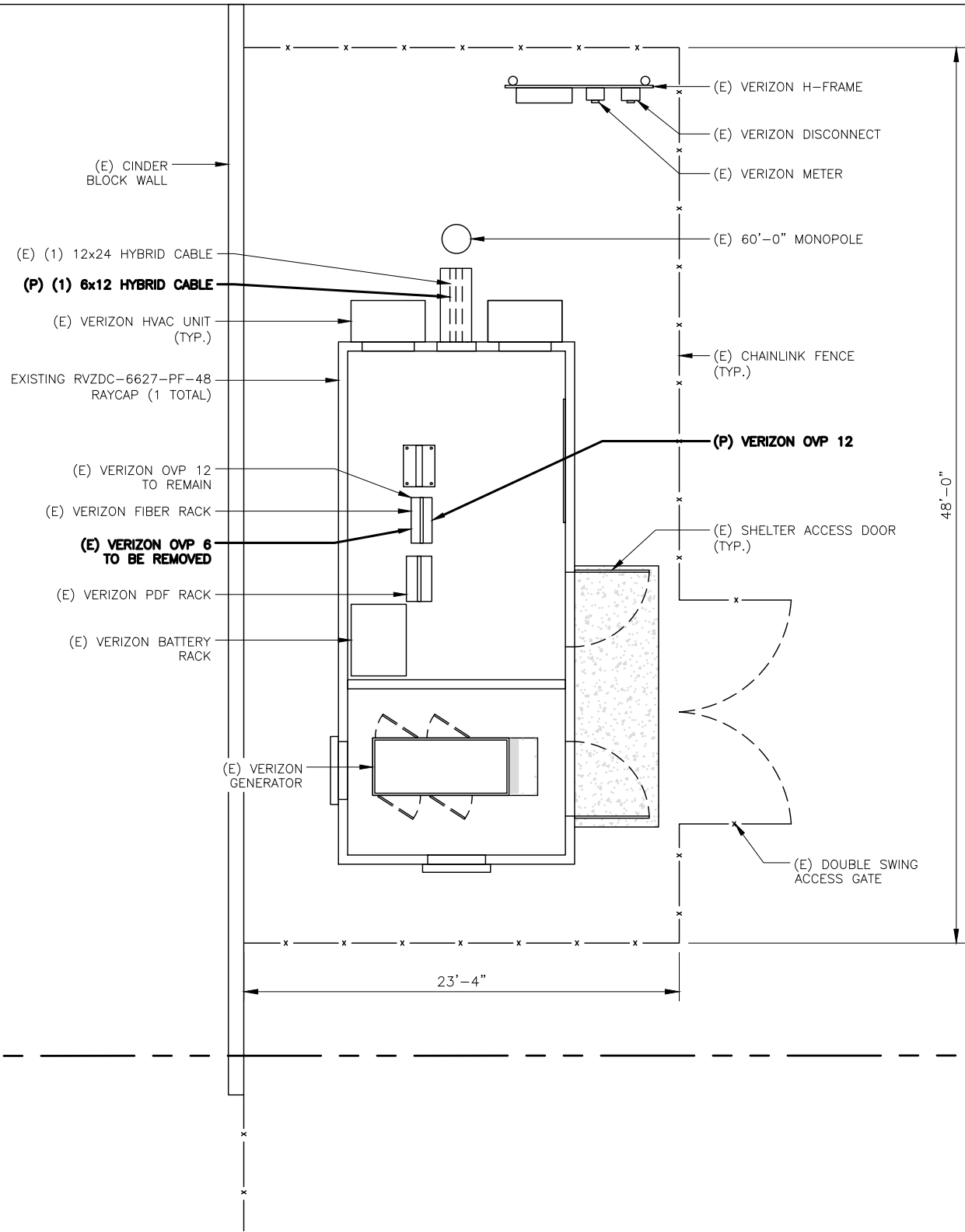


PROJECT TITLE
 MDG: 5000171385
 IX
 11585 SOUTH STATE STREET
 DRAPER, UT 84020

SHEET DESCRIPTION
 COMPOUND PLAN

SHEET NO.
 Z-2

PARCEL ID: 28193010070000



NOTE:
 CONTRACTOR TO REFER TO CONSTRUCTION MANAGERS DETAILED SCOPE OF WORK FOR OUTAGE DATA, RF AND GROUND NOTES
 CONTRACTOR TO REFER TO PASSING MOUNT ANALYSIS PERFORMED BY COLLIERS ENGINEERING & DESIGN DATED 08/28/2024



SCALE: 1/8"=1'-0" (11x17)
 (OR) 1/4"=1'-0" (22x34)



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1362 MELLON RD. SUITE 140
HANOVER, MD 21076

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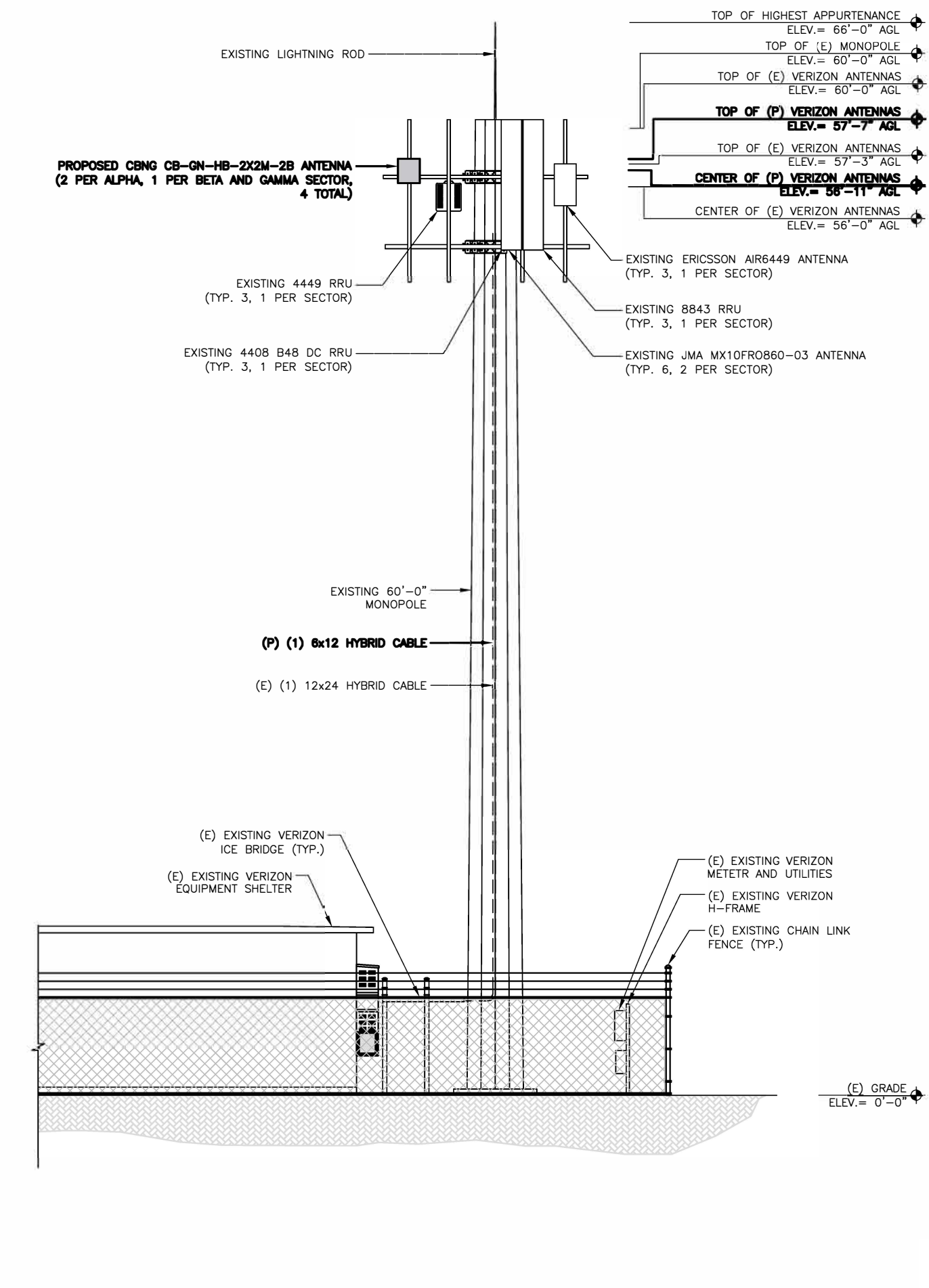
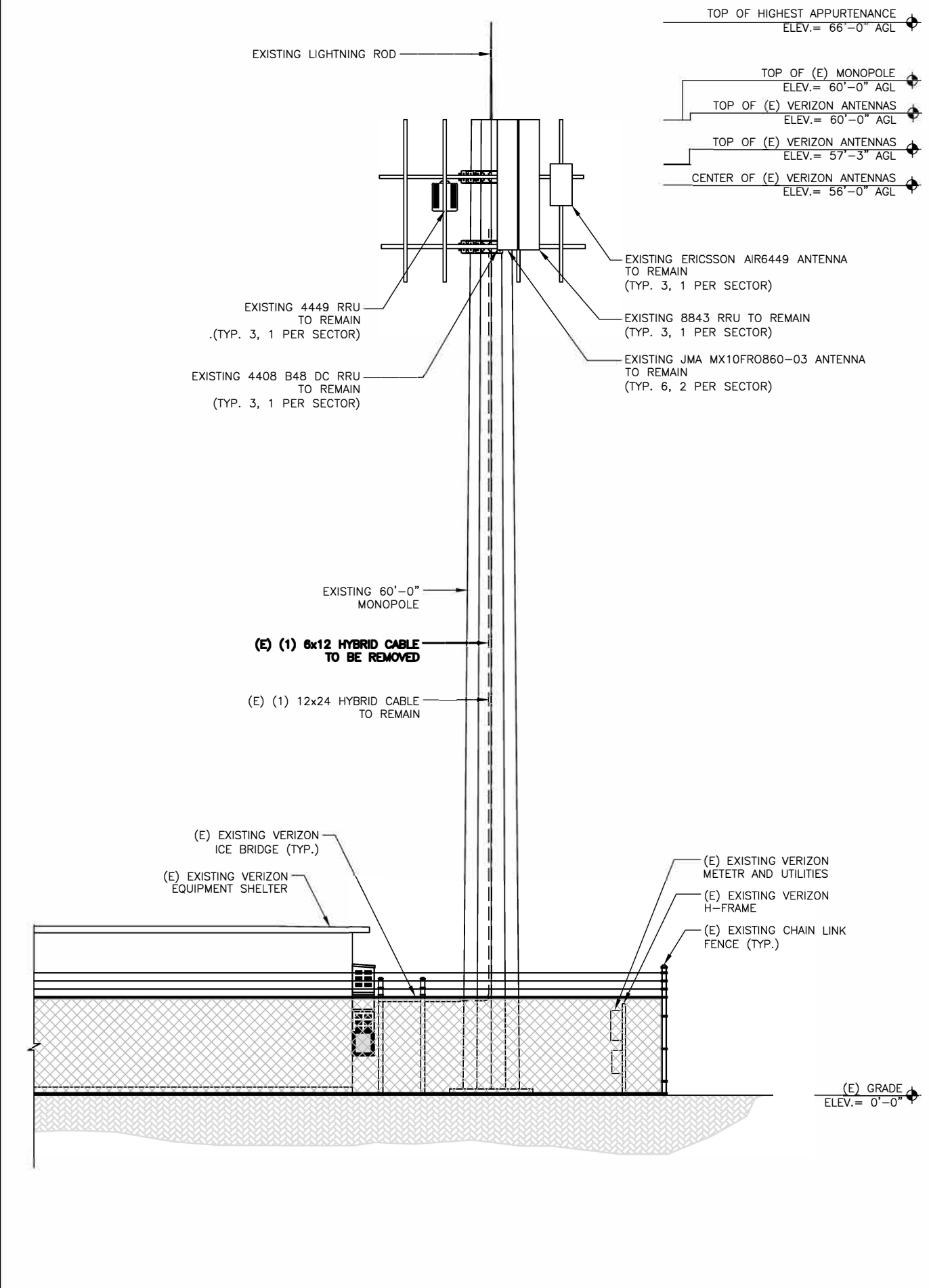
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PROJECT TITLE
MDG: 5000171385
IX
11585 SOUTH STATE STREET
DRAPER, UT 84020

SHEET DESCRIPTION
TOWER ELEVATION
VIEW

SHEET NO.
Z-3





REFER TO ANTENNA MOUNT ANALYSIS REPORT AND PMI REQUIREMENTS BY COLLIERS ENGINEERING & DESIGN DATED AUGUST 28, 2024.

TOTAL EQUIPMENT WIDTH CAN NOT EXCEED 15'-0" PER DCMC SECTION 9-41-050(E)(3).



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PROJECT TITLE

MDG: 5000171385

IX

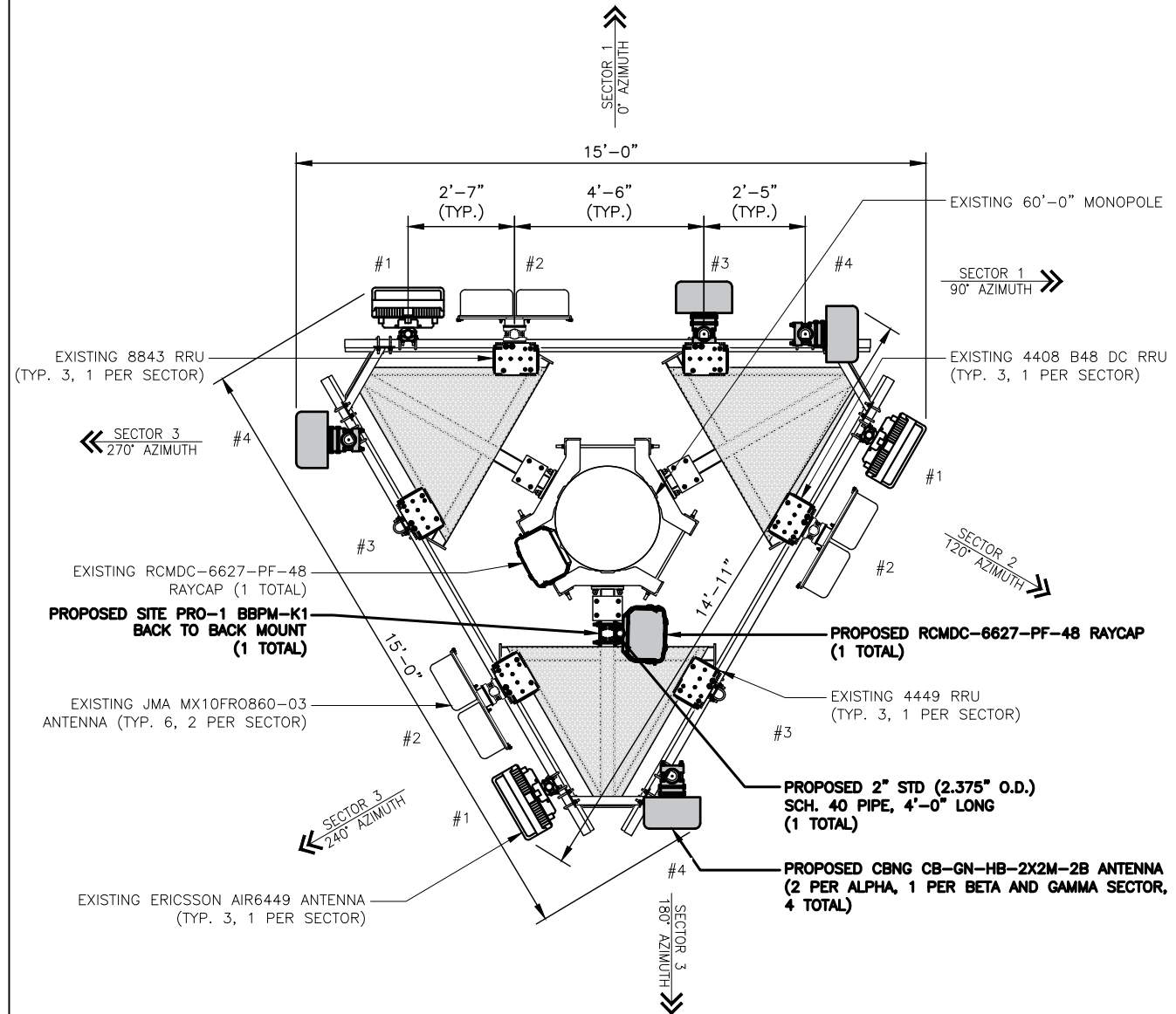
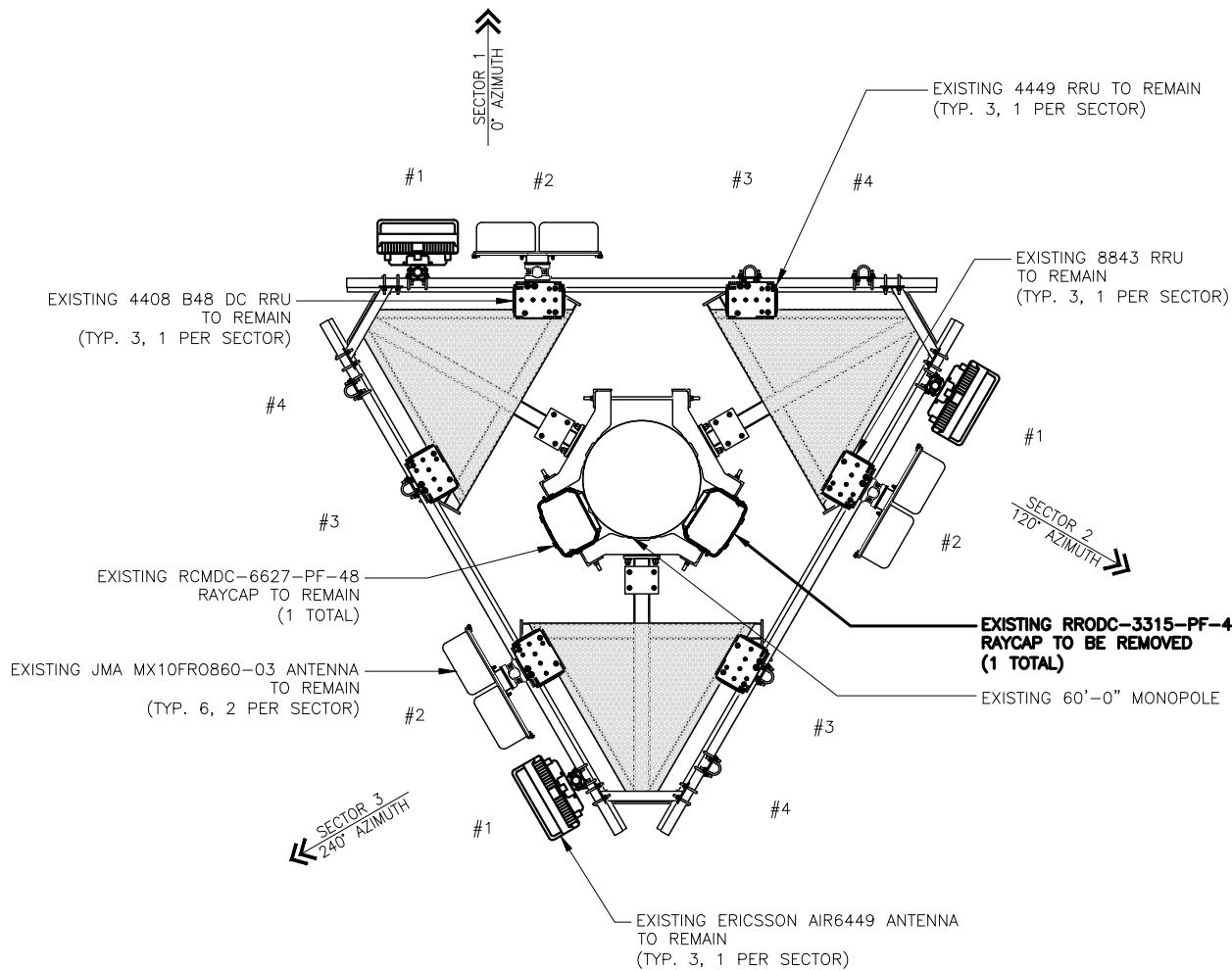
11585 SOUTH STATE STREET
DRAPER, UT 84020

SHEET DESCRIPTION

ANTENNA LAYOUT

SHEET NO.

Z-4



EXISTING ANTENNA LAYOUT



SCALE: 1/4"=1'-0" (11x17)
(OR) 1/2"=1'-0" (22x34)

1

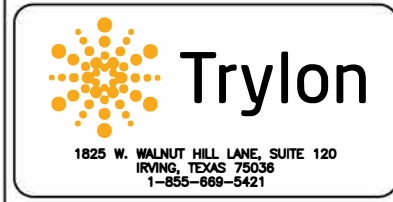
PROPOSED ANTENNA LAYOUT



SCALE: 1/4"=1'-0" (11x17)
(OR) 1/2"=1'-0" (22x34)

2

EXISTING ANTENNA SCHEDULE									
SECTOR	ANTENNA POSITION	ANTENNA MAKE/MODEL	RAD CENTER	AZIMUTH	M-TILT	E-TILT	TECHNOLOGY	RRH MAKE/MODEL	TOWER MOUNTED EQUIPMENT
ALPHA	#1	(E) ERICSSON AIR6449	56'-0"	0°	0°	6°	L-Sub6 5G	INTEGRATED RRU	(1) (E) RAYCAP RR0DC-3315-PF-48 (1) (E) RAYCAP RCMDC-6627-PF-48
	#2	(E) JMA MX10FRO860-03	56'-0"	0°	0°	8°/4'/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 8843	
		(E) JMA MX10FRO860-03	56'-0"	0°	0°	8°/4'/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 4408 B48	
	#3	EMPTY	-	-	-	-	-	(1) (E) 4449	
#4	EMPTY	-	-	-	-	-	-		
BETA	#1	(E) ERICSSON AIR6449	56'-0"	120°	0°	6°	L-Sub6 5G	INTEGRATED RRU	
	#2	(E) JMA MX10FRO860-03	56'-0"	120°	0°	5°/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 8843	
		(E) JMA MX10FRO860-03	56'-0"	120°	0°	5°/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 4408 B48	
	#3	EMPTY	-	-	-	-	-	(1) (E) 4449	
#4	EMPTY	-	-	-	-	-	-		
GAMMA	#1	(E) ERICSSON AIR6449	56'-0"	240°	0°	6°	L-Sub6 5G	INTEGRATED RRU	
	#2	(E) JMA MX10FRO860-03	56'-0"	240°	0°	9°/5'/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 8843	
		(E) JMA MX10FRO860-03	56'-0"	240°	0°	9°/5'/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 4408 B48	
	#3	EMPTY	-	-	-	-	-	(1) (E) 4449	
#4	EMPTY	-	-	-	-	-	-		



ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 11"x17". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
A	08/13/24	PRELIMINARY	SHA
B	08/15/24	PRELIMINARY	SHA
0	09/02/24	FINAL	DKA
1	10/16/24	FINAL	YOG
2	11/28/24	FINAL	YOG

EXISTING ANTENNA SCHEDULE

N.T.S. 1

PROPOSED ANTENNA SCHEDULE									
SECTOR	ANTENNA POSITION	ANTENNA MAKE/MODEL	RAD CENTER	AZIMUTH	M-TILT	E-TILT	TECHNOLOGY	RRH MAKE/MODEL	TOWER MOUNTED EQUIPMENT
ALPHA	#1	(E) ERICSSON AIR6449	56'-0"	0°	0°	6°	L-Sub6 5G	INTEGRATED RRU	(1) (E) RAYCAP RCMDC-6627-PF-48 (1) (P) RAYCAP RCMDC-6627-PF-48
	#2	(E) JMA MX10FRO860-03	56'-0"	0°	0°	8°/4'/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 8843	
		(E) JMA MX10FRO860-03	56'-0"	0°	0°	8°/4'/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 4408 B48	
	#3	(P) CB-GN-HB-2x2M-2B	56'-11"	0°	0°	0°	39GHz	(1) (E) 4449	
#4	(P) CB-GN-HB-2x2M-2B	56'-11"	90°	0°	0°	39GHz	-		
BETA	#1	(E) ERICSSON AIR6449	56'-0"	120°	0°	6°	L-Sub6 5G	INTEGRATED RRU	
	#2	(E) JMA MX10FRO860-03	56'-0"	120°	0°	5°/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 8843	
		(E) JMA MX10FRO860-03	56'-0"	120°	0°	5°/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 4408 B48	
	#3	EMPTY	-	-	-	-	-	(1) (E) 4449	
#4	(P) CB-GN-HB-2x2M-2B	56'-11"	180°	0°	0°	39GHz	-		
GAMMA	#1	(E) ERICSSON AIR6449	56'-0"	240°	0°	6°	L-Sub6 5G	INTEGRATED RRU	
	#2	(E) JMA MX10FRO860-03	56'-0"	240°	0°	9°/5'/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 8843	
		(E) JMA MX10FRO860-03	56'-0"	240°	0°	9°/5'/2"	LTE 700/850/1900/AWS/AWS3/CBRS	(1) (E) 4408 B48	
	#3	EMPTY	-	-	-	-	-	(1) (E) 4449	
#4	(P) CB-GN-HB-2x2M-2B	56'-11"	270°	0°	0°	39GHz	-		



PROJECT TITLE
MDG: 5000171385

IX

11585 SOUTH STATE STREET
DRAPER, UT 84020

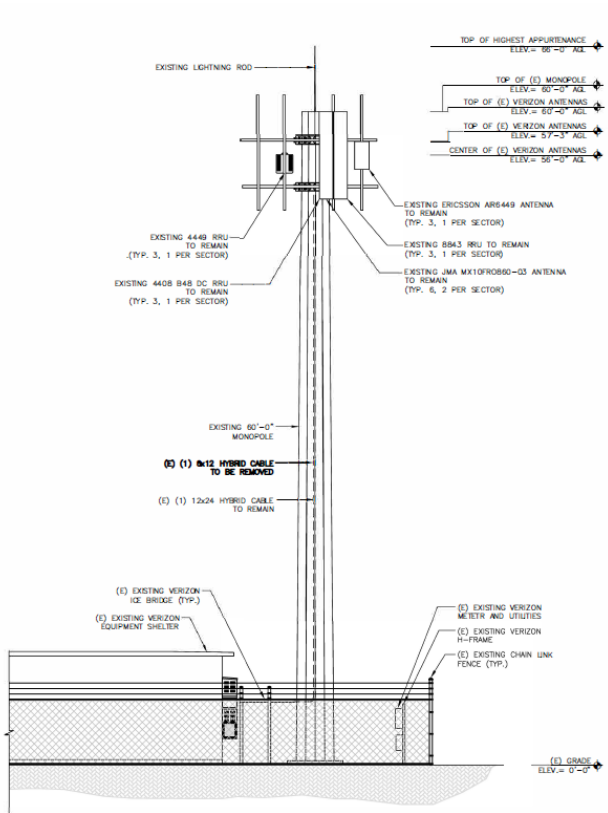
SHEET DESCRIPTION
ANTENNA SCHEDULE

SHEET NO.
Z-5

PROPOSED ANTENNA SCHEDULE

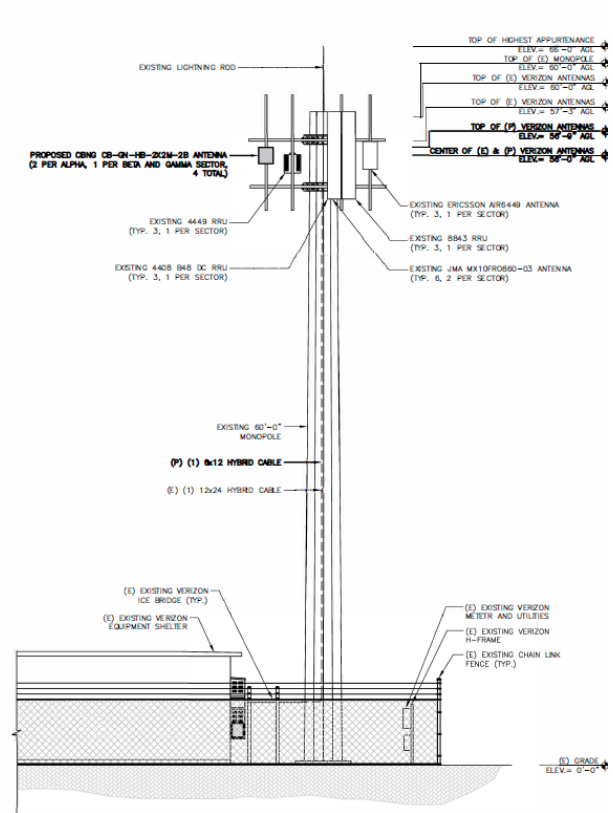
N.T.S. 2

EXHIBIT G
APPLICANT STATEMENTS



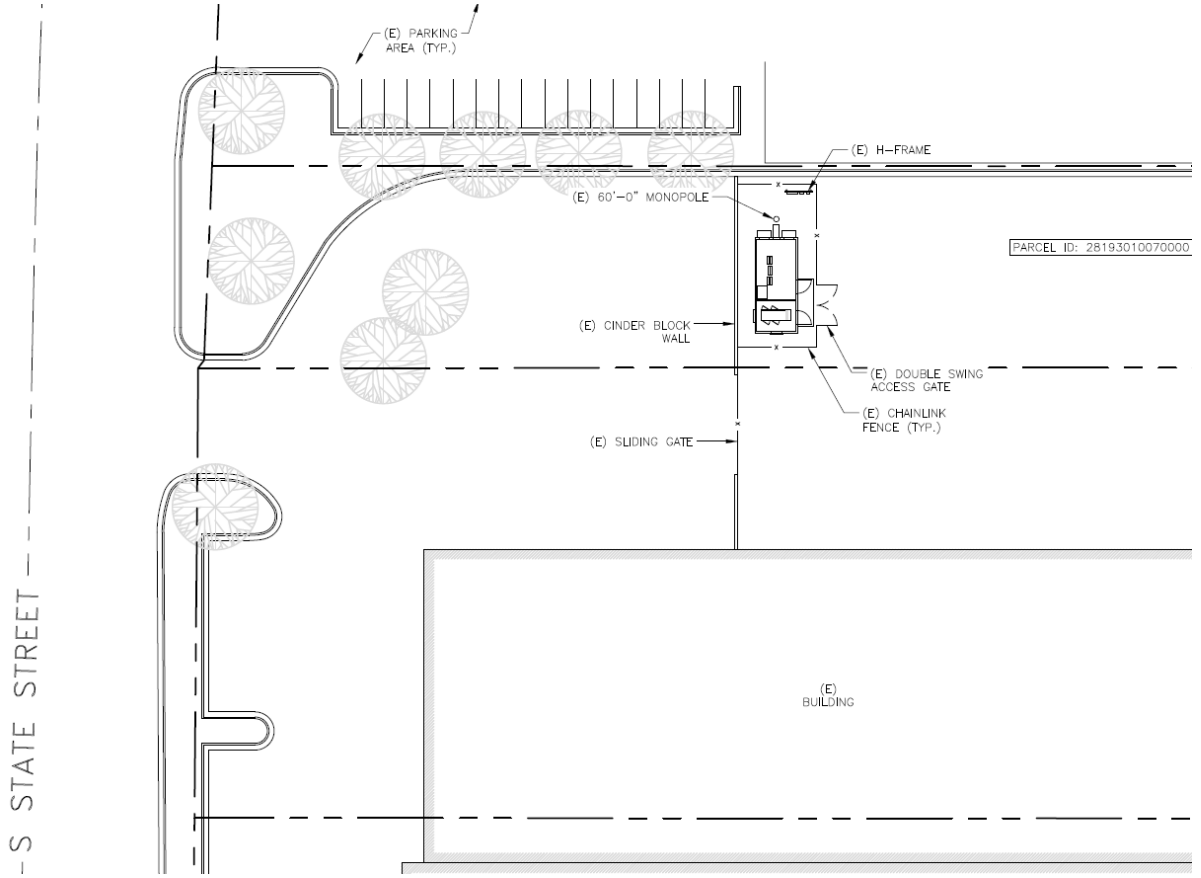
EXISTING ELEVATION VIEW

SCALE 1/8"=1'-0" (11x17)
(OR) 1/4"=1'-0" (24x36)



PROPOSED ELEVATION VIEW

SCALE 1/8"=1'-0" (11x17)
(OR) 1/4"=1'-0" (24x36)



3. **Easement** – The compound has access from S State St.0 North in a 6’ easement from North 1500 East Road at a distance of 2300’. Power will be drawn from a power pole 120’ North of the compound on East 4600 North.
4. **Additional Components** – Verizon Wireless is a Wireless Communications Company who provides cellular and data coverage to its customer subscribers. The lease area will be enclosed with a chain-link fence for security purposes and will only be accessible to operation technicians. Additional equipment shelters may be placed within the compound to accommodate additional wireless carrier equipment. No additional material and equipment will be stored.
5. **Modification Work** – Work will take place anytime weather conditions at the location are suitable. Work will require a temporary “staging area” for the equipment. Work should take approximately 1-2 days. The area will then be cleaned and vacated. Work on the facility will require typically two 1 crew of (2-3) persons. Verizon Wireless and/or its subcontractors will adhere to all OSHA safety standards.
6. **Solid Waste, Operation and Maintenance** – The facility will be unmanned and will not require disposal of solid waste. The site will require site inspections approximately once a month by an Operations Technician.
7. **Name, address and telephone number of applicant** – Patrick Hunter – 10 Church Circle,, Annapolis, MD 21401 – (480) 231-9072

PUP Application Questions

- 1. Is this Use Permitted in the zone in which this use is proposed?**
 - a. Property is Zoned Regional Commercial. Under Chapter 41 a wireless telecommunication facility that conforms to the development standards of section 9-41-050 of said chapter shall be permitted use in any zone. The tower is existing. Code does not have specifications on antenna modifications.
- 2. Does the proposed use conform to the development standards in the applicable zone?**
 - a. Yes, the existing tower is in an approved zone. The prescribed work to be done will not increase the height of the tower, will not alter the visual appearance of the tower, nor will there be any ground disturbance.
- 3. Does the proposed use conform to the general regulations and regulations for specific uses set forth in the Title?**
 - a. Yes
- 4. Is the proposed use located on any land classified as a primary or secondary conservation area or sensitive land?**
 - a. No.
- 5. Is the proposed use located in any protected area shown on a natural resource inventory?**
 - a. No.
- 6. Please identify any other applicable requirements of the Draper City Municipal Code & explain how the proposed use conforms to these requirements.**
 - a. The proposed work will conform to the Municipal Code by maintaining the structure design, height, and ground equipment as it was approved in the original development/construction/CUP permit. There will be no extension in height, and there will be no ground disturbance.